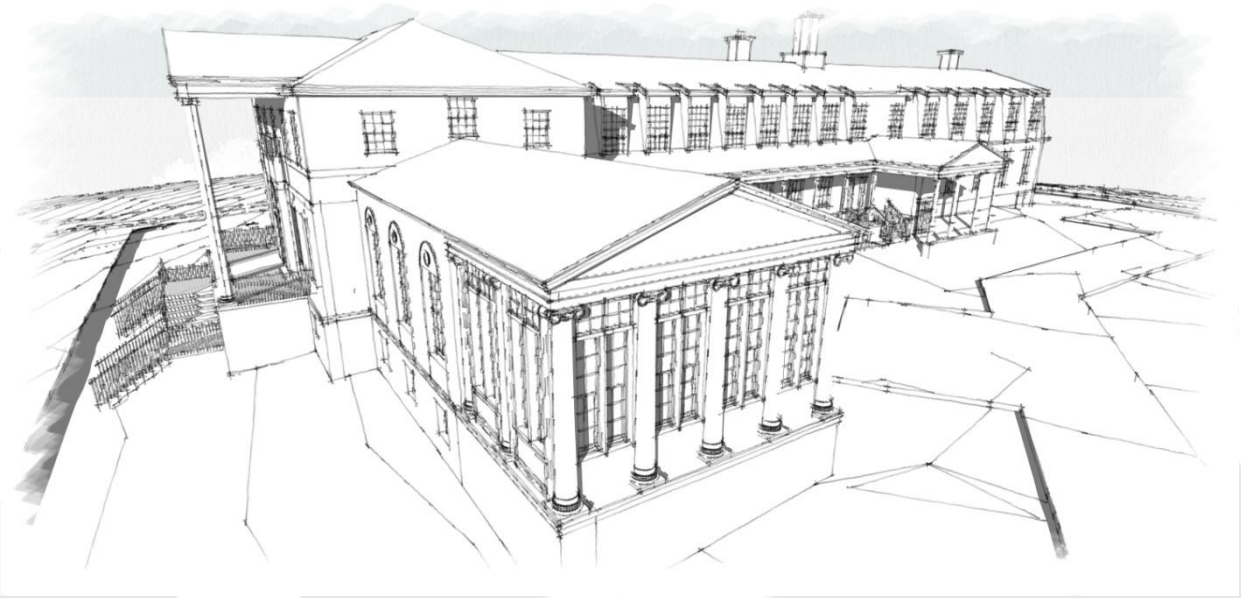
beardsley
architects + engineers



FIELD HOME FINAL REPORT

Yorktown Heights Field Home

(Yorktown, NY)

30 December 2025

Specifications

BUILDING, EQUIPMENT & MATERIAL SPECIFICATIONS

HERITAGE HOTEL / EVENT SPACE. – PRELIM. SPECIFICATION

Preliminary Specification Type:

Design Information: Preliminary Specification Type			
Division	Specification Type		
	Open[1]	Closed[2]	Hybrid[3]
00 Procurement & Contracting Requirements	☐	☐	☐
01 General Requirements	☐	☐	☐
02 Site Work & Existing Conditions	☒	☐	☐
03 Concrete	☐	☒	☐
04 Masonry	☐	☒	☐
05 Metals	☐	☐	☒
06 Wood, Plastic, & Composites	☐	☐	☒
07 Thermal & Moisture Protection	☐	☐	☒
08 Openings	☐	☒	☐
09 Finishes	☐	☒	☐
10 Specialties	☐	☒	☐
11 Equipment	☐	☒	☐
12 Furnishings	☐	☒	☐
13 Special Construction	☐	☐	☒
14 Conveying Equipment	☐	☐	☒
21 Fire Suppression	☐	☐	☒
22 Plumbing	☐	☐	☒
23 HVAC	☐	☐	☒
25 Integrated Automation	☐	☐	☒
26 Electrical	☐	☐	☒
27 Communications	☐	☐	☒
28 Electronic Safety and Security	☐	☐	☒
31 Earthwork	☒	☐	☐
	☐	☐	☐

[1] An **open** specification outlines the desired outcome or performance requirements without specifying a particular brand or manufacturer.

[2] A **closed** specification names specific products, manufacturers, or systems that must be used, with no substitutions allowed.

[3] A **hybrid** specification names specific products, manufacturers, or systems that are intended for use, but permits "or equal" substitutions subject to design approval.

Specification Division, Section & Sub-Section:

00 Procurement & Contracting Requirements

0. Contracting Requirements:

0.1. Contracts as established by Construction Manager agreement with Owner

01 General Requirements

1. General Conditions:

1.1. Provide temporary facilities and controls for proper execution of the work

1.2. Progress and Final Cleaning

1.3. Photographic Documentation

1.4. Portable Sanitation

1.5. Dumpster and Debris Removal

1.6. Temporary Power Supply and Communications to Site

02 Site Work & Existing Conditions

2. Existing Conditions:

2.1. Site Work:
- 2.1.1. Clearing of area around existing field home, driveway, and septic as indicated on site plan
- 2.1.2. Prepare access road per plans
- 2.1.3. Excavate new exterior porch foundation per plans, install footing drains to daylight, backfill
- 2.1.4. Final grade including preparation of parking pads per plans
- 2.1.5. Final finish driveway and paving areas

2.2. Demolition:
- 2.2.1. Work includes demolition, removal, legal disposal of materials and related work including disconnection, capping and removal of utilities.
- 2.2.2. See Drawings for demolition of building components designated to be removed.
- 2.2.3. See Drawings for demolition of exterior facade, structures and components designated to be removed.
- 2.2.4. Protect work to remain.
- 2.2.5. Items to be salvaged for reinstallation: N/A
- 2.2.6. Items to be salvaged for delivery to Owner: N/A
- 2.2.7. Remove all electric baseboard heaters & cable back to the electrical box.
- 2.2.8. Cut roof rafters in existing attic and reinforce per structural drawings to follow.

03 Concrete

3. Foundation:

3.1. Footings: 12x16 unreinforced
- 3.1.1. Footing Drain: Verify existing footing drainage system and connect with new SDR 35 Perforated Drain Pipe at all new footing locations wrapped in No.2 Stone and geotextile fabric, daylight drain and cleanouts on uphill corners

3.2. Walls: 6" Logix ICF blocks 4' tall w/ reinforcement.
- 3.2.1. Self-Adhering Waterproofing Membrane below grade

3.2.2. Delta-Drain foundation drainage mat below grade
3.2.3. Parging within 16" of top of wall or stone veneer w/ integrated shelf as per drawings
3.2.4. Mass wall Insulation R15/20 or better

~~3.3. Piers: Reinforced Concrete piers w/ monolithic footings at Stone Veneer locations~~
~~3.3.1. Helical Steel Piles at wood decks/porches where no stone veneer is indicated.~~

3.4. Slabs: 4" Reinforced Concrete Slabs
3.4.1. Stego Polyolefin vapor barrier w/ taped seams below slab
3.4.2. R-10 XPS Insulation under slab
3.4.3. Sub-slab bedding materials
3.4.4. Control joints every 12'
3.4.5. Reinforced Haunches at interior columns

~~04 Masonry~~

4. N/A

4.1. N/A
4.1.1. N/A

05 Metals

5. Spec Section

5.1. Spec SubSection
5.1.1. Spec Element

06 Wood, Plastic, & Composites

6. Frame:

6.1. Walls: Height varies by location, see sections for approximate heights. (verify in field to match existing T/Plate) 2x6 First Floor walls w/ double top plate. Studs 16" o.c. 5'-4" Second Floor walls at dormer walls, extending to roof as needed.
6.1.1. Sheathing: 1" Zip R-Sheathing w/ integrated WRB tape installed over existing exterior wall sheathing at Living Room and Kitchen walls. Remove existing wall sheathing and install new 1-1/2" Zip R-Sheathing system w/ integrated WRB tape at all other exterior walls.
6.1.2. Plate: PT 2x6 w/ anchors at 4' o.c. over sill gasket
6.1.3. 2x4 and 2x6 SPF Interior Studwalls @16" o.c. Continuous blocking let in at stairs, bathroom accessory locations and shower door hinge locations.

6.2. Floor Systems: 2x10 SPF @ 16" o.c. w/ supporting flush or dropped SPF beams as required
6.2.1. Subfloor: Advantec ¾"Tongue and Groove
6.2.2. 2x10 PT Rim Joist
6.2.3. Dropped Structural Douglas Fir Beams

6.3. Roof: Hybrid 2x10 Rafters @ 16" o.c. w/ ½" Zip Sheathing system, 2x6 subfascia perpendicular to rafter tails. Engineered Roof Trusses by others where appropriate. Hybrid 2x8 Rafters @ 16" o.c. w/ ½" ZIP Sheathing system, 2x6 subfascia perpendicular to rafter tails at rear kitchen entry, overbuilt on existing roof
6.3.1. Decorative DF 2"x6" (dimensional) Rafter Tails sistered to each Rafter/ Truss at high roof w/ 1.25"x3" Fascia
6.3.2. 2x6 T&G Roof Decking at exposed soffits and porch ceilings

6.4. Stairs:

6.4.1. Stringers: 5/4x12 poplar
6.4.2. Risers: ¾" poplar
6.4.3. Treads: ¾" white oak w/ bullnose nosings
6.4.4. Railings: Poplar handrails & balusters, painted, with poplar box newel post at base, landing and top of stairs, painted on inside of stair run. Wall-mounted poplar railing, painted on outside of stair run.

07 Thermal & Moisture Protection

7. Thermal and Moisture Protection:

7.1. Siding:
7.1.1. Clapboard: Western Red Cedar, Clear A Grade, Smooth face, Plain Bevel, ¾"x8, 6" Exposed Face, pre-finished prior to installation. Locations per elevations
7.1.2. Corner Boards and Trim: 5/4" WRC, Clear A Grade, Smooth Face

7.2. Openings: Zip Tape Flashing system with end dams at sills, metal flashing at heads

7.3. Insulation:
7.3.1. Walls: R-21 High Density Roxul Mineral wool Batts w/ Certainteed MemBrain vapor barrier
7.3.2. Roof: R-49 Closed Cell Sprayfoam Insulation
7.3.3. Roof Deck Baffles: Accuvent cathedral ceiling baffles w/ ventilation dam at roof/wall intersections
7.3.4. Floors/Rims: R-21 Closed Cell Sprayfoam insulation at Rim Joist, R-30 at cantilevered floors
7.3.5. Sound: Fiberglass batt sound insulation at bathroom partitions

7.4. Roofing: GAF Timberline HDZ asphalt shingles w/ 5-5/8" exposure in color selected from standard offering w/ Ice and Watershield by WR Grace at locations per drawings
7.4.1. Ventilated Ridge Cap: Coravent or equal
7.4.2. Drip Edge: Pre-finished aluminum drip edge in standard manufacturer color.
7.4.3. Metal Valley Flashings: Pre-finished aluminum in standard manufacturer color.

08 Openings

8. Openings:

8.1. Windows: Marvin Ultimate Double Hung G2 or windows per drawings
8.1.1. Low-E4 double glazing, argon filled
8.1.2. Douglas Fir Interior, Exterior per standard selections
8.1.3. Standard Insect Screens
8.1.4. Black standard interior lock and keeper hardware
8.1.5. 0.30 U factor or better

8.2. Patio Doors: Marvin Hinged Patio Doors
8.2.1. Specifications to match windows

8.3. Interior Doors: Brosco or equal, solid core, two panel on PFJ painted jambs. Pre-hung, pre-bored w/ black hinges

8.4. Hardware: Emtek TBD, tubular sets at interior doors, Door stops per plans.

09 Finishes

9. Finishes:

9.1. Wallboard:
9.1.1. ½" Gypsum Wallboard at Exterior Walls

9.1.2. ½" Gypsum Wallboard at Interior Walls
9.1.3. Bathrooms to receive Moisture Resistant GWB.
9.1.4. All gypsum products to receive USG Level IV finish except mechanical spaces to receive Level III
9.1.5. ½" Gypsum Wallboard at Ceilings

9.2. Paints and Stains:
9.2.1. Interior Gypsum Walls and Ceilings to receive primer and two coats acrylic latex finish, Sherwin Williams or equivalent
9.2.2. Interior Window and Door Trim to Receive two coats clear polyurethane wipe-on varnish, sanded between coats.
9.2.3. Interior Baseboards: to Receive two coats clear polyurethane wipe-on varnish, sanded between coats.
9.2.4. Exterior Trim: Touchup of pre-finished exterior elements, including filling/plugging fasteners, color matched caulking, and finishing unfinished elements to match general scheme.

9.3. Tile:
9.3.1. Tile floor finishes in bathroom spaces, set direct to subflooring w/ manufacturer recommended setting materials Presume Schluter Systems type floor transitions to other flooring at thresholds.
9.3.2. Tile Shower Wall finishes at showers from pan to ceiling over Schluter Kerdi waterproofing material system. Color matched caulk at material transitions and Schluter systems type edges.

9.4. Hardwood: Engineered ¾" Pre-finished hardwood to match existing per owner selections per plans. In select areas of first and second floor.

9.5. LVT: Luxury Vinyl Tile floating floor w/ self backing in lower level back of house areas.

9.6. Cabinetry: Inset cabinetry w/ soft close drawer hardware per owner selections. Stain grade, adjustable shelving, full side panels on Refrigerator. *Selections by Owner via allowance.*

9.7. Interior Trim:
9.7.1. Openings: To match existing
9.7.2. Baseboards: To match existing

10 Specialties

10. Specialties:

10.1. Fireplace:
10.1.1. Existing in great rooms. Assess functionality.

10.2. Countertops: Solid Surface per owner selections *Selections by Owner via allowance.*

10.3. Appliances: Refrigerator, Range, Dishwasher, Microwave, Dryer and Washing machine. *Selections by Owner via allowance.*

10.4. Alarm : none

10.5. AV: none specified

10.6. Communications: None specified

10.7.

11 Equipment

11. Spec Section

11.1. Spec SubSection
11.1.1. Spec Element

12 Furnishings

12. Furnishings

12.1. N/A By Owner

~~13 Special Construction~~

~~13. Special Construction~~

13.1. N/A

14 Conveying Equipment

14. Conveying Equipment

14.1. Elevator/Dumbwaiter:
- 14.1.1. (2) New elevators per plans. Otis Gen 3 Core or equal.
- 14.1.2. (2) New Dumbwaiters per plans. Jeeves Pro RST or equal.

21 Fire Suppression

21. Fire Suppression

21.1. Spec SubSection
- 21.1.1. Spec Element

22 Plumbing

22. Plumbing

22.1. Gas Service:
- 22.1.1. 1000 gal. Liquid Propane Tank (buried) w/ external regulator
- 22.1.2. Gas Service w/ interior manifold shutoffs at interior of service entrance for: Furnace

22.2. Plumbing:
- 22.2.1. Hot water heater Rheem Tankless gas fired or Equivalent
- 22.2.2. PEX Domestic hot and cold distribution system to fixtures per plan
- 22.2.3. PVC sanitary service to locations per plan
- 22.2.4. Fixtures to be selected. *Selections by Owner via allowance.*

23 HVAC

23. MEP

23.1. Heating and Cooling:

VRV air source heat pumps: Design basis Daikin Emerion Heatpump, Outdoor Units (1) 16 ton, (2) 20 ton, (1) 24 ton. Indoor Units (6) multi-position air handler, (2) recessed ceiling cassettes, (28) Concealed Ducted Units (medium static), (17)wall units.
120 MBH NG condensing Boiler & hydronic system to serve hot water re-heat coils for ERVs.
Galvanized metal ducts, fiber batt insulation, grills and louvers.

23.2. Ventilation:

Energy Recovery Ventilators (ERV): Design basis Renewaire
(1) HE2XINH w/ VFDs, (2) HE10IN w/ Bypass economizer & standard ECM motors, (2) HE07IN w/ standard ECM motors, (1) HE05IN w/ standard ECM motors.
(6) HW coils
Galvanized metal ducts, fiber batt insulation, grills and louvers.
Kitchen Exhaust Hood with integrated fire protection, Makeup air unit with gas fired heating.

~~23.2.3. Fresh Air: Barometric Damper for make-up air to fireplace and/or kitchen hood~~

25 Integrated Automation

25. Spec Section

25.1. Spec SubSection
25.1.1. Spec Element

26 Electrical

26. Electrical:

26.1 Existing Service to remain. New 400A 3ph panel for new equipment & elevators. :e
Remove Ex generator & Transfer Switch including oil tank.
New 150kW NG Standby Generator, Design basis Rehlko KG150 with sound enclosure.
New 400A 3ph Automatic Transfer Switch, Design Basis Rehlko KCS

26.2. Electrical Fixtures. Selections by Owner via allowance.

26.3. Life Safety: Hardwired Smoke and Carbon Monoxide Detectors per code, interconnected with battery backup Manual Fire Alarm system.

26.4. Utilities: Provide communications conduit to road

26.5. Provide Construction Power during progress of the work

27 Communications

27. Spec Section

27.1. Hospitality Telephone system, Wireless Access system. Cable TV system.

28 Electronic Safety and Security

28. Spec Section

28.1 Hospitality Access Control System, card type. Video Security system.

31 Earthwork

31. Site Work:

31.1. Clearing of area around Existing building, driveway, and septic as indicated on site plan

31.2. Prepare access road per plans

31.3. Excavate foundations per plans, install footing drains to daylight, backfill

31.4. Final grade including preparation of parking pad per plans

31.5. Final finish internal roads and paving areas

a. Code Summary

LIFE SAFETY CODE ANALYSIS

The following table lists the support drawings and design information included, as well as the individual applicable codes being reviewed.

Design Information:			
Description / Drawing Title:		**Author:**	**Date Published:**
Basement Concept Plan		Beardsley	July 31, 2025
First Floor Concept Plan		Beardsley	July 31, 2025
Second Floor Concept Plan		Beardsley	July 31, 2025
Applicable Codes:			
☒ New York State Building Code 2020	☒ New York State Fire Code 2020	☐ New York State Residential Code 2020	☒ New York State Plumbing Code 2020
☒ New York State Mechanical Code 2020	☒ New York State Fuel Gas Code 2020	☒ New York State Energy Code 2020	☐ New York State Property Maintenance Code 2020
☒ New York State Existing Building Code 2020	☒ New York State Electrical Code 2017	☒ New York State Accessibility Code 2009	

Table 1: Included Drawings & Applicable Codes

Future Code release on December 31 2025.

Legend:

Applicable Code Language
Code Review Annotation
Alternate Code Path (Separated Occupancies)

New York State Existing Building Code 2020 (future code 2025 pending release)

The following items need to be investigated in more detail to define the scope of work required for the project. It is anticipated that most of all the work will need to conform to current codes, pending any exceptions to the chapters below.

Ch. 9 Alterations - Level 3
Ch. 10 Change in Occupancy
Ch. 12 Historic Buildings

New York State Building Code 2020 (future code 2025 pending release):

This is pre-liminary outline of code section that may become applicable with further code analysis. Preliminary assumptions have been made when deciding potential code paths. All will need to be verified with future investigation.

Chapter 3 Occupancy Classification and Use

Basement:
A-2 Assembly: Commercial Kitchen
(investigate challenge of hood exhaust from basement)
B – Business
R-1 Residential: Guest Suites
S-2 Storage: Low Hazard Storage
U - Utility

First Floor:
A-2 Assembly: All Day Dining
A-3 Assembly: Main Event Space
B – Business
R-1 Residential: Guest Suites

Second Floor:
R-1 Residential: Guest Suites

Chapter 4 Special Detailed Requirements Based on Occupancy and Use

410 Stages, Platforms and Technical Production Areas

420 Group R-1

420.2 Separation Walls

420.3 Horizontal Separation

420.4 Automatic Sprinkler System

420.5 Fire Alarm and Smoke

420.9 Group R Cooking Facilities

Chapter 5 General Building Heights and Areas

Section 504 Building Height and Number of Stories

Table 504.3 Allowable Building Height in Feet Above Grade Plane
Type VB construction / A, B, R, S, & U Occupancies / Sprinklered = **60ft**

Table 504.4 Allowable Number of **Stories Above Grade Plane**
Type VB construction / A-2 Occupancy / Sprinklered = **2 stories**
Type VB construction / A-3 Occupancy / Sprinklered = **2 stories**
Type VB construction / B Occupancy / Sprinklered = 3 stories
Type VB construction / R-1 Occupancy / Sprinklered = 3 stories
Type VB construction / S-1 Occupancy / Sprinklered = **2 stories**
Type VB construction / U Occupancy / Sprinklered = **2 stories**
Establishing the grade plane will need to happen to confirm building height and stories are compliant. If level is 6' above grade plane (per code definition) or 12' above grade at any point, then it is considered a story above grade plane.

Section 506 Building Area

506.1.3 Basements
Basements need not be included in the total allowable floor area of a building provided the total area of such basements does not exceed the area permitted for a one-story above grade plane building.
Basement does not appear to exceed the area permitted for a one-story above grade plane building. Establishing the grade-plane will define the existing basement as either a basement or story below grade?

Table 506.2 Allowable Area
Type VB construction / A-2 Occupancy / SM = 18,000
Type VB construction / A-3 Occupancy / SM = 18,000
Type VB construction / B Occupancy / SM = 27,000
Type VB construction / R-1 Occupancy / SM = 21,000
Type VB construction / S-2 Occupancy / SM = 40,500
Type VB construction / U Occupancy / SM = 16,500 (most restrictive)
Actual Building Area will need to be calculated. Preliminary rough area estimates would be less than or under the maximum allowable.

506.2.4 Mixed-Occupancy, Multistory Buildings
Each story of a mixed-occupancy building with more than one story above grade plane shall individually comply with the applicable requirements of Section 508.1. .....
(Equation 5-3) $A_A = [A_t + (NS \times I_f)]$
where:
Aa = Allowable area (square feet).
At = Tabular allowable area factor (NS, S13R, S13D or SM value, as applicable) in accordance with Table 506.2.
NS = Tabular allowable area factor in accordance with Table 506.2 for a nonsprinklered building (regardless of whether the building is sprinklered).
If = Area factor increase due to frontage (percent) as calculated in accordance with Section 506.3.

506.3 Frontage Increase

506.3.1 Minimum Percentage of Perimeter

506.3.2 Minimum Frontage Distance
(Equation 5-4) .....

506.3.3 Amount of Increase
(Equation 5-4) .....

Without calculating the area factor increase it is assumed that the existing building area would be less than allowable indicated in Table 506.2 based on rough area estimates.

Section 508 Mixed Use and Occupancy

508.1 General

Each portion of a building shall be individually classified in accordance with Section 302.1. Where a building contains more than one occupancy group, the building or portion thereof shall comply with the applicable provisions of Section 508.2, 508.3 or 508.4, or a combination of these sections.

Further investigation, calculations, and analysis of existing conditions are needed to understand best approach with occupancy separation between separated and non-separated options with respects to grade plane, and implication to the existing sprinkler system. According to Table 506.2 Allowable Area, it appears that a Non-Separated Mixed-Use building is achievable based on area alone, assuming grade-plane works in our favor and sprinkler system can be upgraded to conform to most restrictive occupancy requirements of Ch. 9.

Separated Occupancy option shown in purple for comparison and understanding.

508.2 Accessory Occupancies

Accessory occupancies are those occupancies that are ancillary to the main occupancy of the building or portion thereof. Accessory occupancies shall comply with the provisions of Sections 508.2.1 through 508.2.4.

Some smaller spaces potentially could be considered accessory use, but it was not investigated at this time since it is assumed that it would not make any major changes to code approach.

508.2.1 Occupancy Classification

508.2.2 Allowable Building Height

508.2.3 Allowable Building Area

508.2.4 Separation of Occupancies

No separation is required between accessory occupancies and the main occupancy.

Exceptions:

2. Group I-1, **R-1**, R-2 and R-3 dwelling units and sleeping units shall be separated from other dwelling or sleeping units and from accessory occupancies contiguous to them in accordance with the requirements of Section 420.

508.3 **Nonseparated Occupancies**

Buildings or portions of buildings that comply with the provisions of this section shall be considered as nonseparated occupancies.

508.3.1 Occupancy Classification

Nonseparated occupancies shall be individually classified in accordance with Section 302.1. The requirements of this code shall apply to each portion of the building based on the occupancy classification of that space. In addition, the **most restrictive provisions of Chapter 9** that apply to the nonseparated occupancies shall apply to the total nonseparated occupancy area.

Further research is needed to confirm that the existing sprinkler system can be updated to meet the most restrictive occupancy requirements of Chapter 9 for the whole building.

508.3.2 Allowable Building Area, Height and Number of Stories

The allowable building area, height and number of stories of the building or portion thereof shall be based on the most restrictive allowances for the occupancy groups under consideration for the type of construction of the building in accordance with Section 503.1.

Further investigation is needed to confirm that the number of stories grade plane will conform to the most restrictive occupancy class.

508.3.3 Separation

No separation is required between nonseparated occupancies.

Exceptions:

2. Group I-1, **R-1**, R-2 and R-3 dwelling units and sleeping units shall be separated from other dwelling or sleeping units and from other occupancies contiguous to them in accordance with the requirements of Section 420.

Fire Partitions required surrounding the R-1 occupancy. This includes floor, ceiling and roof assemblies in addition to wall assemblies.

508.4 Separated Occupancies

Buildings or portions of buildings that comply with the provisions of this section shall be considered as separated occupancies.

TABLE 508.4

REQUIRED SEPARATION OF OCCUPANCIES (HOURS)[f]

OCCUPANCY	A, E		I-1[a], I-3, I-4		I-2		R[a]		F-2, S-2[b], U		B[e], F-1, M, S-1		H-1		H-2		H-3, H-4		H-5	
	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS	S	NS
A, E	N	N	1	2	2	NP	1	2	N	1	1	2	NP	NP	3	4	2	3	2	NP
I-1[a], I-3, I-4	—	—	N	N	2	NP	1	NP	1	2	1	2	NP	NP	3	NP	2	NP	2	NP
I-2	—	—	—	—	N	N	2	NP	2	NP	2	NP	NP	NP	3	NP	2	NP	2	NP
R[a]	—	—	—	—	—	—	N	N	1[c]	2[c]	1	2	NP	NP	3	NP	2	NP	2	NP
F-2, S-2[b], U	—	—	—	—	—	—	—	—	N	N	1	2	NP	NP	3	4	2	3	2	NP
B[e], F-1, M, S-1	—	—	—	—	—	—	—	—	—	—	N	N	NP	NP	2	3	1	2	1	NP
H-1	—	—	—	—	—	—	—	—	—	—	—	—	N	NP	NP	NP	NP	NP	NP	NP
H-2	—	—	—	—	—	—	—	—	—	—	—	—	—	—	N	NP	1	NP	1	NP
H-3, H-4	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	1[d]	NP	1	NP
H-5	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	—	N	NP

S = Buildings equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1.

NS = Buildings not equipped throughout with an automatic sprinkler system installed in accordance with Section 903.3.1.1.

N = No separation requirement.

NP = Not Permitted.

Separations between occupancies would be required to be separated with Fire Barriers, and horizontal assemblies.

508.4.1 Occupancy Classification

Separated occupancies shall be individually classified in accordance with Section 302.1. Each separated space shall comply with this code based on the occupancy classification of that portion of the building. The most restrictive provisions of Chapter 9 that apply to the separate occupancies shall apply to the total nonfire-barrier-separated occupancy areas. Occupancy separations that serve to

define fire area limits established in Chapter 9 for requiring a fire protection system shall also comply with Section 901.7.
The requirements for Ch. 9 for each occupancy classification would apply to the separated area of each individual occupancy.

508.4.2 Allowable Building Area
In each story, the building area shall be such that the sum of the ratios of the actual building area of each separated occupancy divided by the allowable building area of each separated occupancy shall not exceed 1.
Rough calculations have indicated that the building areas may meet the allowable areas, and separating the occupancies would not be required or necessary to achieve building area requirements. Of course, this would be pending further investigation into the grade plane and existing sprinkler system upgrade requirements of Ch. 9 which may factor into the decision.

508.4.3 Allowable Building Height and Number of Stories
Each separated occupancy shall comply with the building height limitations and story limitations based on the type of construction of the building in accordance with Section 503.1.

508.4.4 Separation
Individual occupancies shall be separated from adjacent occupancies in accordance with Table 508.4.
Separating the occupancies with fire barriers and horizontal assemblies could get complicated with existing conditions. That is why non-separated occupancies would be preferred approach if further investigation finds that path viable.

508.4.4.1 Construction
Required separations shall be fire barriers constructed in accordance with Section 707 or horizontal assemblies constructed in accordance with Section 711, or both, so as to completely separate adjacent occupancies.
Separating the occupancies with fire barriers and horizontal assemblies could get complicated with existing conditions. That is why non-separated occupancies would be the preferred approach if further investigation finds that path viable.

Chapter 6 Types of Construction (VB)

Table 601 Fire-Resistance Rating Requirements For Building Elements (Hours)

Type VB = 0 Hours

Chapter 7 Fire and Smoke Protection Features

Section 707 Fire Barriers

Located at exit stairs.
If occupancies are separated.
Shafts

Section 707 Fire Partitions (R-1)

Located around R-1 occupancy spaces

Section 711 Floor and Roof Assemblies

711.2 Horizontal Assemblies
Horizontal assemblies shall comply with Sections 711.2.1 through 711.2.6.
Located at R-1 Occupancies for floor/ceiling and roof/ceiling assemblies.

711.2.2 Continuity
Assemblies shall be continuous without vertical openings, except as permitted by this section and Section 712.
This could be a challenge with existing construction. Further investigation would be needed to see how best to provide continuity with existing conditions.

711.2.3 Supporting Construction
The supporting construction shall be protected to afford the required fire-resistance rating of the horizontal assembly supported.
Exception: In buildings of Type IIB, IIIB or VB construction, the construction supporting the horizontal assembly is not required to be fire-resistance rated at the following:
2. Horizontal assemblies at the separations of dwelling units and **sleeping units** as required by Section 420.3.
Supporting construction would not be required for the horizontal assembly of R-1 sleeping units per exception 2.

711.2.4 Fire-Resistance Rating
The fire-resistance rating of horizontal assemblies shall comply with Sections 711.2.4.1 through 711.2.4.6 but shall be not less than that required by the building type of construction.

711.2.4.1 Separating Mixed Occupancies
If separated occupancies are used

711.2.4.2 Separating Fire Areas
If separated occupancies are used

711.2.4.3 Dwelling Units and Sleeping Units
Horizontal assemblies serving as dwelling or sleeping unit separations in accordance with Section 420.3 shall be not less than 1-hour fire-resistance-rated construction.
Exception: Horizontal assemblies separating dwelling units and sleeping units shall be not less than 1/2-hour fire-resistance-rated construction in a building of Types IIB, IIIB and VB construction, where the building is equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.
Horizontal assembly for R-1 sleeping units can be reduced to ½" hour per exception.

Section 713 Shaft Enclosures

713.1 General
The provisions of this section shall apply to shafts required to protect openings and penetrations through floor/ceiling and roof/ceiling assemblies. **Interior exit stairways** and ramps shall be enclosed in accordance with Section 1023.

713.2 Construction
Shaft enclosures shall be constructed as **fire barriers** in accordance with Section 707 or **horizontal assemblies** in accordance with Section 711, or both.

713.5 Continuity

713.5 Continuity

Shaft enclosures shall be constructed as fire barriers in accordance with Section 707 or horizontal assemblies constructed in accordance with Section 711, or both, and shall have continuity in accordance with Section 707.5 for fire barriers or Section 711.2.2 for horizontal assemblies, as applicable.

Chapter 8 Interior Finishes

Section 803 Wall and Ceiling Finishes

Section 804 Interior Floor Finish

Chapter 9 Fire Protection and Life Safety Systems

[F] 903.3.1.1 **NFPA 13 Sprinkler Systems**
Where the provisions of this code require that a building or portion thereof be equipped throughout with an automatic sprinkler system in accordance with this section, sprinklers shall be installed throughout in accordance with NFPA 13.

Chapter 10 Means of Egress

Further investigation needed.

Section 1004 Occupant Load

Occupancy calculation needed.

Section 1005 Means of Egress Sizing

1005.3 Required Capacity Based on Occupant Load

1005.3.1 Stairways
.... means of egress capacity factor of 0.3 inch (7.6 mm) per occupant.

1005.3.2 Other Egress Components
... means of egress capacity factor of 0.2 inch (5.1 mm) per occupant.

Section 1006 Number of Exits and Exit Access Doorways

1006.2 Egress From Spaces

1006.2.1 Egress Based on Occupant Load and Common Path of Egress Travel Distance

Table 1006.2.1 Spaces with one exit or exit access doorway

1006.3 Egress From Stories or Occupied Roofs

1006.3.2 Egress Based on Occupant Load

Section 1007 Exit and Exit Access Doorway Configuration

1007.1.1 Two Exits or Exit Access Doorways

1007.1.1.1 Measurement Point

1007.1.2 Three or More Exits or Exit Access Doorways

Section 1009 Accessible Means of Egress

1009.1 Accessible Means of Egress Required

Accessible means of egress shall comply with this section. Accessible spaces shall be provided with not less than one accessible means of egress. **Where more than one means of egress is required by Section 1006.2 or 1006.3 from any accessible space, each accessible portion of the space shall be served by not less than two accessible means of egress**.

Further investigation needed.

1009.3 Stairways

1009.3.1 Exit Access Stairways

1009.3.2 Stairway Width

1009.3.3 Area of Refuge

1009.6 Areas of Refuge

1009.7 Exterior Areas for Assisted Rescue

Section 1010 Doors, Gates and Turnstiles

Section 1011 Stairways

Section 1017 Exit Access Travel Distance

Section 1019 Exit Access Stairways and Ramps

Section 1020 Corridors

Section 1022 Exits

Section 1023 Interior Exit Stairways and Ramps

Section 1029 Assembly

Section 1030 Emergency Escape and Rescue

Chapter 11 Accessibility

Further investigation needed.

Chapter 13 Energy Efficiency

Further investigation needed.

Chapter 29 Plumbing Systems

Further development of designs with areas, occupancy and plumbing calculations needed to establish plumbing fixture counts.

New York State Accessibility Code 2020: (future code 2025 pending release):

Further investigation needed.

b. Code & Zoning Summary

HISTORIC FIELD HOME ADAPTIVE REUSE
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Project Overview
Zoning & Land Use
Code Summary
Code Path
Occupancy
Construction Type
Egress and Occupant Load
Plumbing Fixtures
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Overview
Existing Structure
Field Home is masonry load-bearing with wood floor framing.
Suggested Construction Type
Type III-B
Height and Area Limits
Max stories: 4 stories
Max building height: 60 ft
Max area: 64,000 sf
Status
Existing structure meets Type III-B height and area limits.
Sources
2020 NY State Building Code, Table 504 & 506
Required Ratings, Building Elements
Exterior Bearing Walls
2 hours
Interior Bearing Walls
0 hours
Floor Construction
0 hours
Roof Construction
0 hours
Primary Structural Frame
0 hours
Sources
2020 NY State Building Code, Table 601 & 508.4
Occupancy Separations
R-1 (Hotels) to A-2 (Banquet / Dining)
1-hour fire barrier
(2 hours if unsprinklered)
R-1 to A-3 (Meeting / Lounge)
1 hours
R-1 to B (Admin)
1 hours
Accessory Uses (<10% area)
No separation required
Sources
2020 NY State Building Code, Table 601 & 508.4
Other Fire Protection Requirements
Guest Room Separation
1-hour fire partitions between guest rooms
1-hour horizontal separation between floors
Corridors Serving Sleeping Units:
0.5 hour in sprinkled building
Stair Enclosures:
1 hour for stairs connecting <4 stories
Vertical Shafts (elevators, ducts):
1-hour enclosure

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Occupant Load Summary

Level	~ Gross SF	Occ. Load
Basement	~ 11,300	36
Level 1	~ 11,300	302
Level 2	~ 8,000	124
Total	**~30,600**	**462**

Sources
2020 NY State Building Code,
Table §1005.3.1 and §1005.3.2

Stair Egress Requirements

Stair Segment	Cumulative Load	Total Required Width	Two Stair Design
Basement to Exit	462	92.4 in	2 @ 48 in each
First Floor to Exit	426	85.2 in	2 @ 44 in each
Second Floor to Exit	124	24.8 in	2 @ 30 in each (min code width)

Note: Because the First Floor load >250, a minimum of 3 exits are required from the A-2 Assembly areas. Stairs may serve as two of these; a third exit (e.g., additional door directly to grade) will be required.

Door and Corridor Egress Requirements

Level	Occupant Load	Total Required Width
Basement	36	36 in (code minimum governs)
First	302	48 in
Second	124	36 in (code minimum governs)

Note: Corridor clear width minimum = 44 in when serving >50 occupants; here, First Floor corridors should be at least 48 in to meet calculated load.

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Level	~ Gross SF	Occ. Load
Basement	~ 11,300	36
Level 1	~ 11,300	302
Level 2	~ 8,000	124
Total	**~30,600**	**462**

Occupancy	WC Req	LAV Req
A-2	75 per m/f	1 per 200
A-3	1 per 125m / 65f	1 per 200
B	1 per 25	1 per 40
Total	**~30,600**	**462**

Sources
2020 NY State Building Code,
Table §4031

Preliminary Fixture Summary

Area	Male WCs	Female WCs
Restaurant and Banquet (A-2)	2	2
Meeting and Lounge (A-3)	1	1
Staff (B)	1	1
Subtotal	**4**	**4**

Area	Male Lavs	Female Lavs
Restaurant and Banquet (A-2)	1	1
Meeting and Lounge (A-3)	1	1
Staff (B)	1	1
Subtotal	**3**	**3**

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Parking and Loading - 20 Keys

Use	Requirement	Spaces
Hotel	1.1 per key	22 (2 ADA)
Restaurant / Lounge	1 per 250 SF	8
Banquet Hall	1 per 3 seats	20
Total		**50**
Standard Parking (45%)		28
Midsize Parking (35%)		15
Compact Parking (20%)		7
Off-Street Loading		**1**

Sources
Yorktown Zoning: §300-52
Yorktown Zoning: §300-52(D)(5)
Yorktown Zoning: §300-182(A)(14)
Yorktown Zoning: §300-186(A)(1))

Parking and Loading - 34 Keys

Use	Requirement	Spaces
Hotel	1.1 per key	38 (2 ADA)
Restaurant	1 per 50 SF	28
Food Prep	1 per 100 SF	7
Banquet Hall	1 per 3 seats	20
Meeting / Lounge	1 per 5 seats	20
Total		**113**
Standard Parking (45%)		51
Midsize Parking (35%)		39
Compact Parking (20%)		23
Off-Street Loading		**1**

Sources
Yorktown Zoning: §300-155(4)
Yorktown Zoning: §300-182(A)(5)
Yorktown Zoning: §300-182(A)(14)
Yorktown Zoning: §300-182(A)(7)
Yorktown Zoning: §300-186(A)(1)

Parking Reduction Strategies

Shared Parking (§300-182(C))
- Joint use with nearby facilities; Planning Board approval required.

Valet / Off-Site (§300-52(D)(5))
- Boutique rule allows reductions with binding valet or off-site parking agreement.
- Up to 25% reduction possible.

Hardship Variance (§300-181(B))
- Board of Appeals may permit reduced compliance for historic reuse projects.

Compact / Midsize Mix (§300-182(F))
- Up to 20% compact (7.5 × 15), 35% midsize (9 × 16.5).

Can reduce footprint by ~15–20%.

Employee Parking Adjustment (§300-182(E))
- Stall size for staff may be reduced to 8 × 18 (if provided separately).

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Building Envelope Standards

Regulation	Value
Front Yard Setback	150 ft
Side Yard Setback	50 ft
Rear Yard Setback	100 ft
Height Limit	35 ft / 3 stories
Lot Coverage	15% Max
FAR	0.4
Buffering	Landscape screening required

Sources

Yorktown Zoning: §300-52
Yorktown Zoning: §300-153 through 155A
Yorktown Zoning: §300-158