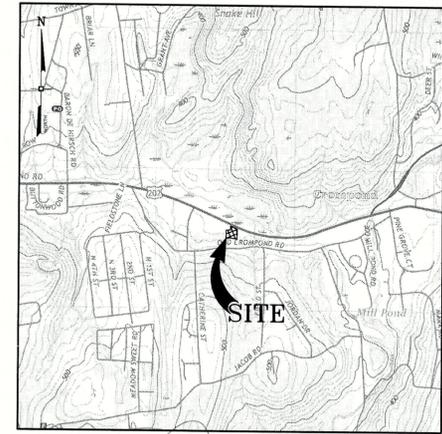


GENERAL NOTES

- TAX MAP IDENTIFICATION NUMBER: SECTION 35.08 BLOCK 1 LOTS 11, 14, 15 & 23
- TOTAL AREA OF SUBJECT PARCELS: 1.357± ACRES
- BOUNDARY AND PLANIMETRIC INFORMATION BASED UPON FIELD SURVEY AS PERFORMED BY ENGINEERING & SURVEYING PROPERTIES PC ON OCTOBER 21, 2022.
- THE TOPOGRAPHY SHOWN HEREON WAS COMPILED BY ENGINEERING & SURVEYING PROPERTIES PC FROM USGS 1M HYDRO-FLATTENED DIGITAL ELEVATION MODELS (DEMS) AS DERIVED FROM 2012 SOURCE LIDAR. THE DEMS WERE PROVIDED BY NYS GIS GOV AND CORRESPOND TO ACTUAL SURVEY OBSERVATIONS TAKEN IN THE FIELD. CONTOURS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988.
- OWNER / APPLICANT: SDML REALTY, LLC
PO BOX 755
CROMPOUND, NY 10517
- THE PROPOSED LOT SHALL BE SERVICED BY PUBLIC WATER AND SEWER SERVICES.
- WETLAND BOUNDARY AS PER FIELD DELINEATION BY ECOLOGICAL ANALYSIS, LLC ON DECEMBER 1, 2022 AND FIELD LOCATED BY ENGINEERING & SURVEYING PROPERTIES PC ON DECEMBER 6, 2022.
- APPROXIMATE SIZE AND LOCATION OF FEMA 100-YEAR FLOODPLAIN TAKEN FROM THE FEDERAL EMERGENCY MANAGEMENT (FEMA) FLOOD INSURANCE RATE MAP, WESTCHESTER COUNTY, COMMUNITY TOWN OF CORTLAND AND YORKTOWN, NUMBER 3619C0038F, PANEL NUMBER 36 OF 426, EFFECTIVE DATE SEPTEMBER 28, 2007.
- FOOD DELIVERY SHALL TAKE PLACE BETWEEN THE HOURS OF 7 AM AND 4 PM.
- BOX TRUCK DELIVERY OF DONUTS SHALL TAKE PLACE DAILY BETWEEN THE HOURS OF 12 AM AND 2 AM.
- GARBAGE PICK UP SHALL TAKE PLACE BETWEEN THE HOURS OF 7 AM AND 4 PM.
- PER LOCAL LAW, A FIRE SPRINKLER SYSTEM WILL BE REQUIRED.



LOCATION MAP
SCALE: 1" = 200'

BULK REQUIREMENTS

TOWN OF YORKTOWN - ZONING DISTRICT C-4
PROPOSED USE: DRIVE-THRU (USE §300 ATCH 2)

MINIMUM BUILDING REQUIREMENTS	REQUIRED	PROPOSED
LOT AREA	NONE	59,110 SF
LOT WIDTH	25 FEET	172.4 FEET
LOT DEPTH	100 FEET	263.9 FEET
FRONT YARD	15 FEET	59.0 FEET
REAR YARD	30 FEET	98.9 FEET
SIDE YARD *	50 FEET	50.0 FEET
MAXIMUM ALLOWABLE		
BUILDING HEIGHT	35 FT	28.0 FT
LOT COVERAGE (BUILDINGS)	30 %	4.8 %

* NONE, BUT IF PROPERTY ADJOINS AN R DISTRICT, SHALL BE 50 FEET.

PARKING REQUIREMENTS

TOWN OF YORKTOWN - ZONING DISTRICT C-4
PROPOSED USE: DRIVE-THRU (USE §300-182(A)(5))

BUILDING AREA	AREA DEVOTED TO PATRON USE	AREA DEVOTED TO FOOD PREPARATION	TOTAL BUILDING AREA
1,057 SF	1,654 SF	2,711 SF	2,711 SF

PARKING SPACES REQUIRED:
1,057 SF x 1 SPACE PER 50 SF = 22 SPACES
1,654 SF x 1 SPACE PER 100 SF = 17 SPACES

TOTAL SPACES REQUIRED: 39 SPACES
TOTAL SPACES PROVIDED: 29 SPACES *

* IN ACCORDANCE WITH §300-182(H)(3) THE PLANNING BOARD MAY APPROVE NONRESIDENTIAL SITE PLANS WITH A REDUCTION OF UP TO 25% IN REQUIRED OFF-STREET PARKING.

LOADING REQUIREMENTS

TOWN OF YORKTOWN - ZONING DISTRICT C-4
PROPOSED USE: DRIVE-THRU (USE §300-186(A)(1))

BUILDING AREA	LOADING SPACES REQUIRED
2,711 SF	FIRST 4,000 SF x 1 SPACE = 1 SPACE 1 ADDITIONAL SPACE FOR EACH 40,000 SF = 0 SPACES

TOTAL SPACES REQUIRED: 1 SPACE
TOTAL SPACES PROVIDED: 1 SPACE

No.	DATE	DESCRIPTION
0	12/16/22	INITIAL SUBMISSION
1	01/10/23	REVISED PER PLANNING BOARD COMMENTS
2	02/13/23	REVISED PER PLANNING BOARD COMMENTS
3	04/06/23	REVISED PER PLANNING BOARD COMMENTS
4	07/01/23	REVISED PER ENGINEER COMMENTS 06/26/23
5	09/13/23	REVISED PER NYSDOT COMMENTS 08/29/23
6	01/01/24	REVISED PER NYCEP COMMENTS 11/27/23
7	01/16/24	REVISED PER NYCEP COMMENTS 01/12/24
8	03/11/24	REVISED PER NYCEP COMMENTS 03/08/24
9	04/03/24	REVISED PER NYCEP COMMENTS 04/03/24
10	04/17/24	REVISED PER NYCEP COMMENTS 04/16/24

DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	04/17/24
CONCEPT APPROVAL	N/A OF N/A
PLANNING BOARD APPROVAL	1 OF 14
WCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
WCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
NYSDOT APPROVAL	N/A OF N/A
NYSDOT APPROVAL	N/A OF N/A
OTHER:	N/A OF N/A
FOR BID / CONSTRUCTION	N/A OF N/A

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

1 inch = 20 ft.

LIST OF DRAWINGS

DRAWING #	TITLE	SHEET #
C-101	SITE PLAN	1
C-102	EXISTING CONDITIONS & DEMOLITION PLAN	2
C-103	GRADING & DRAINAGE PLAN	3
C-104	UTILITY PLAN	4
C-105	EROSION & SEDIMENT CONTROL PLAN	5
C-106	LIGHTING PLAN	6
C-107	LANDSCAPING PLAN	7
C-201	LINE OF SIGHT PROFILES	8
C-202	SITE LOOP & POND PROFILES	9
C-301	DETAILS	10
C-302	DETAILS	11
C-303	DETAILS	12
C-304	DETAILS	13
C-305	DETAILS	14
DRAWINGS PREPARED BY COLLIER'S ENGINEERING & DESIGN		
CS-01	KEY SHEET	15
GN-01	GENERAL NOTES	16
GN-02	GENERAL NOTES	17
DTL-01	DETAILS	18
TYP-01	TYPICAL SECTION	19
PR-01	PROFILE PLAN	20
LP-01	CONSTRUCTION PLANS	21
LP-02	CONSTRUCTION PLANS	22
GD-01	GRADING AND DRAINAGE PLANS	23
GD-02	GRADING AND DRAINAGE PLANS	24
UP-01	UTILITIES PLAN	25
SP-01	SIGNING AND STRIPING PLANS	26
SP-02	SIGNING AND STRIPING PLANS	27
TC-01	WORK ZONE TRAFFIC CONTROL PLANS	28
TC-02	WORK ZONE TRAFFIC CONTROL PLANS	29
SD-01	SIGHT DISTANCE PLAN	30

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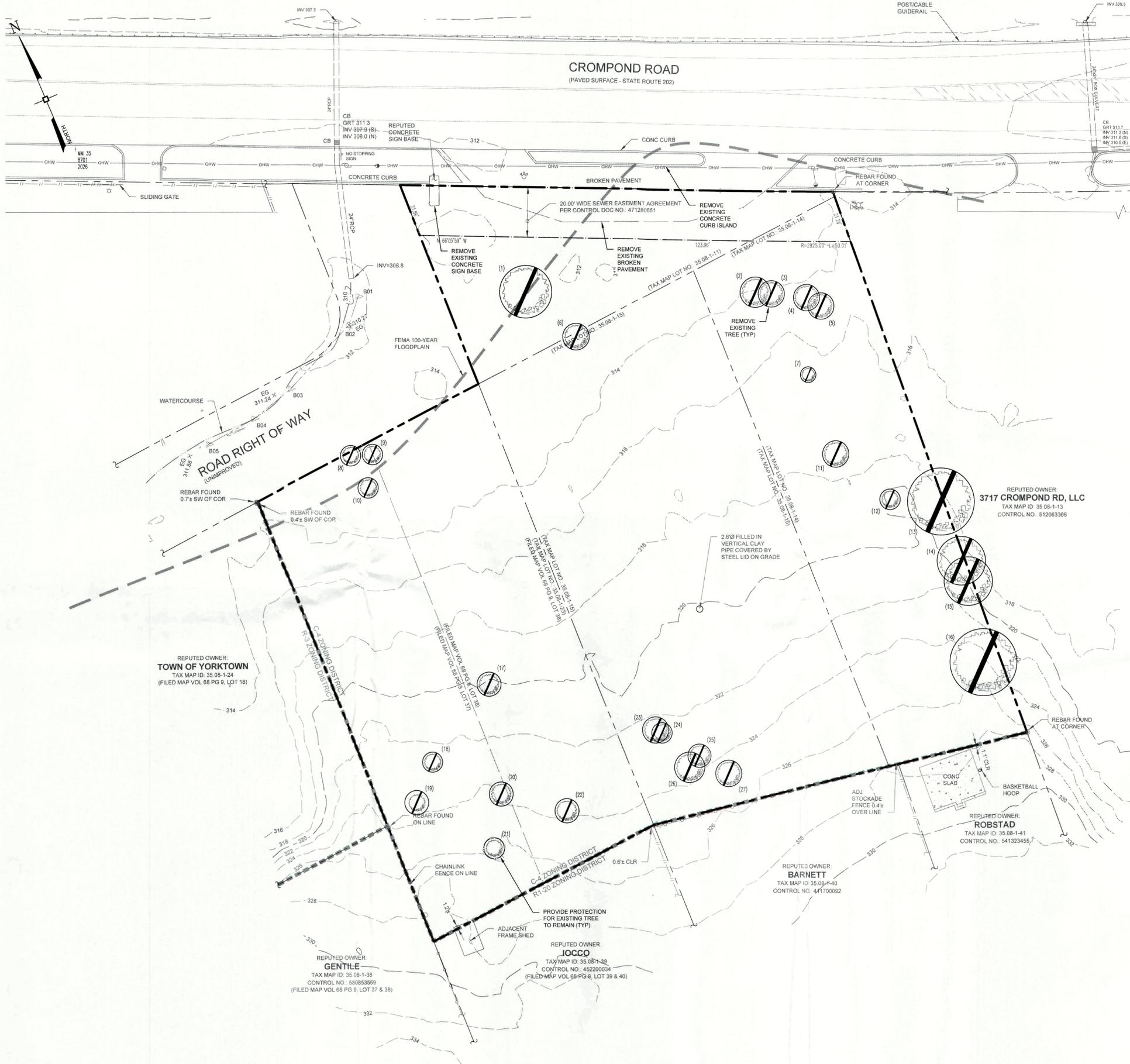
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MONTGOMERY, NY 12549
Ph: (845) 451-7727
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SITE PLAN

SDML REALTY, LLC.
3735 CROMPOUND ROAD
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK

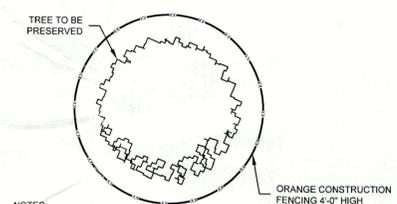
JOB #:	1932.01	DRAWN BY:	RMB
DATE:	12/16/22	SCALE:	1" = 20'
REVISION:	10 - 04/17/24	TAX LOT:	35.08-1-11, 14, 15 & 23

C-101



APPROVED
Resolution Number 24-09
Date 5/20/24

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0	12/16/22	INITIAL SUBMISSION
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10	04/17/24	REVISED PER NYC DEP COMMENTS 04/16/24



NOTES:
1. FENCING SHALL BE PLACED AROUND TREE TO BE PRESERVED AT AN APPROXIMATE DISTANCE OF 1 FOOT FOR EACH INCH OF TREE TRUNK DIAMETER AT THE BREAST HEIGHT BUT NO CLOSER THAN THE DRIP LINE OF THE TREE.

TREE PROTECTION
SCALE: N.T.S.

DRAWING STATUS		ISSUE DATE:	
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		04/17/24	
SHEET NUMBER		14	
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF	N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	2	OF	14
<input type="checkbox"/> WCDH REALTY SUBDIVISION APPROVAL	N/A	OF	N/A
<input type="checkbox"/> WCDH WATERMAIN EXTENSION APPROVAL	N/A	OF	N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A	OF	N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A	OF	N/A
<input type="checkbox"/> OTHER:	N/A	OF	N/A
<input type="checkbox"/> FOR BID / CONSTRUCTION	N/A	OF	N/A

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TREE INVENTORY

TREE NUMBER	SPECIES	DBH (INCHES)	STATUS
1	POPLAR	28	TO BE REMOVED
2	OAK	16	TO BE REMOVED
3	OAK	14	TO BE REMOVED
4	OAK	14	TO BE REMOVED
5	CHESTNUT	14	TO BE REMOVED
6	ASH	14	TO BE REMOVED
7	CHERRY	8	TO BE REMOVED
8	POPLAR	10	TO BE REMOVED
9	POPLAR	10	TO BE REMOVED
10	POPLAR	10	TO BE REMOVED
11	ASH	14	TO BE REMOVED
12	ASH	10	TO BE REMOVED
13	OAK	36	TO BE REMOVED
14	MAPLE	26	TO BE REMOVED
15	OAK	26	TO BE REMOVED
16	OAK	36	TO BE REMOVED
17	POPLAR	12	TO BE REMOVED
18	POPLAR	10	TO BE REMOVED
19	POPLAR	10	TO BE REMOVED
20	POPLAR	12	TO BE REMOVED
21	POPLAR	10	TO REMAIN
22	POPLAR	12	TO BE REMOVED
23	POPLAR	14	TO BE REMOVED
24	POPLAR	10	TO BE REMOVED
25	POPLAR	12	TO BE REMOVED
26	POPLAR	16	TO BE REMOVED
27	POPLAR	14	TO BE REMOVED

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

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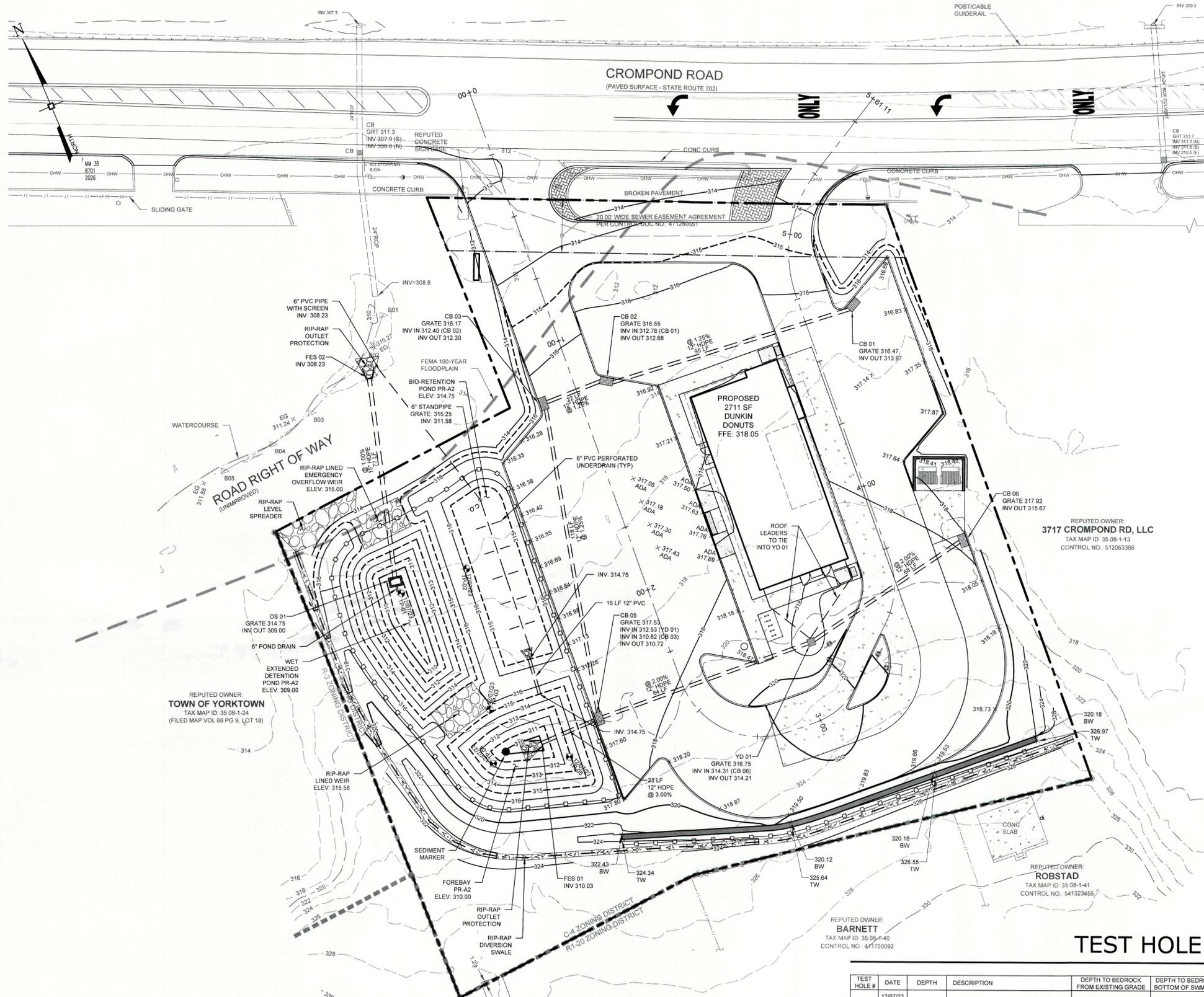
EXISTING CONDITIONS & DEMOLITION PLAN
SDML REALTY, LLC
3735 CROMPOND ROAD
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK

JOB #: 1932.01
DATE: 12/16/22
REVISION: 10 - 04/17/24

DRAWN BY: RMB
SCALE: 1" = 20'
TAX LOT: 35.08-1-11, 14, 15 & 23

C-102

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APPROVED
 Resolution Number 24-09
 Date 5/20/24

No.	DATE	DESCRIPTION
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10	04/17/24	REVISED PER NYC DEP COMMENTS 04/16/24

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		SHEET NUMBER
<input type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	3	OF 14
<input type="checkbox"/> WCDOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
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<input type="checkbox"/> FOR BID / CONSTRUCTION	N/A	OF N/A

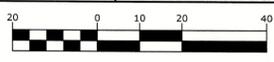
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 NEW YORK LICENSE # 071701



1 inch = 20 ft.

TEST HOLE RESULTS

TEST HOLE #	DATE	DEPTH	DESCRIPTION	DEPTH TO BEDROCK FROM EXISTING GRADE	DEPTH TO BEDROCK FROM BOTTOM OF SWM PRACTICE	DEPTH TO GROUNDWATER FROM EXISTING GRADE	DEPTH TO GROUNDWATER FROM BOTTOM OF SWM PRACTICE	DEPTH TO GROUNDWATER FROM BOTTOM OF SEDIMENT TRAP
TP-01	12/07/23	0' - 8" 8" - 55" 55" - 89"	TOPSOIL & ORGANIC MATERIAL BROWN, SANDY LOAM GRAY, SANDY LOAM	> 89 INCHES	> 89 INCHES	57 INCHES	-15 INCHES	9 INCHES
TP-02	12/07/23	0' - 8" 8" - 55" 55" - 84"	TOPSOIL & ORGANIC MATERIAL BROWN, SANDY LOAM GRAY, SANDY LOAM	> 84 INCHES	> 84 INCHES	53 INCHES	24 INCHES	SEDIMENT TRAP NOT PROPOSED IN THIS LOCATION
TP-03	12/07/23	0' - 10" 10" - 63" 63" - 120"	TOPSOIL & ORGANIC MATERIAL BROWN, SANDY LOAM WITH MOTTLING GRAY, SANDY LOAM WITH MOTTLING	> 120 INCHES	> 120 INCHES	76 INCHES	-32 INCHES	-20 INCHES
TP-04	12/07/23	0' - 8" 8" - 45" 45" - 109"	TOPSOIL & ORGANIC MATERIAL BROWN, SANDY LOAM WITH MOTTLING GRAY, SANDY LOAM WITH MOTTLING	> 109 INCHES	> 109 INCHES	92 INCHES	-62 INCHES	-40 INCHES
TP-05	12/07/23	0' - 8" 8" - 40" 40" - 78"	TOPSOIL & ORGANIC MATERIAL BROWN, SANDY LOAM GRAY, SANDY LOAM WITH MOTTLING	> 78 INCHES	> 78 INCHES	82 INCHES	-62 INCHES	-41 INCHES

ENGINEERING & SURVEYING PROPERTIES

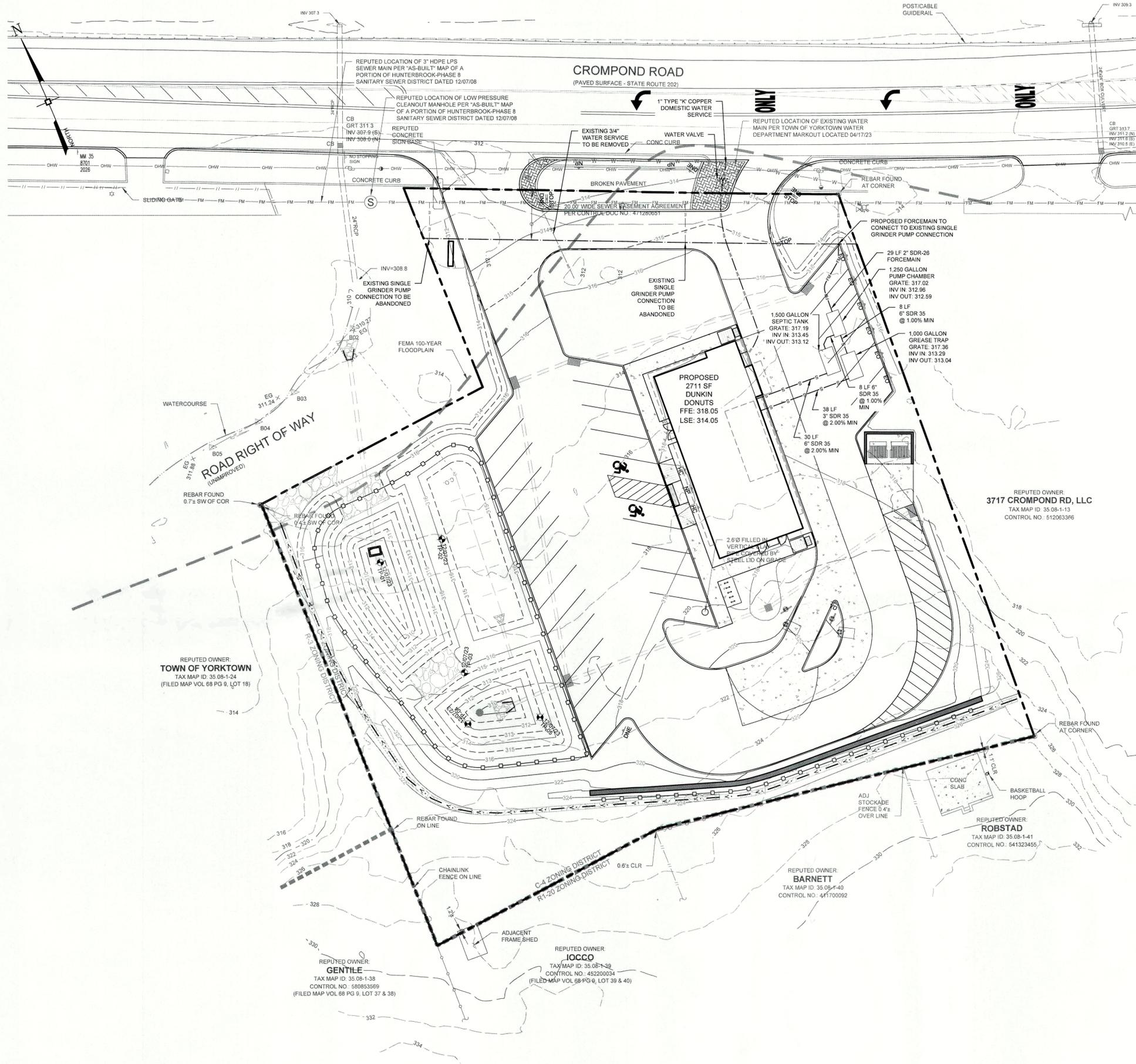
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71 CLINTON STREET
MONTGOMERY, NY 12549
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GRADING & DRAINAGE PLAN

SDML REALTY, LLC.
 3735 CROMPOND ROAD
 TOWN OF YORKTOWN
 WESTCHESTER COUNTY, NEW YORK

JOB #:	1932.01	DRAWN BY:	RMB
DATE:	12/16/22	SCALE:	1" = 20'
REVISION:	10 - 04/17/24	TAX LOT:	35.08-1-11, 14, 15 & 23

C-103



APPROVED
 Resolution Number 24-09
 Date 5/20/24

No.	DATE	DESCRIPTION
0	12/16/22	INITIAL SUBMISSION
1	01/10/23	REVISED PER PLANNING BOARD COMMENTS
2	02/13/23	REVISED PER PLANNING BOARD COMMENTS
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6	01/01/24	REVISED PER NYCDEP COMMENTS 11/27/23
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10	04/17/24	REVISED PER NYCDEP COMMENTS 04/16/24

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<input checked="" type="checkbox"/> CONCEPT APPROVAL	N/A	OF N/A
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	N/A	OF N/A
<input type="checkbox"/> WCDOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> WCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
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<input type="checkbox"/> OTHER:	N/A	OF N/A
<input type="checkbox"/> FOR BID / CONSTRUCTION	N/A	OF N/A

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 NEW YORK LICENSE # 071701



1 inch = 20 ft.

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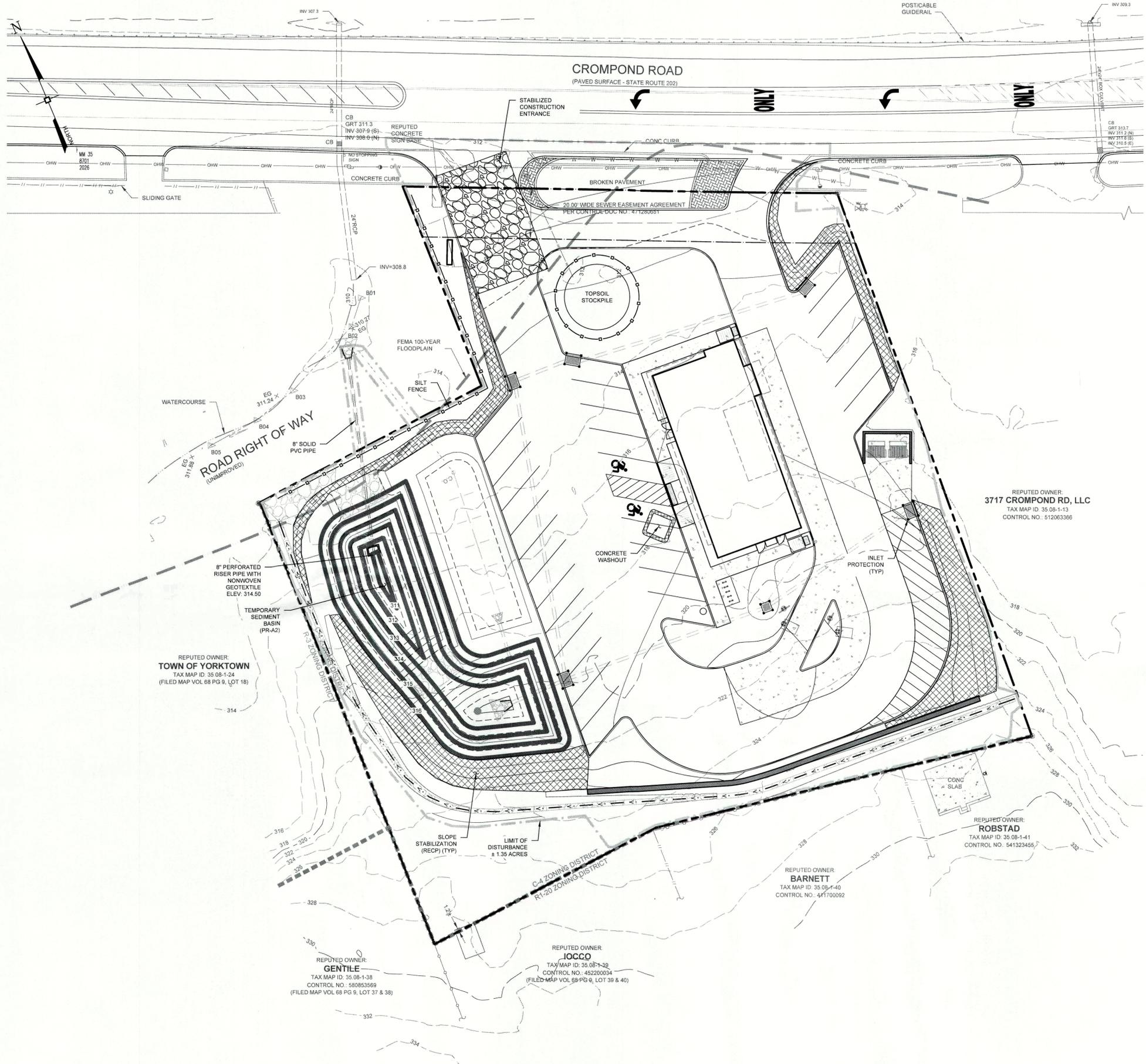
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UTILITY PLAN

SDML REALTY, LLC.
 3735 CROMPOND ROAD
 TOWN OF YORKTOWN
 WESTCHESTER COUNTY, NEW YORK

JOB #:	1932.01	DRAWN BY:	RMB
DATE:	12/16/22	SCALE:	1" = 20'
REVISION:	10 - 04/17/24	TAX LOT:	35.08-1-11, 14, 15 & 23

C-104



APPROVED
 Resolution Number 24-09
 Date 5/20/24

No.	DATE	DESCRIPTION
0	12/16/22	INITIAL SUBMISSION
1	01/10/23	REVISED PER PLANNING BOARD COMMENTS
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7	01/16/24	REVISED PER NYCDP COMMENTS 01/12/24
8	03/11/24	REVISED PER NYCDP COMMENTS 03/08/24
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10	04/17/24	REVISED PER NYCDP COMMENTS 04/16/24

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		SHEET NUMBER
<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	5 OF 14
<input type="checkbox"/>	WCDH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	WCDH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
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<input type="checkbox"/>	OTHER:	N/A OF N/A
<input type="checkbox"/>	FOR BID / CONSTRUCTION	N/A OF N/A

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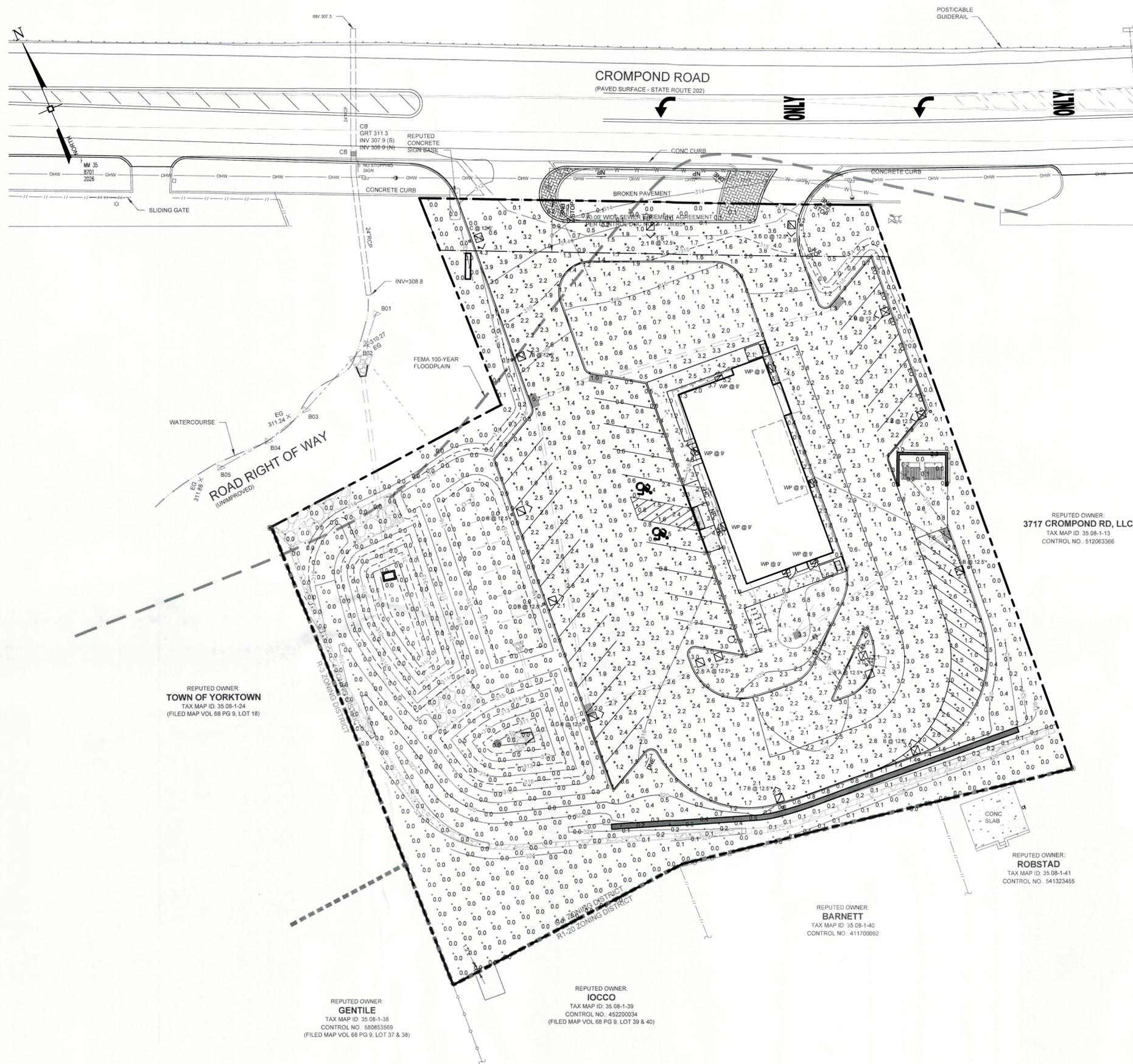


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EROSION & SEDIMENT CONTROL PLAN	
SDML REALTY, LLC. 3735 CROMPOND ROAD TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK	
JOB #:	1932.01
DATE:	12/16/22
REVISION:	10 - 04/17/24
DRAWN BY:	RMB
SCALE:	1" = 20'
TAX LOT:	35.08-1-11, 14, 15 & 23

C-105



Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
☐	A	2	Lithonia Lighting	DSX0 LED P1 30K 80CRI T5M	D-Series Size 0 Area Luminaire P1 Performance Package 3000K CCT 80 CRI Type 5 Medium	1	4358	0.89	66.42
☐	B	10	Lithonia Lighting	DSX0 LED P1 30K 80CRI BLC4	D-Series Size 0 Area Luminaire P1 Performance Package 3000K CCT 80 CRI Type 4 Extreme Backlight Control	1	3135	0.89	33.21
☐	C	1	Lithonia Lighting	DSX0 LED P1 30K 80CRI LCCO EGS	D-Series Size 0 Area Luminaire P1 Performance Package 3000K CCT 80 CRI Left Corner Cutoff Extreme Backlight Control External Glare Shield	1	3037	0.89	33.21
☐	D	1	Lithonia Lighting	DSX0 LED P1 30K 80CRI RCCO EGS	D-Series Size 0 Area Luminaire P1 Performance Package 3000K CCT 80 CRI Right Corner Cutoff Extreme Backlight Control External Glare Shield	1	3037	0.89	33.21
☐	WP	7	Holophane	HLWPC2 P10 30K XX TFTM	Wallpack Full Cutoff LED, LED Performance Package P10, 3000 series CCT, Voltage, Forward Throw Medium	1	2979	0.95	28

APPROVED
Resolution Number 24-09
Date 5/20/24

No.	DATE	DESCRIPTION
0	12/16/22	INITIAL SUBMISSION
1	01/10/23	REVISED PER PLANNING BOARD COMMENTS
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3	04/06/23	REVISED PER PLANNING BOARD COMMENTS
4	07/01/23	REVISED PER ENGINEER COMMENTS 06/26/23
5	09/13/23	REVISED PER NYSDOT COMMENTS 08/29/23
6	01/01/24	REVISED PER NYCDP COMMENTS 11/27/23
7	01/16/24	REVISED PER NYCDP COMMENTS 01/12/24
8	03/11/24	REVISED PER NYCDP COMMENTS 03/08/24
9	04/03/24	REVISED PER NYCDP COMMENTS 04/03/24
10	04/17/24	REVISED PER NYCDP COMMENTS 04/16/24

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		SHEET NUMBER
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<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	6	OF 14
<input type="checkbox"/> WCDOH REALTY SUBDIVISION APPROVAL	N/A	OF N/A
<input type="checkbox"/> WCDOH WATERMAIN EXTENSION APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDEC APPROVAL	N/A	OF N/A
<input type="checkbox"/> NYSDOT APPROVAL	N/A	OF N/A
<input type="checkbox"/> OTHER:	N/A	OF N/A
<input type="checkbox"/> FOR BID / CONSTRUCTION	N/A	OF N/A

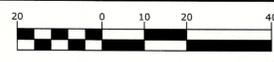
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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701



1 inch = 20 ft.

REPUTED OWNER:
TOWN OF YORKTOWN
TAX MAP ID: 35 08-1-24
(FILED MAP VOL 68 PG 9, LOT 18)

REPUTED OWNER:
3717 CROMPOND RD, LLC
TAX MAP ID: 35 08-1-13
CONTROL NO.: 512083366

REPUTED OWNER:
ROBSTAD
TAX MAP ID: 35 08-1-41
CONTROL NO.: 541223455

REPUTED OWNER:
BARNETT
TAX MAP ID: 35 08-1-40
CONTROL NO.: 411700092

REPUTED OWNER:
GENTILE
TAX MAP ID: 35 08-1-38
CONTROL NO.: 580853669
(FILED MAP VOL 68 PG 9, LOT 37 & 38)

REPUTED OWNER:
IOCCO
TAX MAP ID: 35 08-1-39
CONTROL NO.: 452200034
(FILED MAP VOL 68 PG 9, LOT 39 & 40)

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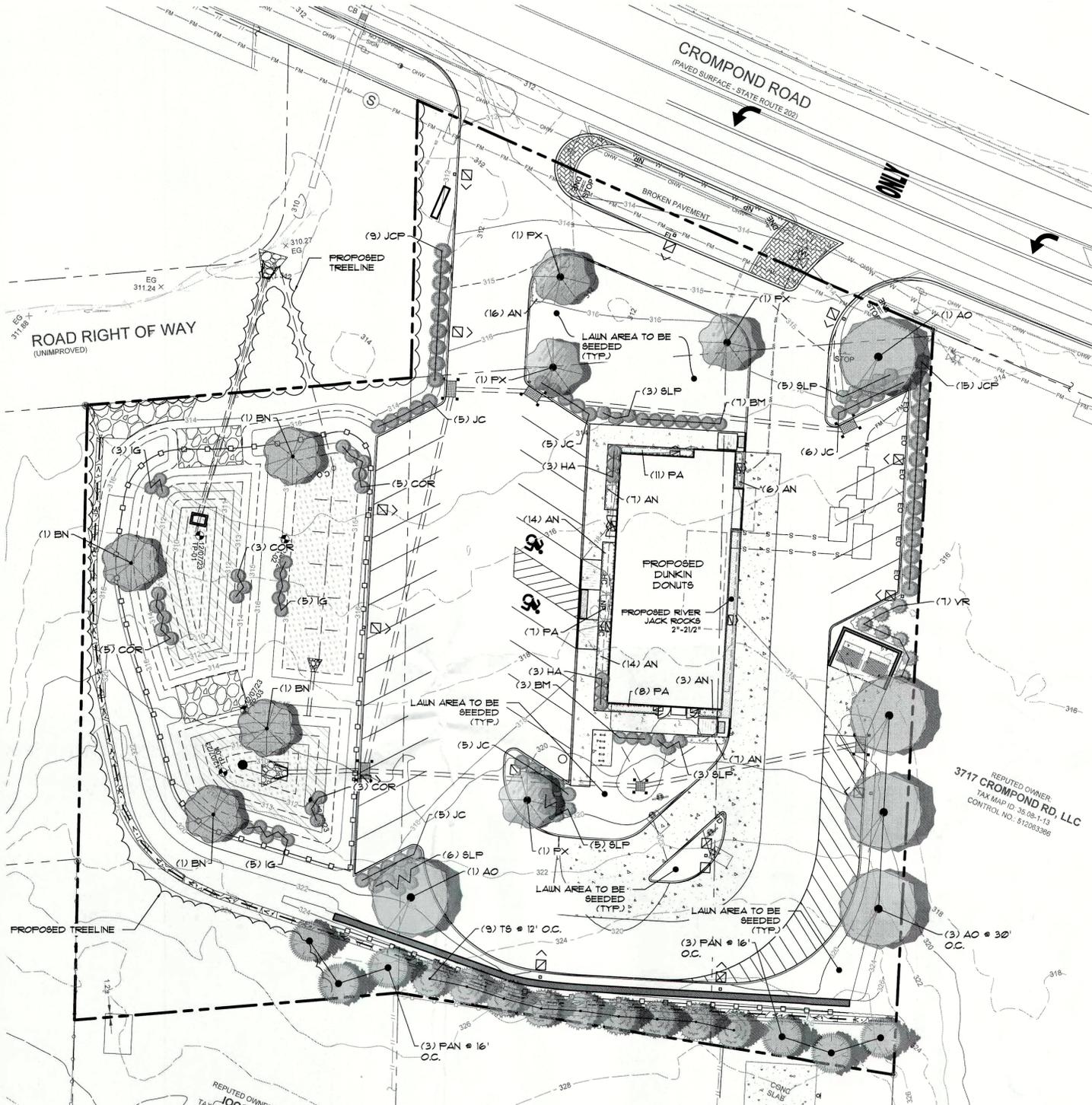
MONTGOMERY OFFICE
71 CLINTON STREET
MONTGOMERY, NY 12549
Ph: (845) 457-7727
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LIGHTING PLAN

SDML REALTY, LLC.
3735 CROMPOND ROAD
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK

JOB #:	1932.01	DRAWN BY:	RMB
DATE:	12/16/22	SCALE:	1" = 20'
REVISION:	10 - 04/17/24	TAX LOT:	35.08-1-11, 14, 15 & 23

C-106



SITE PLANTING SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
DECIDUOUS TREES					
	AO	Acer rubrum 'October Glory' / October Glory Red Maple	3"-3-1/2" Cal.	5	B4B
	BN	Betula nigra / River Birch	14#-16# Ht.	4	B4B
	FX	Prunus x yedoensis / Yoshino Cherry	2-1/2"-3" Cal.	4	B4B
EVERGREEN TREES					
	FAN	Picea abies / Norway Spruce	7#-8# Ht.	6	B4B
	TS	Thuja standishii x plicata 'Green Giant' / Green Giant Arborvitae	6#-7# Ht.	9	B4B
DECIDUOUS SHRUBS					
	COR	Cornus amomum / Silky Dogwood	30"-34"	16	CONT.
	SLP	Spiraea x bumalda 'Little Princess' / Little Princess Spiraea	24"-30"	22	B4B
EVERGREEN SHRUBS					
	BM	Buxus microphylla japonica 'Winter Gem' / Winter Gem Japanese Boxwood	30"-34"	10	CONT.
	IG	Ilex glabra 'Shamrock' / Shamrock Inkberry Holly	34"-36"	13	B4B
	JC	Juniperus chinensis 'Gold Coast' / Gold Coast Juniper	30"-34"	26	CONT.
	JCP	Juniperus chinensis 'Pfitzeriana Compacta' / Compacta Pfitzer Juniper	30"-34"	24	CONT.
	HA	Rhododendron obtusum / Hiryu Azalea	30"-34"	6	CONT.
	YR	Viburnum rhytidophyllum / Leatherleaf Viburnum	34"-36"	1	B4B
GRASSES					
	FA	Pennisetum alopecuroides 'Hamel' / Hameln Fountain Grass	2 gal.	24" oc.	26
PERENNIALS					
	AN	Aster novi-belgii / New York Aster	1 gal.	24" oc.	61

APPROVED
 Resolution Number 24-09
 Date 5/20/24

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10	04/17/24	REVISED PER NYCDPE COMMENTS 04/16/24

DRAWING STATUS		ISSUE DATE
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		04/17/24
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A	SHEET NUMBER
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	7 OF 14	
<input type="checkbox"/> WCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A	
<input type="checkbox"/> WCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A	
<input type="checkbox"/> NYSDEC APPROVAL	N/A OF N/A	
<input type="checkbox"/> NYS DOT APPROVAL	N/A OF N/A	
<input type="checkbox"/> OTHER:	N/A OF N/A	
<input type="checkbox"/> FOR BID / <input checked="" type="checkbox"/> CONSTRUCTION	N/A OF N/A	

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GENERAL PLANTING NOTES

- PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE OF PROJECT PLANTING. DEAD, DYING, UNHEALTHY AND/OR PLANTS IN POOR CONDITION SHALL BE REPLACED IN THE SAME PLANTING SEASON THAT THE LANDSCAPE ARCHITECT HAS DEEMED THE PLANT UNACCEPTABLE. PLANTINGS THAT REQUIRE REPLACEMENT SHALL BE REMOVED AND REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- EXISTING VEGETATION AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE TOPSOILED AND SEEDED UPON COMPLETION OF WORK.
- NEW PLANTING ROOT BALLS REMOVED FROM CANS SHALL BE SCARIFIED PRIOR TO BACKFILLING THE PLANT.
- ALL PLANTINGS SHOWN ON APPROVED SITE DEVELOPMENT PLAN OR SPECIAL PERMIT PLAN SHALL BE MAINTAINED IN A VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF CONSTRUCTION AND PLANTS NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTS AT THE BEGINNING OF THE NEXT GROWING SEASON.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LIMITS OF WORK AND EXISTING CONDITIONS AND VERIFY ALL INFORMATION. IF DISCREPANCIES EXIST, CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES AND OBTAIN AS-BUILT INFORMATION DRAWINGS WERE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IN WRITING WITHIN SEVEN (7) CALENDAR DAYS OF NOTICE TO PROCEED OF ANY DISCREPANCIES.
- CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HOURS MINIMUM PRIOR TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES AND OTHER OBSTRUCTIONS AND COORDINATE WITH OWNER'S REPRESENTATIVE IN WRITING PRIOR TO INITIATING OPERATIONS.
- TYPICALLY, SHRUB AND GROUND COVER PLANTINGS ARE SHOWN AS MASS PLANTING BEDS. PLANTS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION (STAGGERED SPACING). PLANT CENTER TO CENTER DIMENSIONS (O.C.) ARE LISTED ON THE PLANT LIST.
- CONTRACTOR SHALL FIELD STAKE THE LOCATIONS OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO ALL EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- ALL TREES PLANTED IN LAWN AREA SHALL RECEIVE A 4" DIAMETER MULCH RING AT A DEPTH OF 4".
- PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWING SHALL TAKE PRECEDENCE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, GENERAL NOTES AND SPECIFICATIONS FOR FURTHER AND COMPLETE INSTRUCTIONS.
- SEED SUPPLIER POND PLANTINGS: SOUTHERN TIER CONSULTING, INC. WEST CLARKSVILLE, NY.

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STEVEN T. ESPOSITO, R.L.A.
NEW YORK LICENSE # 001169

1 inch = 20 ft.

RETENTION/DETENTION POND PLANTINGS

DRAWN DOWN ZONE / EMERGENT AREA
NORTHEAST WETLAND NATIVE WILDFLOWER MIX @ 1 LBS / 11,000 SQ. FT.

PERCENT BY NUMBER OF SEEDS (NOT BY WEIGHT)	Species
26.66%	Eupatorium perfoliatum
20.80%	Verberna hastata
19.75%	Panicum dichotomiflorum
9.89%	Solidago rugosa
8.74%	Eupatorium maculatum
6.65%	Euthamia graminifolia
4.59%	Polygonum persyanivum
2.80%	Aster novae-angliae
0.79%	Bidens cernua
0.21%	Asclepias incarnata
0.12%	Iris versicolor

NORTHEAST WETLAND GRASS SEED MIX @ 1 LBS / 3,000 SQ. FT.

PERCENT BY NUMBER OF SEEDS (NOT BY WEIGHT)	Species
63.0%	Argostis stolonifera
17.0%	Poa trivialis
11.0%	Alopecurus arundinaceus
4.5%	Lolium multiflorum
4.5%	Panicum clandestinum

AS MANUFACTURED BY SOUTHERN TIER CONSULTING, INC. WEST CLARKSVILLE, NEW YORK

**LANDSCAPE PLAN
FOUR SEASON MAINTENANCE SCHEDULE**

SEASON	MAINTENANCE SCHEDULE
SPRING	GENERAL CLEANUP AND MAINTENANCE TO BE PERFORMED AROUND THE ENTIRE PROPERTY. PRUNE AND MAINTAIN TREES AND SHRUBS AS REQUIRED TO MAINTAIN THE NATURAL PLANT APPEARANCE. ALL FALLEN AND DEAD BRANCHES ARE TO BE REMOVED. ANY DEAD PLANTS ARE TO BE REPLACED. FERTILIZER IS TO BE USED ON THE TREES (ERICACEOUS FERTILIZER ON ALL AZALEAS). SHRUB FERTILIZATION SHALL BE PERFORMED USING SLOW RELEASE, COMPLETE ORGANIC BASED PRODUCTS. WEED KILLER TO BE USED ON LAWN AS A PRE-EMPTIVE EFFORT TO PREVENT GROWTH.
SUMMER	LAWN IS TO BE MOVED AS REQUIRED TO MAINTAIN A GRASS HEIGHT OF 3 INCHES. ALL FALLEN OR DEAD BRANCHES TO BE REMOVED AS REQUIRED. ANY DEAD PLANTS ARE TO BE REPLACED. ALL OPEN LAWN AREAS ARE TO BE WATERED AS CONDITIONS DICTATE THROUGHOUT THE SEASON.
FALL	GENERAL CLEANUP AROUND PROPERTY TO BE CONDUCTED AS REQUIRED. LEAVES AND BRANCHES ARE TO BE CLEARED FROM ALL OPEN LAWN AREAS. ALL BARE SPOTS ON THE LAWN ARE TO BE FERTILIZED AND RESEEDED AS NECESSARY. SHRUB FERTILIZATION SHALL BE PERFORMED USING SLOW RELEASE, COMPLETE ORGANIC BASED PRODUCTS.
WINTER	GENERAL CLEANUP AND MAINTENANCE AROUND PROPERTY TO BE PERFORMED AS NECESSARY. ANY AND ALL DEAD OR FALLEN BRANCHES TO BE REMOVED FROM LAWN.

ROADWAYS, SIDEWALKS, AND PARKING AREAS SHOULD BE SWEEP CLEAN WEEKLY REMOVING VEGETATION, DEBRIS, TRASH OR GARBAGE.

PERMANENT SEEDING SCHEDULE

- TOPSOIL SHALL BE SPREAD TO A UNIFORM THICKNESS OF 4".
- TOPSOIL SURFACE SHALL BE FINELY GRADED AND LOOSENEED BY MECHANICAL RAKES TO ENSURE SEED ACCEPTANCE AND SEED TO SOIL CONTACT.
- FERTILIZER SHALL BE APPLIED AT 6 LBS. OF 8-10-10 COMMERCIAL FERTILIZER / 1,000 SQ. FT.
- SEEDING SHALL BE INSTALLED AT 5 LBS. / 1,000 SQ. FT. OF:
 - 4.1 60% KENTUCKY BLUE GRASS
 - 4.2 20% CHEWINGS FESCUE
 - 4.3 20% PERENNIAL RYE

PLANTING SCHEDULE

TREES & SHRUBS	SPRING PLANTING	FALL PLANTING
EVERGREEN	APRIL 1 - JUNE 30	SEPT. 1 - OCT. 15
DECIDUOUS	MARCH 1 - JUNE 30	OCT. 1 - DEC. 1

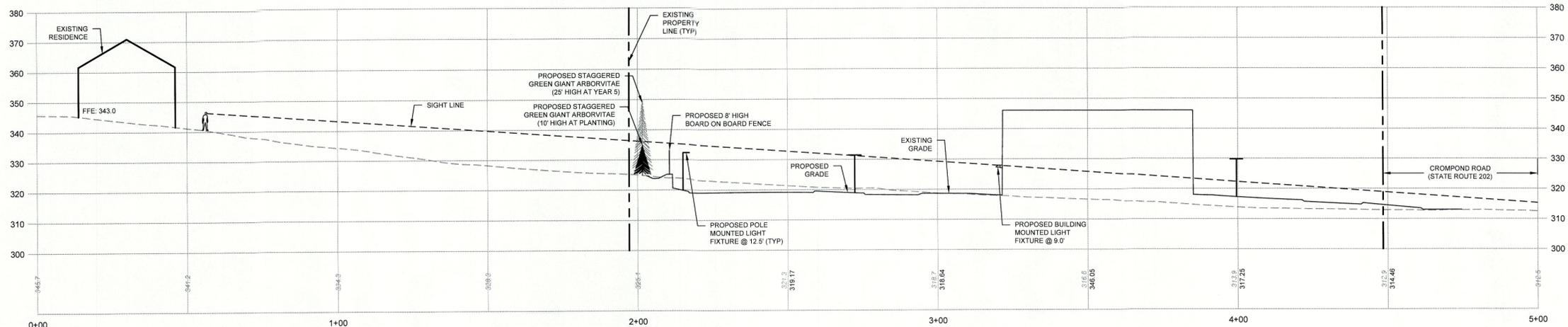
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LANDSCAPING PLAN

SDML REALTY, LLC.
 3735 CROMPOND ROAD
 TOWN OF YORKTOWN
 WESTCHESTER COUNTY, NEW YORK

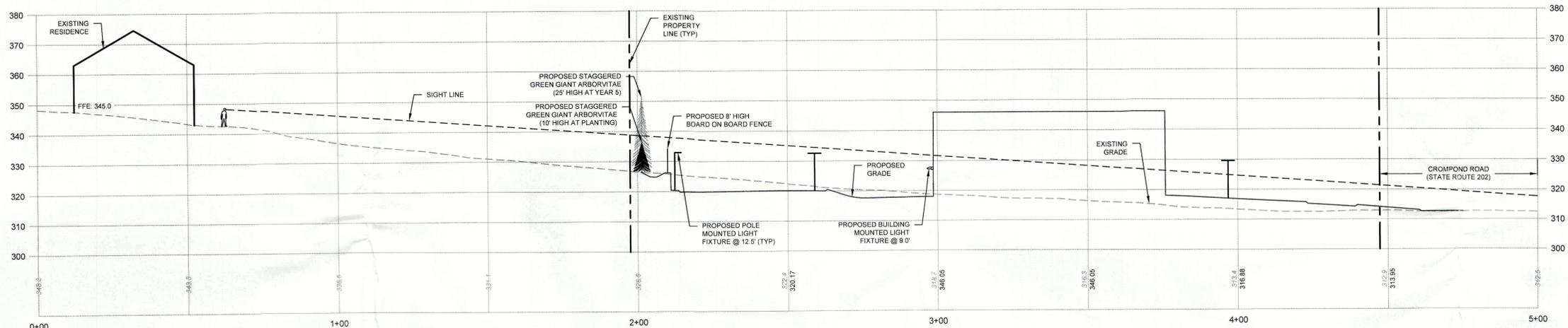
JOB #:	1932.01	DRAWN BY:	RMB
DATE:	12/16/22	SCALE:	1" = 20'
REVISION:	10 - 04/17/24	TAX LOT:	35.08-11-11, 14, 15 & 23

C-107



3756 OLD CROMPOND ROAD LINE OF SIGHT PROFILE
SCALE: 1"=20' (H / V)

APPROVED
Resolution Number 24-09
Date 3/20/24

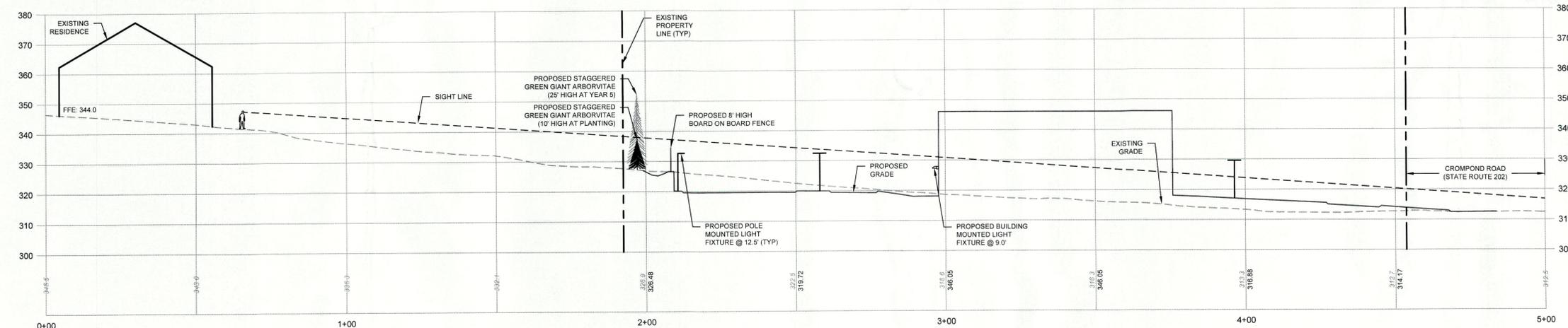


3744 OLD CROMPOND ROAD LINE OF SIGHT PROFILE
SCALE: 1"=20' (H / V)

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<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	8 OF 14
<input type="checkbox"/>	WCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	WCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	OTHER:	N/A OF N/A
<input type="checkbox"/>	FOR BID / CONSTRUCTION	N/A OF N/A

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3738 OLD CROMPOND ROAD LINE OF SIGHT PROFILE
SCALE: 1"=20' (H / V)

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

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LINE OF SIGHT PROFILES

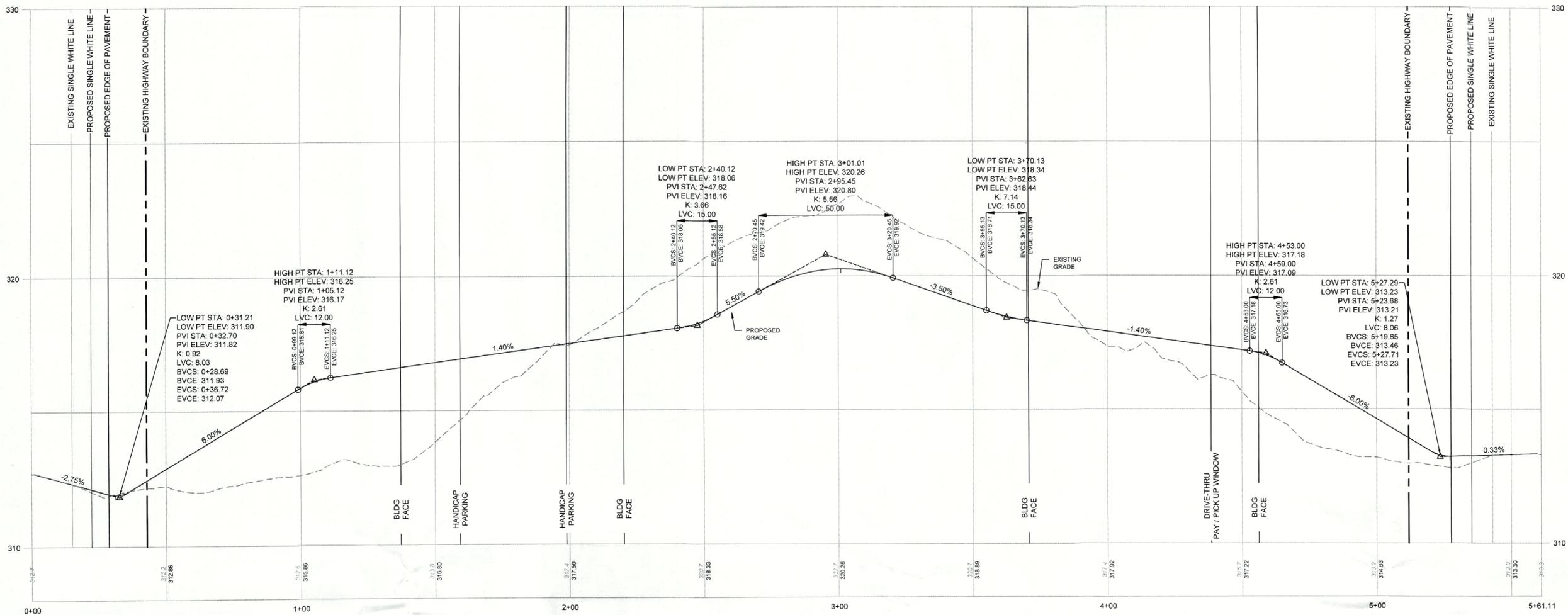
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3735 CROMPOND ROAD
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK

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REVISION: 10 - 04/17/24

DRAWN BY: RMB
SCALE: 1" = 20'
TAX LOT: 35.08-1-11, 14, 15 & 23

C-201

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SITE LOOP PROFILE

SCALE: 1" = 20' H
1" = 2' V

APPROVED
Resolution Number 2409
Date 5/22/24

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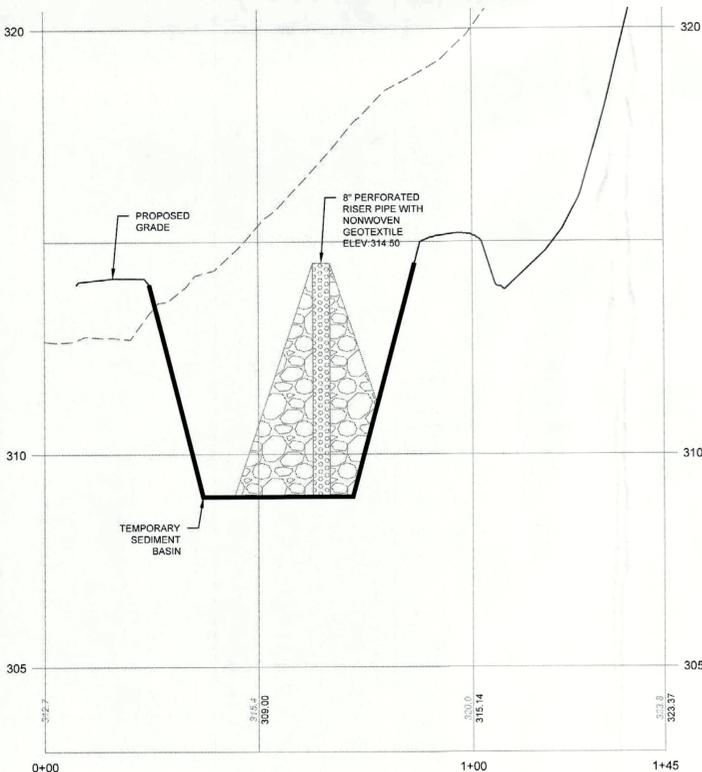
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		SHEET NUMBER
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<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	9 OF 14
<input type="checkbox"/>	WCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	WCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYS DEC APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYS DOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	OTHER:	N/A OF N/A
<input type="checkbox"/>	FOR BID / CONSTRUCTION	N/A OF N/A

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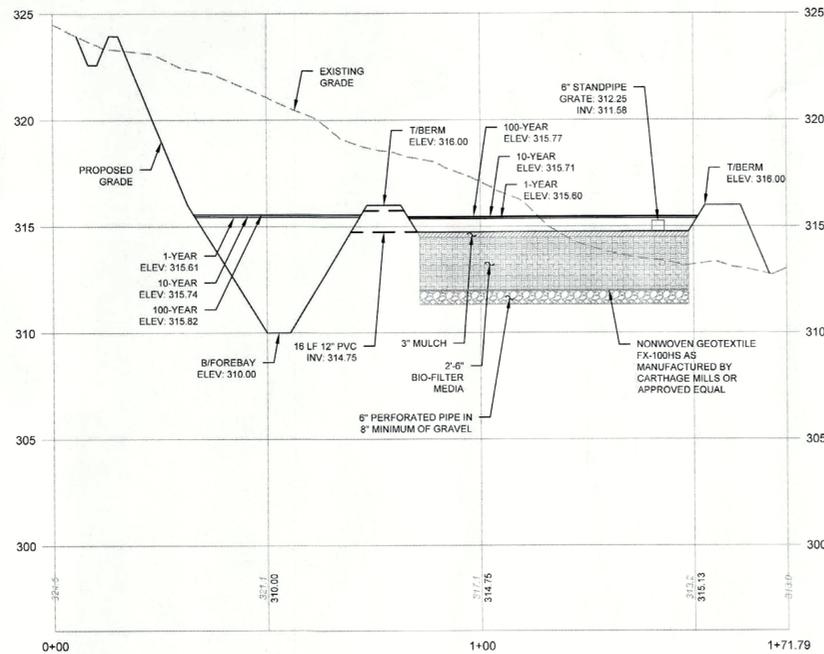
ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

1 inch = 20 ft.



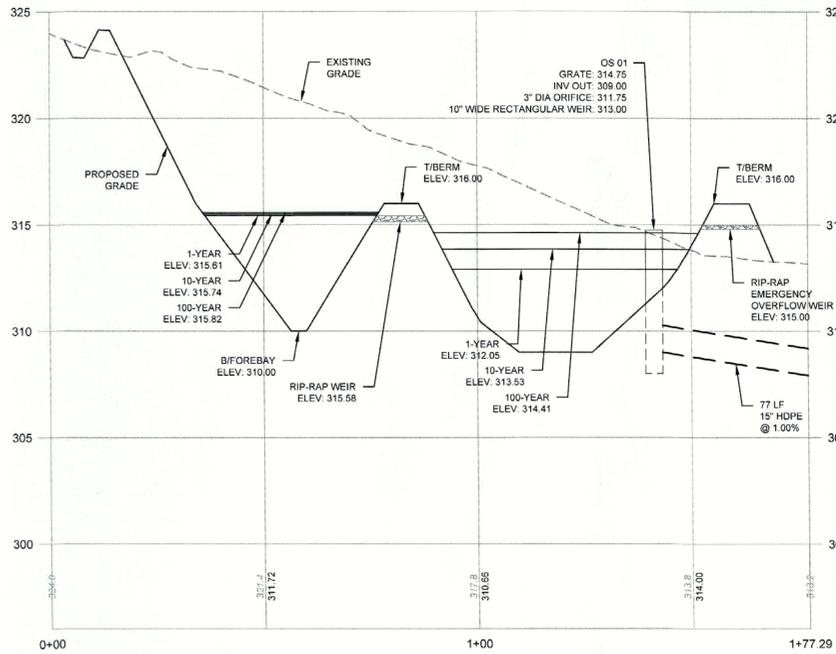
PR-A2 SEDIMENT BASIN

SCALE: 1" = 20' H
1" = 2' V



PR-A2 FOREBAY TO BIORETENTION

SCALE: 1" = 20' H
1" = 5' V



PR-A2 FOREBAY TO EXTENDED DETENTION

SCALE: 1" = 20' H
1" = 5' V

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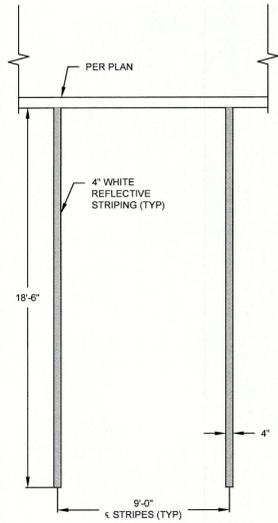
SITE LOOP & POND PROFILES

SDML REALTY, LLC.
3735 CROMPOUND ROAD
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK

JOB #: 1932.01
DATE: 12/16/22
REVISION: 10 - 04/17/24

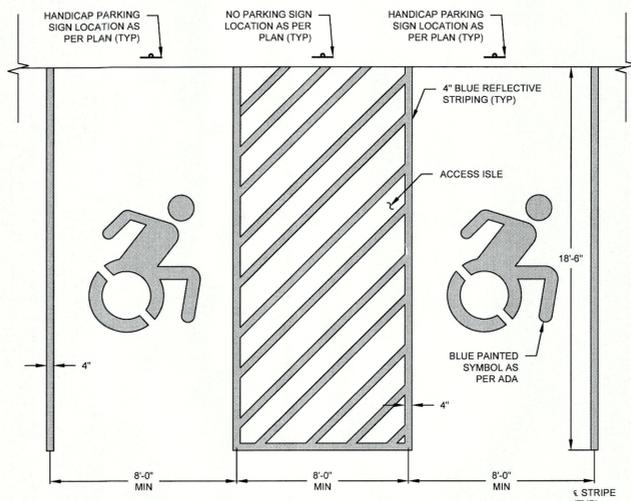
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TAX LOT: 35.08-1-11, 14, 15 & 23

C-202



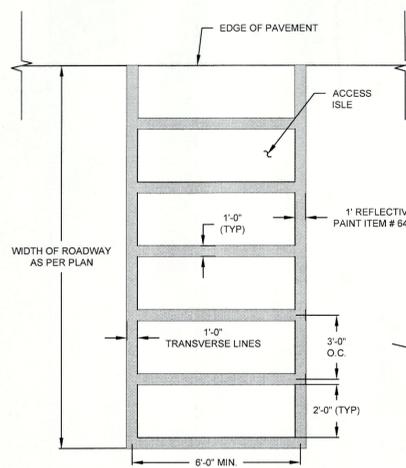
PARKING SPACE

SCALE: N.T.S.



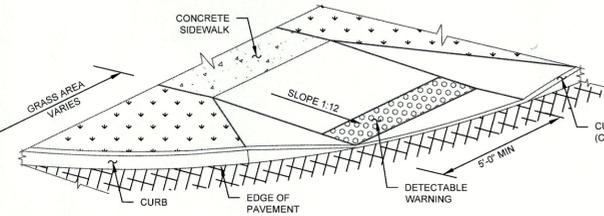
HANDICAP PARKING SPACES

SCALE: N.T.S.



PEDESTRIAN CROSSWALK

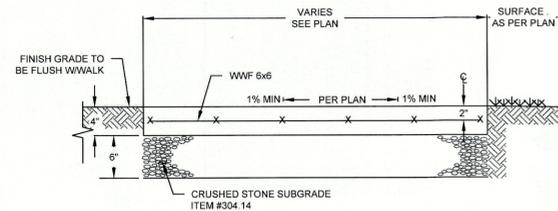
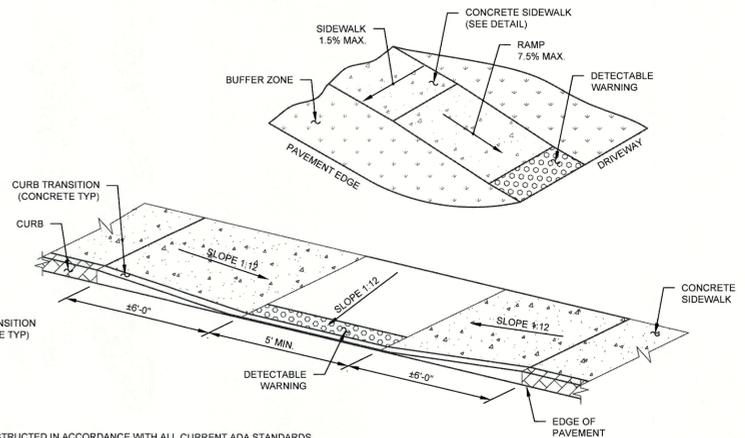
SCALE: N.T.S.



- NOTES:
 1. ALL SIDEWALKS AND RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT ADA STANDARDS.
 2. CURB SHALL BE CAST IN PLACE CONCRETE WITH A STRENGTH OF 4,000 PSI AT 28 DAYS.
 3. PEDESTRIAN RAMPS ALONG 17M SHALL BE INSTALLED AS PER NYS DOT STANDARD SHEET 608-01 SHEET 3 (RAMP SIDE OPTION A: FLARED CONCRETE).

HANDICAP RAMP

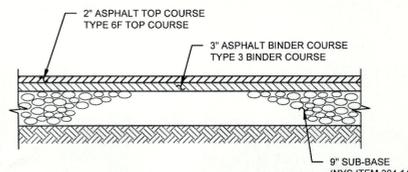
SCALE: N.T.S.



- NOTES:
 1. PREMOULDED SIDEWALK EXPANSION JOINTS SHALL BE SPACED AT 10' INTERVALS.
 2. CONTRACTION JOINTS SHALL BE SPACED AT 6' INTERVALS AND SHALL BE 1" DEEP.
 3. ALL CONCRETE FOR SIDEWALKS SHALL BE FIBER REINFORCED 4000 PSI AT 28 DAYS WITH TRANSVERSE BROOM FINISH AND CROSS SLOPE.

CONCRETE SIDEWALK

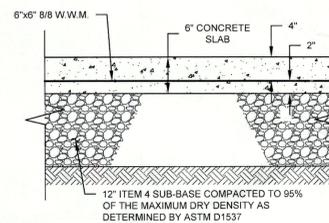
SCALE: N.T.S.



- NOTES:
 1. ITEM NUMBERS REFER TO NYS DOT SPECS.
 2. ALL SUBGRADE AND SUBBASE IN ALL PAVEMENT AREAS SHALL BE PROOF ROLLED IN THE PRESENCE OF THE ENGINEER AND FOUND TO BE NON-YIELDING.

PAVEMENT SECTION

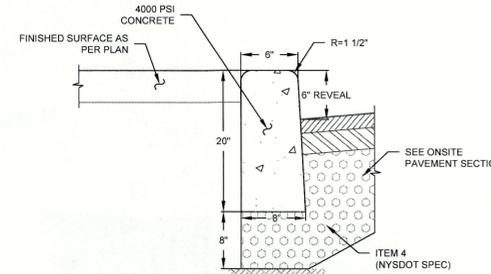
SCALE: N.T.S.



- NOTES:
 1. CONCRETE SHALL BE 4000 PSI AT 28 DAYS.
 2. ALL SUB-GRADE AND SUB-BASE SHALL BE PROOF ROLLED WITH TOWN ENGINEER PRESENT PRIOR TO THE PLACEMENT OF SUBSEQUENT LIFTS.

CONCRETE PAVEMENT SECTION

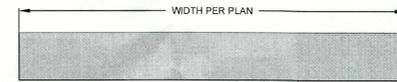
SCALE: N.T.S.



- NOTES:
 1. CURB SHALL BE CAST IN PLACE.
 2. EXPANSION JOINTS OF 1/2" CELLULOSE OR SIMILAR MATERIAL SHALL BE PLACED AT 10 FOOT INTERVALS AND WHERE REQUIRED (i.e. CURB BOXES, CATCH BASINS, ETC.)
 3. 6" REVEAL CURB TO BE USED FOR ONSITE CURBS ONLY OUTSIDE OF ANY RIGHT OF WAY.

CONCRETE CURB

SCALE: N.T.S.



STOP BAR

SCALE: N.T.S.

APPROVED
 Resolution Number 24-09
 Date 5/20/24

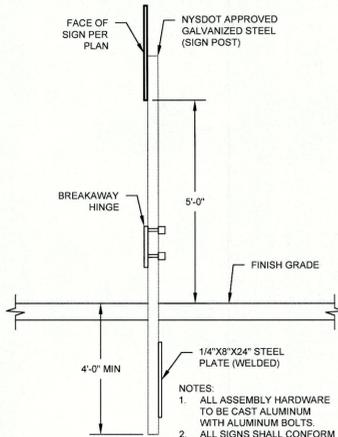
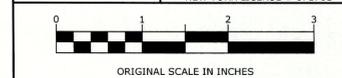
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1	01/10/23	REVISED PER PLANNING BOARD COMMENTS
2	02/13/23	REVISED PER PLANNING BOARD COMMENTS
3	04/06/23	REVISED PER PLANNING BOARD COMMENTS
4	07/01/23	REVISED PER ENGINEER COMMENTS 06/26/23
5	09/13/23	REVISED PER NYS DOT COMMENTS 08/29/23
6	01/01/24	REVISED PER NYCDP COMMENTS 11/27/23
7	01/16/24	REVISED PER NYCDP COMMENTS 01/12/24
8	03/11/24	REVISED PER NYCDP COMMENTS 03/08/24
9	04/03/24	REVISED PER NYCDP COMMENTS 04/03/24
10	04/17/24	REVISED PER NYCDP COMMENTS 04/16/24

DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		04/17/24
CONCEPT APPROVAL		N/A OF N/A
PLANNING BOARD APPROVAL		10 OF 14
WCDOH REALTY SUBDIVISION APPROVAL		N/A OF N/A
WCDOH WATERMAIN EXTENSION APPROVAL		N/A OF N/A
NYSDEC APPROVAL		N/A OF N/A
NYS DOT APPROVAL		N/A OF N/A
OTHER:		N/A OF N/A
FOR BID / CONSTRUCTION		N/A OF N/A

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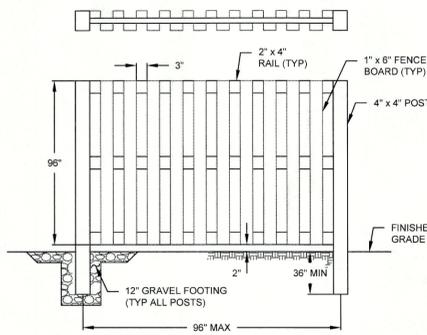
SIGN POST

SCALE: N.T.S.

SIGN	TEXT	M.U.T.C.D. No.	SIZE OF SIGN	TYPE OF MOUNT	DESCRIPTION
STOP		R1-1C	36" x 36"	GR MTD	RED BACKGROUND WHITE LEGEND
FL		R8-31	12" x 18"	GR MTD	WHITE BACKGROUND RED LETTERING
NP		P1-1C	12" x 18"	GR MTD	WHITE BACKGROUND RED LETTERING
HC		M12-1	18" x 24"	GR MTD	BLUE BACKGROUND BLACK SYMBOL WHITE LETTERING
NLT		R3-2	24" x 24"	GR MTD	WHITE BACKGROUND BLACK SYMBOL RED CIRCLE & DIAG.
YD		R1-2	36" x 36" x 36"	GR MTD	WHITE BACKGROUND RED LETTERING & SYMBOL
EO			12" x 18"	GR MTD	WHITE BACKGROUND BLACK LETTERING

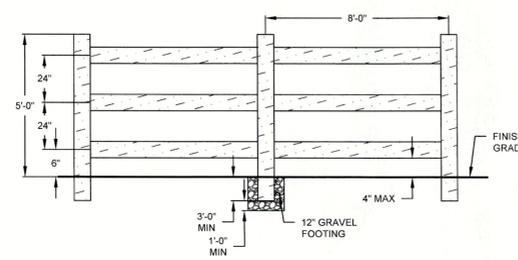
SIGN SCHEDULE

SCALE: N.T.S.



BOARD-ON-BOARD FENCE

SCALE: N.T.S.



SPLIT-RAIL FENCE

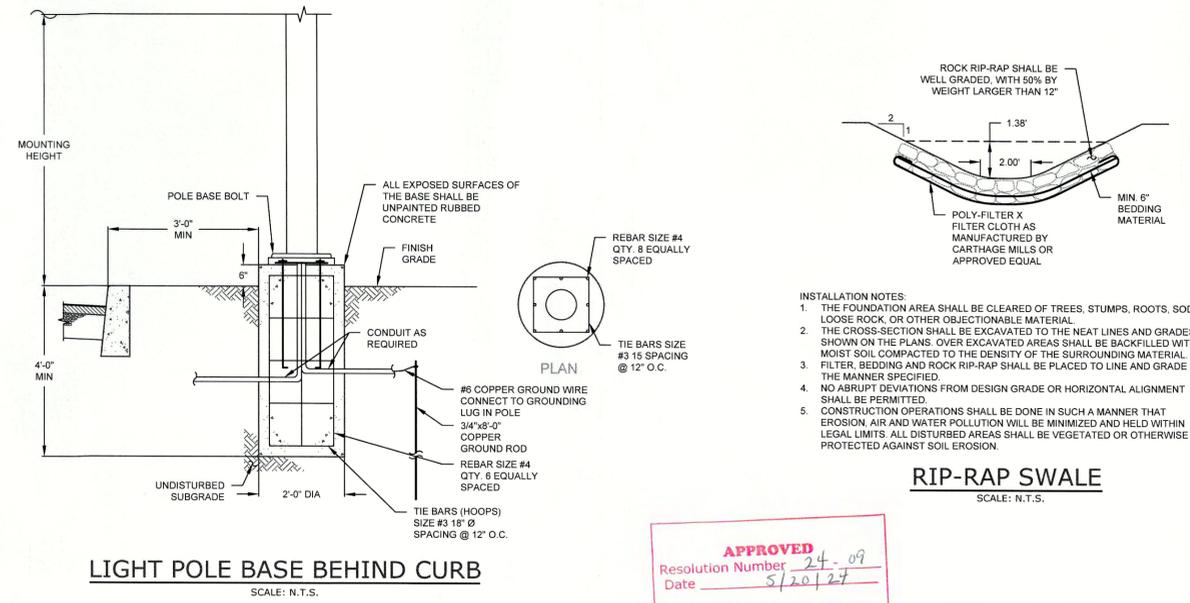
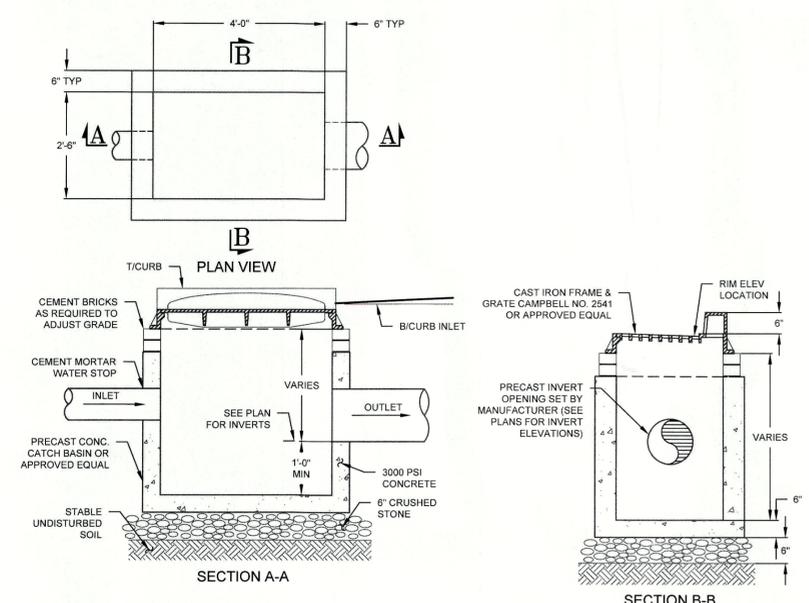
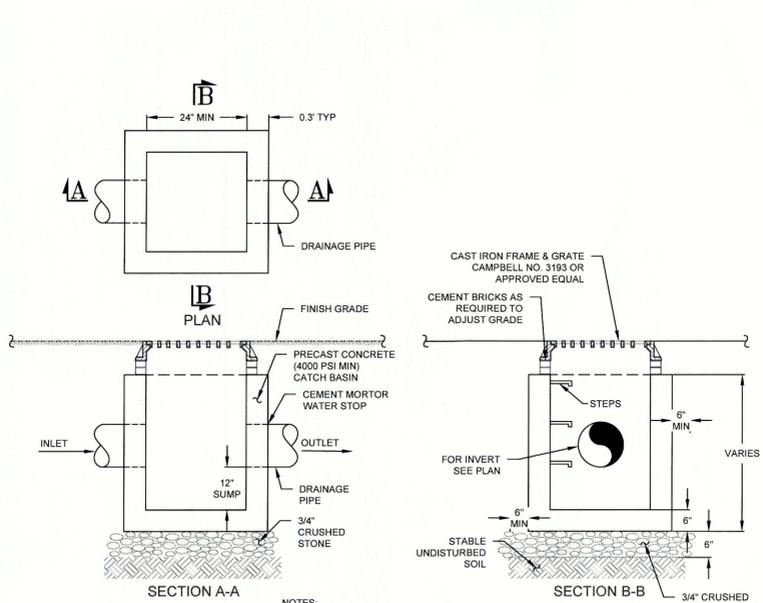
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DETAILS	
SDML REALTY, LLC. 3735 CROMPOD ROAD TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK	
JOB #:	1932.01
DATE:	12/16/22
REVISION:	10 - 04/17/24
DRAWN BY:	RMB
SCALE:	AS NOTED
TAX LOT:	35.08-1-11, 14, 15 & 23

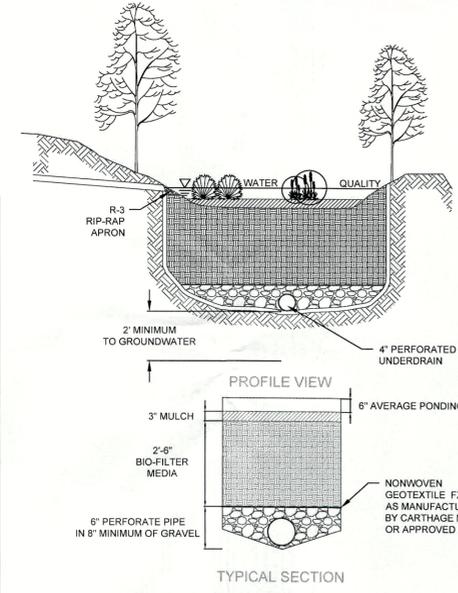
C-301



RIP-RAP SWALE
SCALE: N.T.S.

APPROVED
Resolution Number 24-09
Date 5/20/24

NO.	DATE	DESCRIPTION
0	12/16/22	INITIAL SUBMISSION
1	01/10/23	REVISED PER PLANNING BOARD COMMENTS
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10	04/17/24	REVISED PER NYSDOT COMMENTS 04/16/24



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<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A	SHEET NUMBER
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	11 OF 14	
<input type="checkbox"/> WCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A	
<input type="checkbox"/> WCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A	
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A	
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A	
<input type="checkbox"/> OTHER:	N/A OF N/A	
<input type="checkbox"/> FOR BID / <input checked="" type="checkbox"/> CONSTRUCTION	N/A OF N/A	

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

D-Series Size 0 LED Area Luminaire

Specifications
EPA: 0.44 ft² (0.44 ft²)
Length: 26.18" (667mm)
Width: 14.06" (357mm)
Height H1: 2.26" (57mm)
Height H2: 7.46" (189mm)
Weight: 23 lbs (10.4kg)

Ordering Information
EXAMPLE: DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAR2 PIRNH DDBXD

Series	LED	Color Temperature	Color Rendering Index	Beam Spread	Mounting	Notes	
DSX0 LED	Forward optics	30K 3000K	70CRI	47R	Aluminum form top	TSM	Type V medium
					Aluminum form bottom	T5G	Type V medium
					Aluminum form top & bottom	T5G	Type V medium
					Aluminum form top & bottom	T5G	Type V medium
					Aluminum form top & bottom	T5G	Type V medium
					Aluminum form top & bottom	T5G	Type V medium
	Retro-reflective optics	30K 3000K	70CRI	47R	Aluminum form top	TSM	Type V medium
					Aluminum form bottom	T5G	Type V medium
					Aluminum form top & bottom	T5G	Type V medium
					Aluminum form top & bottom	T5G	Type V medium
					Aluminum form top & bottom	T5G	Type V medium
					Aluminum form top & bottom	T5G	Type V medium

HOLOPHANE
LEADER IN LIGHTING SOLUTIONS

HLWPC2
Wallpack Full Cutoff LED

Introduction
The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire.

Specifications
Housing: Heavy gauge A360 cast aluminum (aluminum with <1% copper)
Exterior parts: protected by a zinc-inhibited Super Durable TSC thermoplastic powder coat finish that provides superior resistance to corrosion and weathering
Mounts to a standard junction box
Wet location listed
IP65 rated housing, down light only
1" x 1" threaded entry (NEMA 14 NPT) on each side and on top, accepts 1/2" and 1/4" conduit
1/4" threaded plugs are gasketed on each side
Vibration tested to 1.5g per ANSI C136.31

Electrical
Certified by UL or CSA
Rated for 40°C (104°F) minimum ambient
A programmable electronic driver with 0-10V control leads
Available in: 120-277V 50/60 Hz and 347-480V 50/60 Hz
Standard: 3000K, 4000K and 5000K CCT (±70 CR)
Optional: >80 CR (3000K, 4000K and 5000K CCT)
Internally housed emergency battery backup for operation in an ambient temperature ranging from -20°C (-4°F) to 30°C (86°F), available with P10 thru P40 performance packages, non-CE compliant
UL-79 compliant
The projected LED Lumen Maintenance shall be based only on IES LM-80-08 and TM-21

Warranty
5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty-terms-and-conditions

Notes: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Options:
Light engine housing in IP65 rated
Acrylic optical system
Type V: E (entry), M (medium), R (rectangle) & W (wide) & Asymmetric

Shipping Information
Shipped installed
HLWPC2 PIRNH: right side 2" x 2" cutout with 1/2" hole for 1/2" conduit with 1/2" mounting height, ambient sensor included at 2K 1000K
PIR: High flow, non-reflective optics, 4-4" mounting height, ambient sensor included at 2K 1000K
PER: NEMA 4x4 box, retro-reflective optics, ambient sensor
PER2: Two phenolic only (optional, ambient sensor)

Shipping Information
Shipped separately
HS: Housings (black finish standard)
L90: Left (retro-reflective)
R90: Right (retro-reflective)
CCE: Cast (Construction)
Shipped separately
B5: External Case Shield (optional, field install required, includes mounting kit)
B5: End (spike) (field install required)

Finish Options
DBR01: Dark Bronze
DBL01: Black
DRK01: Natural Aluminum
DRW01: White
DRD01: Toward dark bronze
DRB01: Toward dark bronze
DRW01: Toward natural aluminum
DRW01: Toward white

Figure 3.7
Flow Spreader Detail

CONSTRUCTION SPECIFICATIONS

- THE MATTING SHOULD BE A MINIMUM OF 4FT. WIDE EXTENDING 6 INCHES OVER THE WEIR AND BURIED 6 INCHES DEEP IN A VERTICAL TRENCH ON THE LOWER EDGE. THE UPPER EDGE SHOULD BUTT AGAINST SMOOTHLY CUT SOIL AND BE SECURELY HELD IN PLACE WITH CLOSELY SPACED HEAVY DUTY WIRE STAPLES AT LEAST 12 INCHES IN LENGTH.
- ENSURE THAT THE WEIR IS LEVEL TO UNIFORMLY SPREAD DISCHARGE.
- THE WEIR SHALL BE PLACED IN UNDISTURBED SOIL NOT FILL.
- A 20 FOOT TRANSITION SECTION WILL BE CONSTRUCTED FROM THE DIVERSION CHANNEL TO THE SPREADER TO SMOOTHLY BLEND THE DIFFERENT DIMENSION AND GRADES.
- THE RUNOFF DISCHARGE WILL BE OUTLETED INTO A STABILIZED VEGETATED SLOPE NOT EXCEEDING 10%.
- SEED AND MULCH THE DISTURBED AREA IMMEDIATELY AFTER CONSTRUCTION.

ADAPTED FROM DETAILS PROVIDED BY: USDA - NRCS, NEW YORK STATE DEPARTMENT OF TRANSPORTATION, NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION, NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE.

FLOW SPREADER

New York State Standards and Specifications for Erosion and Sediment Control Page 3.20 July 2016

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DETAILS

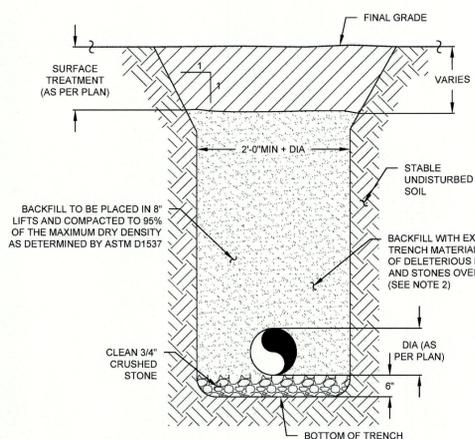
SDML REALTY, LLC.
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REVISION: 10 - 04/17/24

DRAWN BY: RMB
SCALE: AS NOTED
TAX LOT: 35.08-1-11, 14, 15 & 23

OVERFLOW WEIR(S)
SCALE: N.T.S.

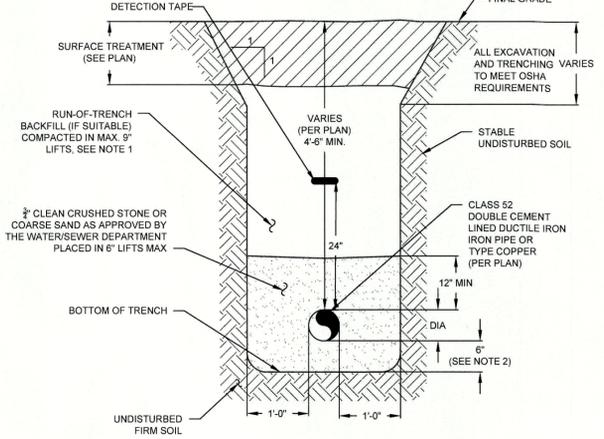
POND	ELEV A	ELEV B	W- WIDTH (FEET)
FOREBAY TO WET EXTENDED DETENTION (PR-A2)	316.00	315.58	20.0
WET EXTENDED DETENTION (PR-A2)	316.00	315.00	20.0



- NOTES:
1. ALL FILL BELOW BUILDINGS, PAVEMENT AREAS, SIDEWALKS, CURBS, ETC. OR WITHIN THE TOWN OF YORKTOWN RIGHT-OF-WAY SHALL BE WITH R.O.B GRAVEL (NYS DOT SPEC) FOR THE FULL DEPTH OF THE EXCAVATION. BACKFILL SHALL BE PLACED IN 8" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
 2. ALL DRAINAGE PIPE SHALL BE HDPE WITH A SMOOTH INVERT.
 3. ALL EXCAVATION AND TRENCHING TO MEET OSHA REQUIREMENTS.

DRAINAGE PIPE TRENCH

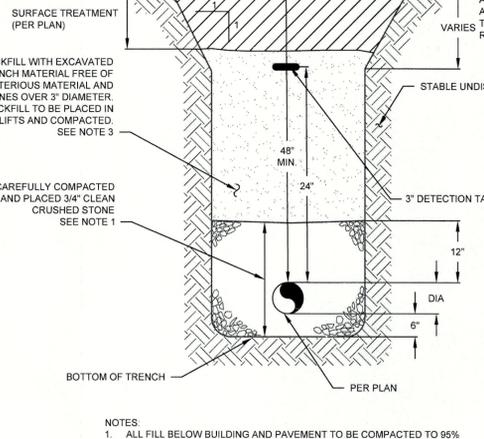
SCALE: N.T.S.



- NOTES:
1. ALL FILL BELOW BUILDINGS, PAVEMENT AREAS, SIDEWALKS, CURBS, ETC. SHALL BE WITH NYS DOT ITEM #4 FOR THE FULL DEPTH OF THE EXCAVATION. BACKFILL SHALL BE PLACED IN 8" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
 2. IF ROCK IS ENCOUNTERED DURING EXCAVATION OF THE TRENCH, THE PIPE BEDDING SHALL BE INCREASED TO 8" THICK.

WATER PIPE TRENCH

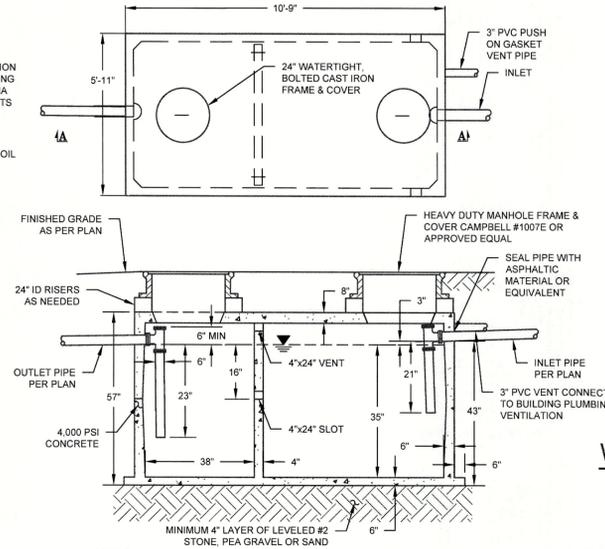
SCALE: N.T.S.



- NOTES:
1. ALL FILL BELOW BUILDING AND PAVEMENT TO BE COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.
 2. ALL SEWER MAINS SHALL BE 8" OR 10" SDR 35 PVC. ALL SEWER HEADERS SHALL BE 6" SDR 35 AND ALL SEWER LATERAL TO BE 4" SDR 35 PVC.
 3. ALL FILL BELOW BUILDINGS, PAVEMENT AREAS, SIDEWALKS, CURBS, ETC. SHALL BE WITH ITEM #4 (NYS DOT SPEC) FOR THE FULL DEPTH OF THE EXCAVATION. BACKFILL SHALL BE PLACED IN 8" MAXIMUM LIFTS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR TEST.

SEWER PIPE TRENCH

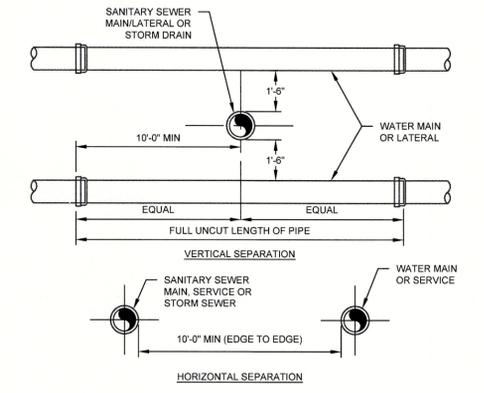
SCALE: N.T.S.



- NOTES:
1. GREASE TRAP, SAMPLE VAULT, FRAME AND GRATE WITHIN PAVEMENT AREAS ARE TO BE CAPABLE OF WITHSTANDING HS-25 LOADINGS. THICKNESS TO BE DETERMINED BY MANUFACTURER.
 2. ANY TWO PIECE TANKS SHALL BE TESTED FOR WATER TIGHTNESS IN ACCORDANCE WITH ASTM C1613-17 OR LATEST REVISION.

GREASE TRAP (1,000 GAL)

SCALE: N.T.S.

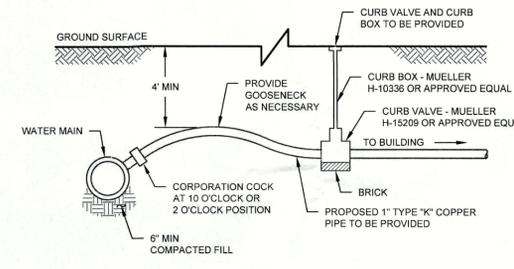


- NOTES:
1. NO DEVIATION IN THE SEPARATION REQUIREMENTS WILL BE PERMITTED WITHOUT APPROVAL OF THE ORANGE COUNTY DEPARTMENT OF HEALTH.

WATER/SEWER SEPARATION REQUIREMENTS

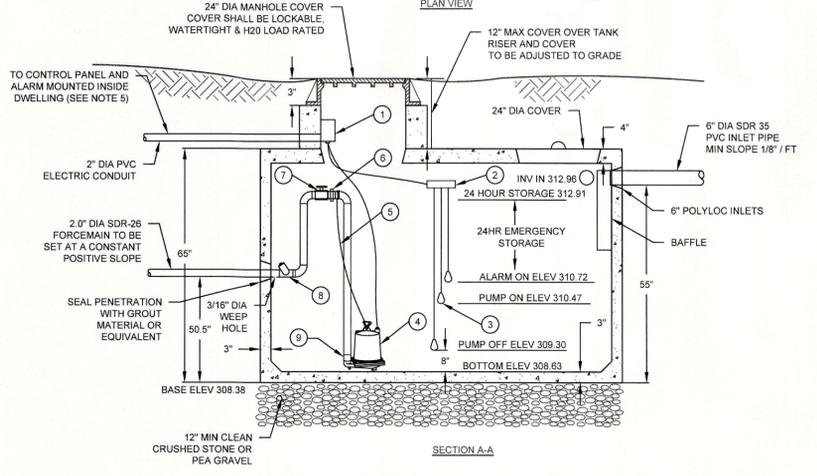
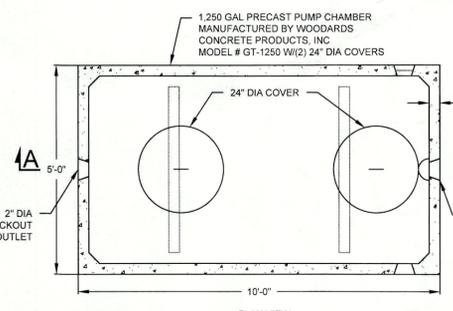
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Resolution Number 24-09
Date 5/20/24



WATER SERVICE CONNECTION

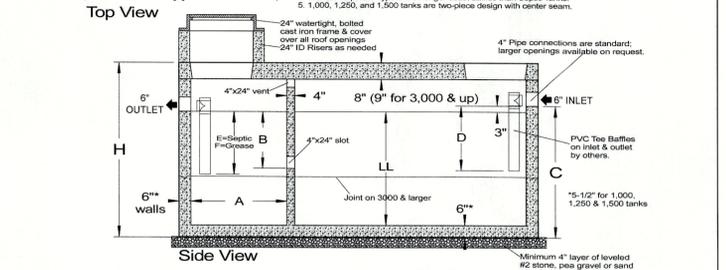
SCALE: N.T.S.



1,250 GAL PUMP CHAMBER

SCALE: N.T.S.

Gallons	L	W	H	LL	A	B	C	D	E	F
750	9'-6"	4'-6"	5'-11"	42"	34"	23"	51"	24"	21"	30"
1,000	10'-9"	5'-11"	4'-8"	35"	38"	16"	43"	21"	18"	23"
1,250	10'-9"	5'-11"	5'-2"	41"	38"	19"	49"	24"	21"	29"
1,500	10'-9"	5'-11"	5'-10"	49"	38"	22"	57"	27"	24"	37"
2,000	12'-6"	6'	7'-2"	58"	46"	31"	67"	32"	29"	46"
2,500	14'	6'-6"	7'-2"	58"	46"	31"	67"	32"	29"	46"
3,000	15'-6"	7'	7'-3"	58"	52"	31"	67"	32"	29"	46"
3,500	15'-6"	8'	7'-3"	58"	52"	31"	67"	32"	29"	46"
4,000	17'-2"	8'	7'-3"	58"	58"	31"	67"	32"	29"	46"
5,000	18'-8"	9'	7'-3"	58"	70"	31"	67"	32"	29"	46"
6,000	20'-0"	9'-6"	7'-3"	60"	70"	33"	69"	32"	30"	48"



SPECIFICATIONS

Concrete Min. Strength: 4,000 psi at 28 days
Reinforcement: #4 & #5 Rebar / ASTM A615
Air Entrainment: 6%
Construction Joint: Butyl Rubber Sealant
Pipe Connection: Polylok Seal or as needed
Load Rating: HS20-44 + 30% / ASTM C857

PRECAST TRAFFIC DUTY TANKS 750 TO 6,000 GALLONS SEPTIC TANKS & GREASE TRAPS

Woodard's Concrete Products, Inc.
629 Lybolt Road, Bullville, NY 10915
(845) 361-3471 / Fax 361-1050

www.woodardsconcrete.com

1,500 GAL SEPTIC TANK

SCALE: N.T.S.

PUMP STATION CALCULATIONS

SEWER USAGE CALCULATION:
28 SEATS x 25 GPD / SEAT = 700 GPD
* CALCULATION BASED UPON NYSDEC DESIGN STANDARDS FOR INTERMEDIATE SIZED WASTEWATER TREATMENT SYSTEMS DATED MARCH 5, 2014.

PUMP VOLUME CALCULATIONS:
ELEVATION BETWEEN PUMP OFF TO PUMP ON TRY 14" OR 117
9.5 FT x 4.5 FT x 1.17 FT = 49.9 CF = 373 GAL

24 HOUR STORAGE CALCULATIONS:
24 HOUR STORAGE = 700 GAL / 7.48 GAL/CF = 93.6 CF
24 HOUR STORAGE HEIGHT = 93.6 CF / (9.5 FT x 4.5 FT) = 2.19 FT
24 HOUR STORAGE AVAILABLE TO INVERT IN = 2.24 FT

NOTES:
1. PRECAST CONCRETE PUMP CHAMBER AS MFG. BY WOODARD'S CONCRETE PRODUCTS, INC. MODEL GT 1250. 1W (2) 24" DIA COVERS OR APPROVED EQUAL
2. CONCRETE - 4,000 PSI AT 28 DAYS
3. REINFORCEMENT - WWM, #4 REBAR
4. CONSTRUCTION JOINT TO BE SEALED WITH BUTYL RUBBER SEALANT
5. CONTROL PANEL AS MFG. GOULDS PUMPS, INC. MODEL SES SERIES CUSTOMIZED CONTROL PANEL-NEMA 1 SIMPLEX CONTROLLER WITH ALARM. CONTROL PANEL IS TO BE MOUNTED INDOORS AND WIRED TO CIRCUIT BREAKER.
6. ALL ELECTRICAL WORK SHALL MEET WITH THE NATIONAL ELECTRICAL CODE LATEST EDITION
7. PUMP STATION(S) SHOULD BE INSPECTED PERIODICALLY BY A PROPERLY TRAINED PERSON FOR PROPER OPERATION, INCLUDING HIGH WATER ALARMS, VENTING AND ANY PHYSICAL DAMAGE.

SCHEDULE OF MECHANICAL EQUIPMENT

REF#	QTY	DESCRIPTION & WOODARD'S MODEL #	A	O	D
1	1	ELECTRICAL JUNCTION BOX - AB-1J			
2	1	STAINLESS STEEL FLOAT BRACKET - FS81			
3	3	MERCURY FLOAT SWITCH - A2K23			
4	1	GOULDS 3885 SUBMERSIBLE EFFLUENT PUMP - WOODARD'S MODEL # - GP-WE05H			
5	1	10' LIFT CABLE - ACBL-10			
6	1	2.0" UNION - FUNION-2			
7	1	2.0" BALL VALVE - FBALLVALVE-2			
8	1	2.0" FLAP CHECK VALVE - FFLAPCHECK-2			
9	1	2.0" NPT THREADED ADAPTER - FMA-2			
10	1	GOULDS SIMPLEX CONTROL PANEL WALARM - WOODARD'S MODEL # S10020N1			

No.	DATE	DESCRIPTION
0	12/16/22	INITIAL SUBMISSION
1	01/10/23	REVISED PER PLANNING BOARD COMMENTS
2	02/13/23	REVISED PER PLANNING BOARD COMMENTS
3	04/06/23	REVISED PER PLANNING BOARD COMMENTS
4	07/01/23	REVISED PER ENGINEER COMMENTS 05/25/23
5	09/13/23	REVISED PER NYS DOT COMMENTS 08/29/23
6	01/16/24	REVISED PER NYCDPE COMMENTS 11/27/23
7	01/16/24	REVISED PER NYCDPE COMMENTS 01/12/24
8	03/11/24	REVISED PER NYCDPE COMMENTS 03/08/24
9	04/03/24	REVISED PER NYCDPE COMMENTS 04/03/24
10	04/17/24	REVISED PER NYCDPE COMMENTS 04/16/24

DRAWING STATUS		ISSUE DATE:
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	SHEET NUMBER	
<input type="checkbox"/>	CONCEPT APPROVAL	N/A OF N/A
<input checked="" type="checkbox"/>	PLANNING BOARD APPROVAL	12 OF 14
<input type="checkbox"/>	WCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
<input type="checkbox"/>	WCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDEC APPROVAL	N/A OF N/A
<input type="checkbox"/>	NYSDOT APPROVAL	N/A OF N/A
<input type="checkbox"/>	OTHER:	N/A OF N/A
<input type="checkbox"/>	FOR BID / CONSTRUCTION	N/A OF N/A

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ROSS WINGLOVITZ, P.E.
NEW YORK LICENSE # 071701

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MONTGOMERY, NY 12549
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WWW.EP-PC.COM

DETAILS

SDML REALTY, LLC.
3735 CROMPOD ROAD
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK

JOB #: 1932.01
DATE: 12/16/22
REVISION: 10 - 04/17/24

DRAWN BY: RMB
SCALE: AS NOTED
TAX LOT: 35.08-1-11, 14, 15 & 23

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SEQUENCE OF CONSTRUCTION ACTIVITY

- PRE-CONSTRUCTION. NOTIFY APPROPRIATE NYCDP REPRESENTATIVE, MUNICIPAL AND UTILITY OFFICIALS 3 DAYS PRIOR TO START OF CONSTRUCTION.
- CONSTRUCTION STAGING. STAKE OUT LIMIT OF DISTURBANCE. INSTALL SILT FENCE DOWNHILL OF PROPOSED CONSTRUCTION. INSTALL ORANGE CONSTRUCTION FENCING ALONG THE LIMITS OF DISTURBANCE. INSTALL STABILIZED CONSTRUCTION ENTRANCES.
- CLEARING AND GRUBBING. REMOVE VEGETATION FROM AREA OF CONSTRUCTION. STRIP TOPSOIL AND STOCKPILE IN AREAS SHOWN ON THE PLAN. INSTALL SEDIMENT BARRIERS AROUND AND ESTABLISH TEMPORARY VEGETATION ON TOPSOIL STOCKPILES.
- ROUGH GRADING. CUT AND FILL SITE TO APPROXIMATE ELEVATIONS SHOWN ON THE PLAN. IMPLEMENT DUST CONTROL MEASURES AS NECESSARY. ESTABLISH PERMANENT STABILIZATION IN AREAS THAT ARE COMPLETE. ESTABLISH TEMPORARY STABILIZATION ON AREAS THAT WILL BE GRADED AGAIN MORE THAN 21 DAYS FROM LAST DISTURBANCE.
- DRIVEWAY / BUILDING CONSTRUCTION AND UTILITY INSTALLATION. FINAL GRADING AND CONSTRUCTION OF DRIVEWAYS. BUILDING EXCAVATION AND CONSTRUCTION. INSTALL UTILITIES. ENSURE ALL EROSION CONTROL MEASURES ARE IN WORKING ORDER.
- FINAL GRADING AND LANDSCAPING. COMPLETE FINE GRADING OF SITE. SPREAD TOPSOIL AND PREPARE FOR PERMANENT SEEDING AND PLANTING. ESTABLISH PERMANENT VEGETATION IN ALL REMAINING UNSTABILIZED AREAS. INSTALL ALL SITE LANDSCAPING AND PLANTINGS.
- POST CONSTRUCTION. UPON STABILIZATION OF THE SITE AND ESTABLISHMENT OF ALL VEGETATION COVER, REMOVE ALL REMAINING TEMPORARY EROSION CONTROL MEASURES SUCH AS SILT FENCE. REMOVE ALL SILT AND DEBRIS FROM THE SITE INCLUDING ROADWAYS, CATCH BASINS AND STORM DRAINS.

EARTHWORK CONSTRUCTION NOTES

- ALL WORK TO BE PERFORMED TO THE SPECIFICATIONS OF THE TOWN OF YORKTOWN.
- ALL TOPSOIL, ROOTS, STUMPS AND OTHER DELETERIOUS MATERIAL (IF ANY) SHALL BE REMOVED FROM ALL CONSTRUCTION AREAS.
- ANY FILL BELOW BUILDINGS AND PAVEMENT TO BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY MODIFIED PROCTOR COMPACTION TEST ASTM D1557.
- FOOTING DRAINS SHALL CONNECT TO THE STORM DRAINAGE SYSTEM OR OTHER FREE-FLOWING OUTLET AT A MINIMUM SLOPE OF 0.5%. FOOTING DRAIN SHALL BE INSTALLED BENEATH BOTTOM OF FOOTING.
- COMPLETION OF GRADING AFTER OCTOBER 15 SHALL REQUIRE MULCHING AND ANCHORING IN ACCORDANCE WITH NOTES ENTITLED "SEDIMENTATION EROSION CONTROL".
- STABILIZATION OF ALL SLOPES IN EXCESS OF 3H:1V IN ACCORDANCE WITH "EROSION AND SEDIMENTATION CONTROL NOTES".
- SOIL RESTORATION SHALL BE APPLIED TO ALL DISTURBED AREAS THAT WILL REMAIN AS PVIOUS SURFACES WITH A SLOPE LESS THAN 10%. SOIL RESTORATION SHALL CONSIST OF THE FOLLOWING:
 - APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
 - TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILLER, MIXING AND CIRCULATING AIR AND COMPOST INTO SUB-SOILS.
 - ROCK-PICK UNTIL UPLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE.
 - APPLY TOPSOIL TO A DEPTH OF 6 INCHES.
 - VEGETATE IN ACCORDANCE WITH LANDSCAPE PLAN.

EROSION & SEDIMENTATION CONTROL NOTES

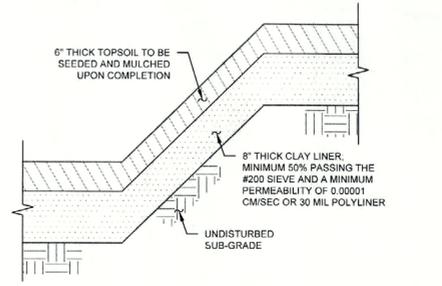
- SITE DISTURBANCE SHALL BE LIMITED TO THE MINIMUM NECESSARY GRADING AND VEGETATION REMOVAL REQUIRED FOR CONSTRUCTION WITHIN THE LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS.
- TEMPORARY EROSION CONTROL MEASURES, INCLUDING SILT FENCES, TEMPORARY SWALES, STONE CHECK DAMS SHALL BE INSTALLED PRIOR TO GROUND DISTURBANCE FOR GRADING AND CONSTRUCTION OF THE PROPOSED ROADWAY OR DWELLING UNITS. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED AS SOON AS PRACTICAL FOLLOWING DISTURBANCE TO STABILIZE BARE SOIL AND PROMOTE THE PROMPT RE-ESTABLISHMENT OF VEGETATION.
- AN ADEQUATE SEEDBED SHALL BE PREPARED BY SCARIFYING COMPACTED SOIL AND REMOVING SURFACE DEBRIS AND OBSTACLES.
 - LIME SHALL BE APPLIED SUFFICIENTLY TO ATTAIN A SOIL ACIDITY PH OF 6.0 TO 7.0.
 - FERTILIZER (5-10-10 MIXTURE OR EQUIVALENT) SHALL BE APPLIED FOR ESTABLISHING NEW LAWN PER SITE SPECIFIC SOIL TEST RESULTS OR AT A RATE OF 800 LBS PER ACRE.
 - DISTURBED AREAS WHICH WILL REMAIN TEMPORARILY FOLLOW FOR PERIODS GREATER THAN 30 DAYS SHALL BE SEEDED AT THE FOLLOWING RATE TO PRODUCE TEMPORARY GROUND COVER: 30 LBS RYEGRASS (ANNUAL OR PERENNIAL) PER ACRE. DURING THE WINTER, USE 100 LBS CERTIFIED "AROSTOOK" WINTER RYE (CEREAL RYE) PER ACRE.
 - PERMANENT SEEDING SHALL BE APPLIED ON 4" MIN TOPSOIL AT THE FOLLOWING RATE:

8 LBS EMPIRE BIRDFOOT TREFOIL OR COMMON WHITE CLOVER PER ACRE PLUS	20 LBS TALL FESCUE PER ACRE PLUS
2 LBS REDTOP OR 5 LBS RYEGRASS (PERENNIAL) PER ACRE	
- ALL SEEDING SHALL BE PERFORMED USING THE BROADCAST METHOD OR HYDROSEEDING, UNLESS OTHERWISE APPROVED.
- ALL DISTURBED AREAS SHALL BE STABILIZED SUBSEQUENT TO SEEDING BY APPLYING 2 TONS OF STRAW MULCH PER ACRE. STRAW MULCH SHALL BE ANCHORED BY APPLYING 750 LBS OF WOOD FIBER MULCH PER ACRE WITH A HYDROSEEDER, OR TUCKING THE MULCH WITH SMOOTH DISCS OR OTHER MULCH ANCHORING TOOLS TO A DEPTH OF 3". MULCH ANCHORING TOOLS SHALL BE PULLED ACROSS SLOPES ALONG TOPOGRAPHIC CONTOURS.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES AND DRAINAGE STRUCTURES SHALL BE INSPECTED FOLLOWING EVERY RAIN EVENT, AND MAINTENANCE AND REPAIRS SHALL BE PERFORMED PROMPTLY TO MAINTAIN PROPER FUNCTION. TRAPPED SEDIMENT SHALL BE REMOVED AND DEPOSITED IN A PROTECTED AREA IN A PROPER MANNER WHICH WILL NOT RESULT IN EROSION.
- TEMPORARY CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED AND GROUND COVER IS COMPLETELY REESTABLISHED. FOLLOWING STABILIZATION, TEMPORARY MEASURES SHALL BE REMOVED TO AVOID INTERFERENCE WITH DRAINAGE.
- ALL STORM INLETS TO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION.
- SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN SUFFICIENT QUANTITIES.
- MULCH NETTING SUCH AS PAPER, JUTE, EXCELORON, COTTON OR PLASTIC MAY BE USED. STAPLE IN PLACE OVER HAY OR STRAW MULCH. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
- STABILIZATION OF STEEP SLOPES SHALL BE ACHIEVED BY APPLYING LIME AND FERTILIZER AS SPECIFIED ABOVE AND SEEDING WITH THE FOLLOWING MIXTURE:

MATERIAL	Lbs/Acre
PERENNIAL RYE GRASS	30
CROWN VETCH	12
SPREADING FESCUE	25
- OPTIMUM SEEDING PERIODS ARE 3/15-5/1 AND 8/1-10/15.
- FOR CONSTRUCTION THAT OCCURS DURING WINTER MONTHS (i.e. NOVEMBER 15 - APRIL 1) ADDITIONAL MEASURES SHALL BE TAKEN IN ACCORDANCE WITH THE STANDARD & SPECIFICATIONS FOR WINTER STABILIZATION SECTION OF THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION CONTROL, LATEST EDITION AS PUBLISHED BY THE NYSDCE SUCH AS BUT NOT LIMITED TO THE FOLLOWING:
 - ENSURING COMPLIANCE WITH SNOW STORAGE STOCKPILE AREAS.
 - SNOW STOCKPILES AT CONSTRUCTION ENTRANCE SHALL BE OUTSIDE THE STABILIZED CONSTRUCTION ENTRANCE TO ENSURE THE FUNCTIONALITY OF THE EROSION CONTROL MEASURE.
 - MAINTAIN BUFFERS TO ALL PERIMETER SILT FENCES.
 - INSTALL ADDITIONAL SILT FENCE AS NECESSARY FOR ANY DISTURBED AREAS UP GRADIENT OF A WATER BODY.
 - PROVIDE MAINTENANCE OF ALL DRAINAGE STRUCTURE TO KEEP CLEAR OF SNOW, ICE, DEBRIS, ETC.
 - IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED, THE APPLICATION OF SOIL STABILIZATION MEASURES SHOULD BE INITIATED BY THE END OF THE NEXT BUSINESS DAY AND COMPLETED WITHIN THREE (3) DAYS. ROLLED EROSION CONTROL BLANKETS MUST BE USED ON ALL SLOPES 3 HORIZONTAL TO 1 VERTICAL OR STEEPER.
 - IF STRAW MULCH ALONE IS USED FOR TEMPORARY STABILIZATION, IT SHALL BE APPLIED AT DOUBLE THE APPLICATION RATE OF 2 TONS PER ACRE. MAKING THE APPLICATION RATE 4 TONS PER ACRE. OTHER MANUFACTURED MULCHES SHOULD BE APPLIED AT DOUBLE THE MANUFACTURER'S RECOMMENDED RATE.
 - TO ENSURE ADEQUATE STABILIZATION OF DISTURBED SOIL IN ADVANCE OF A MELT EVENT, AREAS OF DISTURBED SOIL SHOULD BE STABILIZED AT THE END OF EACH WORK DAY UNLESS:
 - WORK WILL RESUME WITHIN 24 HOURS IN THE SAME AREA AND NO PRECIPITATION IS FORECAST OR
 - THE WORK IS IN DISTURBED AREAS THAT COLLECT AND RETAIN RUNOFF, SUCH AS OPEN UTILITY TRENCHES, FOUNDATIONS, EXCAVATIONS, OR WATER MANAGEMENT AREAS.

SOIL RESTORATION NOTES

Table 5.3 Soil Restoration Requirements			
Type of Soil Disturbance	Soil Restoration Requirement	Comments/Examples	
No soil disturbance	Restoration not permitted	Preservation of Natural Features	
Minimal soil disturbance	Restoration not required	Clearing and grubbing	
Areas where topsoil is stripped only - no change in grade	HSG A & B Apply 6 inches of topsoil	HSG C & D Aerate* and apply 6 inches of topsoil	Protect area from any ongoing construction activities.
Areas of cut or fill	HSG A & B Aerate and apply 6 inches of topsoil	HSG C & D Apply full Soil Restoration**	
Heavy traffic areas on site (especially in a zone 5-25 feet around buildings but not within a 5 foot perimeter around foundation walls)	Apply full Soil Restoration (de-compaction and compost enhancement)		
Areas where Runoff Reduction and/or Infiltration practices are applied	Restoration not required, but may be applied to enhance the reduction specified for appropriate practices.	Keep construction equipment from crossing these areas. To protect newly installed practice from any ongoing construction activities construct a single phase operation fence area	
Redevelopment projects	Soil Restoration is required on redevelopment projects in areas where existing impervious area will be converted to pervious area.		



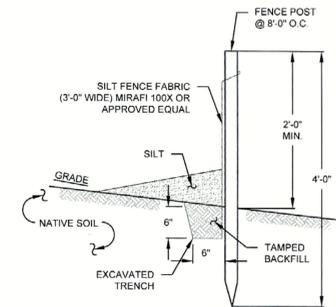
NOTES:
FOREBAY A1 SHALL INCLUDE A MINIMUM 8" CLAY LINER OR AN IMPERMEABLE LINER THAT MEETS OR EXCEEDS THE FOLLOWING SPECIFICATIONS:

CLAY LINER
PERMEABILITY: $\geq 15\%$ (ASTM D 4318)
PLASTICITY INDEX OF SOILS: $\geq 30\%$ (ASTM D 4318)
LIQUID LIMIT OF SOILS: $\geq 50\%$ (ASTM D 422)
PASSING OF 200 SIEVE: 2"
MAXIMUM PARTICLE SIZE: 2"
COMPACTION: $\geq 95\%$ OF MAXIMUM DRY DENSITY (ASTM D 1557)
 $\geq 33.0\%$ OF OPTIMUM MOISTURE CONTENT (ASTM D 1557)

ALTERNATIVE IMPERMEABLE LAYER
MINIMUM THICKNESS: 30 MILL (ASTM D 751)
TENSILE STRENGTH: 1,100 LBS (ASTM D 412)
ELONGATION: 200% (ASTM D 412)
TEAR RESISTANCE: 150 LBS/IN (ASTM D 624)
PERMEABILITY: 1×10^{-10} CM/S (ASTM D 814)

FOREBAY/PRETREATMENT POND LINER

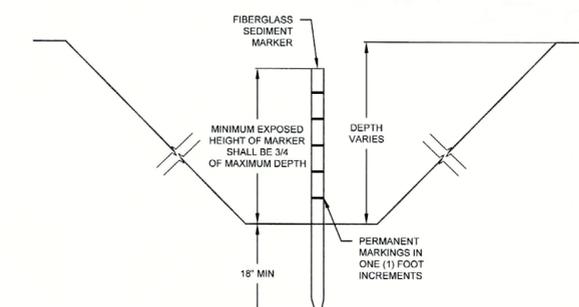
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NOTES:
1. SILT FENCE TO BE MAINTAINED IN PLACE DURING CONSTRUCTION AND SOIL STABILIZATION PERIOD.
2. SILT SHALL BE REMOVED WHEN HEIGHT OF SILT EXCEEDS 1/2 OF THE EXPOSED SILT FENCE HEIGHT.

SILT FENCE

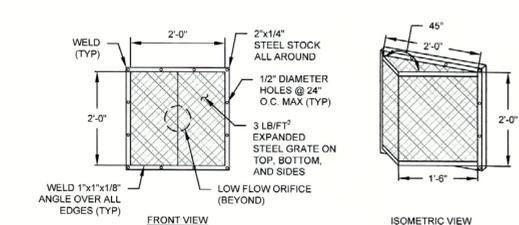
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NOTES:
1. ACCUMULATED SEDIMENT SHALL BE REMOVED UPON REACHING A LEVEL OF 50% OF THE MAXIMUM PONDING DEPTH.

SEDIMENT MARKER

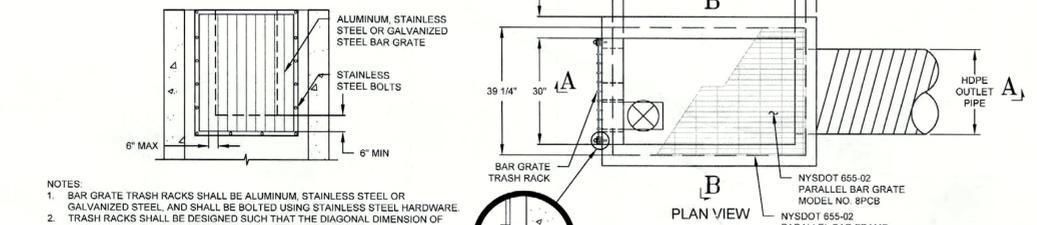
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NOTES:
1. STEEL TO CONFORM TO ASTM-A36.
2. ALL SURFACES TO BE COATED WITH ZRC COLD GALVANIZING COMPOUND AFTER WELDING.

TRASH RACK FOR LOW FLOW ORIFICE

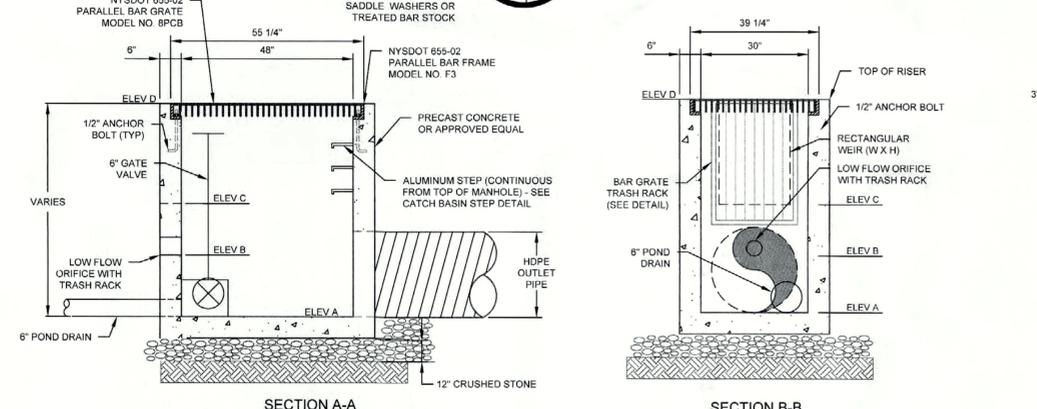
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NOTES:
1. BAR GRATE TRASH RACKS SHALL BE ALUMINUM, STAINLESS STEEL OR GALVANIZED STEEL, AND SHALL BE BOLTED USING STAINLESS STEEL HARDWARE.
2. TRASH RACKS SHALL BE DESIGNED SUCH THAT THE DIAGONAL DIMENSION OF EACH OPENING IS SMALLER THAN THE DIAMETER OF THE OUTLET PIPE.

TRASH RACK

SCALE: N.T.S.

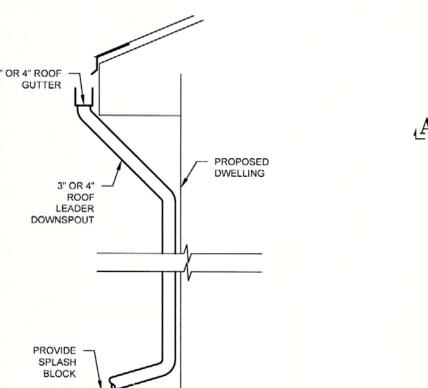


POND	STRUCTURE	L (FEET)	W (FEET)	ELEV A (Ø)	ELEV B (Ø)	ELEV C (WIDTH)	ELEV D	POND DRAIN	TRASH RACK
EXTENDED DETENTION (PR-A2)	OS 01	4.0	2.5	309.00 (15')	311.75 (3')	313.00 (10')	314.75	YES	YES

NOTES:
1. SEE PLAN FOR LENGTH AND SLOPE OF OUTLET PIPES

POND OUTLET STRUCTURE

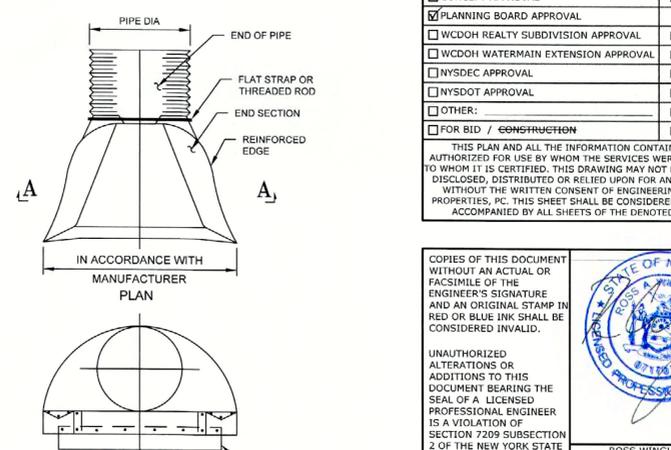
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NOTES:
1. IN ACCORDANCE WITH NYSDCE STORMWATER GREEN INFRASTRUCTURE REQUIREMENTS, ALL ROOF LEADER DOWNSPOUTS SHALL DISCHARGE EFFLUENT ALONG THE SURFACE FOR INFILTRATION.
2. CONNECTION OF ROOF LEADERS TO CLOSED SYSTEMS IS PROHIBITED.
3. PROPERTY OWNER SHALL MAINTAIN SPLASH BLOCK LAWN AREA AS SHOWN ON THE PLANS TO PROVIDE INFILTRATION OF STORMWATER ROOF RUNOFF.

ROOF LEADER AND SPLASH PAD

SCALE: N.T.S.



NOTES:
1. RIP-RAP TO BE PROVIDED AT THE END OF THE FLARED END SECTION AS PER PLANS.
2. ALL DRAINAGE END SECTIONS SHALL BE HDPE WITH A SMOOTH INVERT.

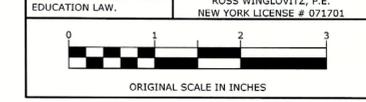
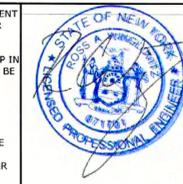
FLARED END SECTION

SCALE: N.T.S.

No.	DATE	DESCRIPTION
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6	01/02/24	REVISED PER NYCDP COMMENTS 11/27/23
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DRAWING STATUS		ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR		04/17/24
SHEET NUMBER		
<input type="checkbox"/> CONCEPT APPROVAL	N/A OF N/A	
<input checked="" type="checkbox"/> PLANNING BOARD APPROVAL	13 OF 14	
<input type="checkbox"/> WCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A	
<input type="checkbox"/> WCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A	
<input type="checkbox"/> NYSDCE APPROVAL	N/A OF N/A	
<input type="checkbox"/> NYSDOT APPROVAL	N/A OF N/A	
<input type="checkbox"/> OTHER:	N/A OF N/A	
<input type="checkbox"/> FOR BID / CONSTRUCTION	N/A OF N/A	

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ORIGINAL SCALE IN INCHES

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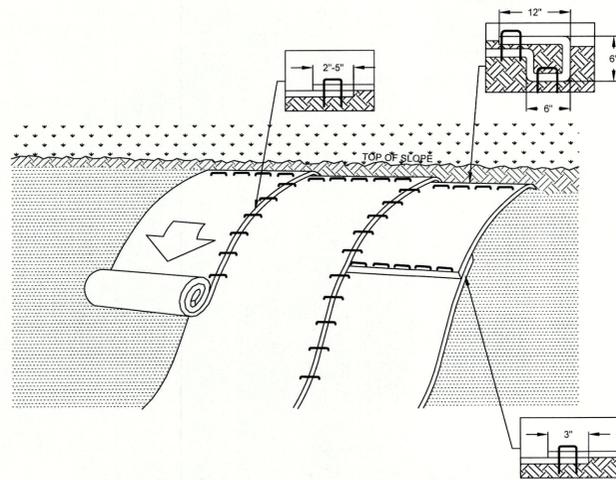
DETAILS	
SDML REALTY, LLC. 3735 CROMPOUND ROAD TOWN OF YORKTOWN WESTCHESTER COUNTY, NEW YORK	
JOB #:	1932.01
DATE:	12/16/22
REVISION:	10 - 04/17/24
DRAWN BY:	RMB
SCALE:	AS NOTED
TAX LOT:	35.08-11, 14, 15 & 23

C-304

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SAFE DIGGING STARTS HERE

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care

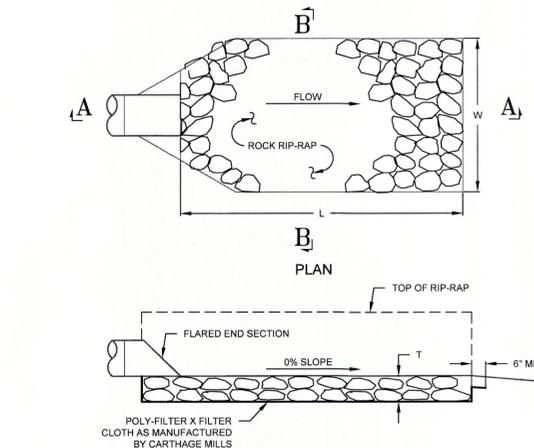
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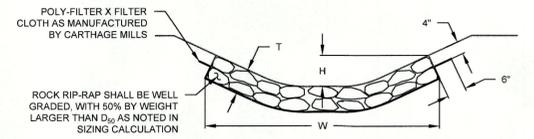
- NOTES:
1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCT (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
 2. INSTALL RECP - NORTH AMERICAN GREEN BIONET S150BN OR APPROVED EQUAL. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACE APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE RECP'S.
 3. ROLL THE RECP'S DOWN THE SLOPE OR HORIZONTALLY ACROSS THE SLOPE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE PRODUCT'S STAPLE PATTERN GUIDE.
 4. THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" TO 5" OVERLAP DEPENDING ON RECP'S TYPE. CONSECUTIVE RECP'S SPICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS THE ENTIRE RECP'S WIDTH.

SLOPE STABILIZATION (ROLLED EROSION CONTROL PRODUCT)

SCALE: N.T.S.



SECTION A-A



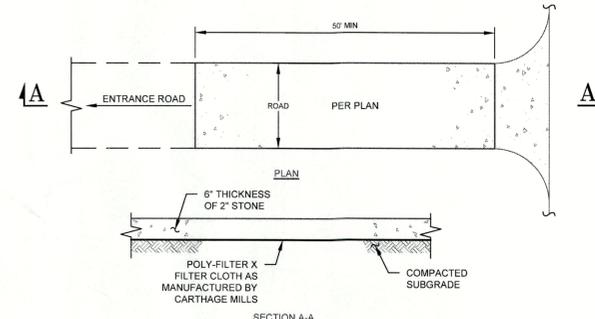
SECTION B-B

FES OUTLET PROTECTION

SCALE: N.T.S.

OUTLET PROTECTION SIZING CALCULATIONS

END SECTION	DIA. (in)	Q _{max} (cfs)	V _{max} (ft/s)	D ₅₀ (in)	D _{max} (in)	L (ft)	W (ft)	T (in)	H (in)
FES 01	12	5.37	7.31	3	4.5	8	9	6	12
FES 02	15	6.88	6.00	3	4.5	8	9.25	6	15

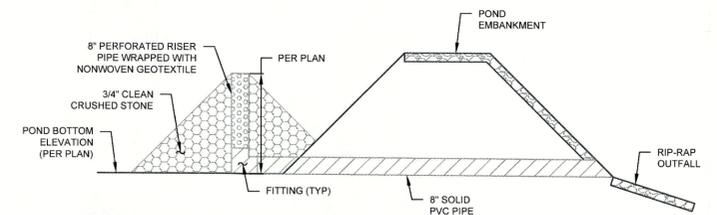


SECTION A-A

- NOTES:
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 2. WIDTH - 24 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 3. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 4. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 5. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 6. PERIODIC INSPECTIONS AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE

SCALE: N.T.S.



- NOTES:
1. 8" SOLID PVC PIPE SHALL BE INSTALLED FIRST TO ALLOW CONTRACTOR TO DRAIN THE POND IN ORDER TO COMPLETE THE CONSTRUCTION OF THE STORMWATER MANAGEMENT POND. IN THE EVENT THE STORMWATER DETAINED BY THE POND IS SEDIMENT LADEN, THE CONTRACTOR SHALL PUMP THE STORMWATER TO A SUITABLE BMP.
 2. ONCE THE CONSTRUCTION OF THE ENTIRE PROJECT IS COMPLETE AND EXPOSED AREAS ARE STABILIZED, THE RISER PIPE AND SOLID PIPE SHALL BE REMOVED OR PERMANENTLY ABANDONED FOR THE POND.

PERFORATED RISER PIPE

SCALE: N.T.S.

APPROVED
Resolution Number 27-09
Date 5/20/24

No.	DATE	DESCRIPTION
0	12/16/22	INITIAL SUBMISSION
1	01/10/23	REVISED PER PLANNING BOARD COMMENTS
2	02/13/23	REVISED PER PLANNING BOARD COMMENTS
3	04/06/23	REVISED PER PLANNING BOARD COMMENTS
4	07/01/23	REVISED PER ENGINEER COMMENTS 05/29/23
5	09/13/23	REVISED PER NYS DOT COMMENTS 08/29/23
6	01/01/24	REVISED PER NYCDP COMMENTS 11/27/23
7	01/16/24	REVISED PER NYCDP COMMENTS 01/12/24
8	03/11/24	REVISED PER NYCDP COMMENTS 03/08/24
9	04/03/24	REVISED PER NYCDP COMMENTS 04/03/24
10	04/17/24	REVISED PER NYCDP COMMENTS 04/16/24

DRAWING STATUS	ISSUE DATE:
THIS SHEET IS PART OF THE PLAN SET ISSUED FOR	04/17/24
CONCEPT APPROVAL	N/A OF N/A
PLANNING BOARD APPROVAL	14 OF 14
WCDOH REALTY SUBDIVISION APPROVAL	N/A OF N/A
WCDOH WATERMAIN EXTENSION APPROVAL	N/A OF N/A
NYSDEC APPROVAL	N/A OF N/A
NYS DOT APPROVAL	N/A OF N/A
OTHER:	N/A OF N/A
FOR BID / CONSTRUCTION	N/A OF N/A

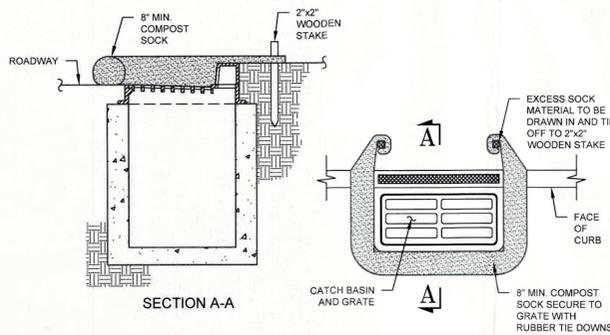
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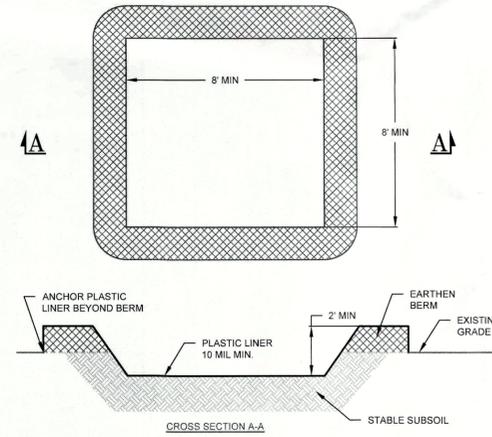
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ORIGINAL SCALE IN INCHES



- NOTES:
1. COMPOST SOCK BY FILTREXX SILTSOXX 8" DIAMETER, OR APPROVED EQUAL.
 2. ALL MATERIAL AND FILTER MEDIA FILL TO MEET MANUFACTURER'S SPECIFICATIONS.
 3. SEDIMENT SHALL BE REMOVED AND THE COMPOST SOCK REPAIRED OR REPLACED WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE SOCK. REMOVED SEDIMENT SHALL BE DISPOSED OF IN A SUITABLE MANNER.
 4. THE COMPOST SOCK SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
 5. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION SHALL BE MINIMIZED.
 6. THE COMPOST SOCK SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE TRIBUTARY DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

INLET PROTECTION

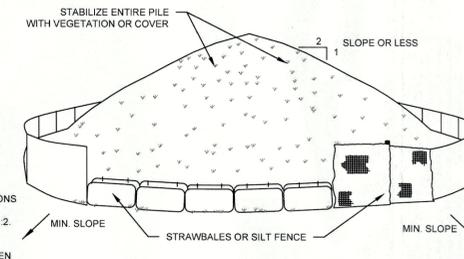
SCALE: N.T.S.



- NOTES:
1. PLASTIC LINER SHALL BE INSPECTED DAILY TO ENSURE THAT THERE ARE NO HOLES OR TEARS. IF ANY HOLES OR TEARS ARE FOUND THE LINER SHALL BE REPLACED AND CLEANED IMMEDIATELY. THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
 2. WASHOUT FACILITY SHALL BE LOCATED A MINIMUM OF 100 FEET FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS OR OTHER SURFACE WATERS.
 3. ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF THE STORAGE CAPACITY OF THE STRUCTURE IS FILLED. ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF.
 4. DISPOSE OF THE HARDENED MATERIAL OFF-SITE IN A CONSTRUCTION/DEMOLITION LANDFILL.

CONCRETE WASHOUT

SCALE: N.T.S.



- NOTES:
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
 4. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

SOIL STOCKPILE

SCALE: N.T.S.

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DETAILS

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3735 CROMPOND ROAD
TOWN OF YORKTOWN
WESTCHESTER COUNTY, NEW YORK

JOB #: 1932.01
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REVISION: 10 - 04/17/24

DRAWN BY: RMB
SCALE: AS NOTED
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