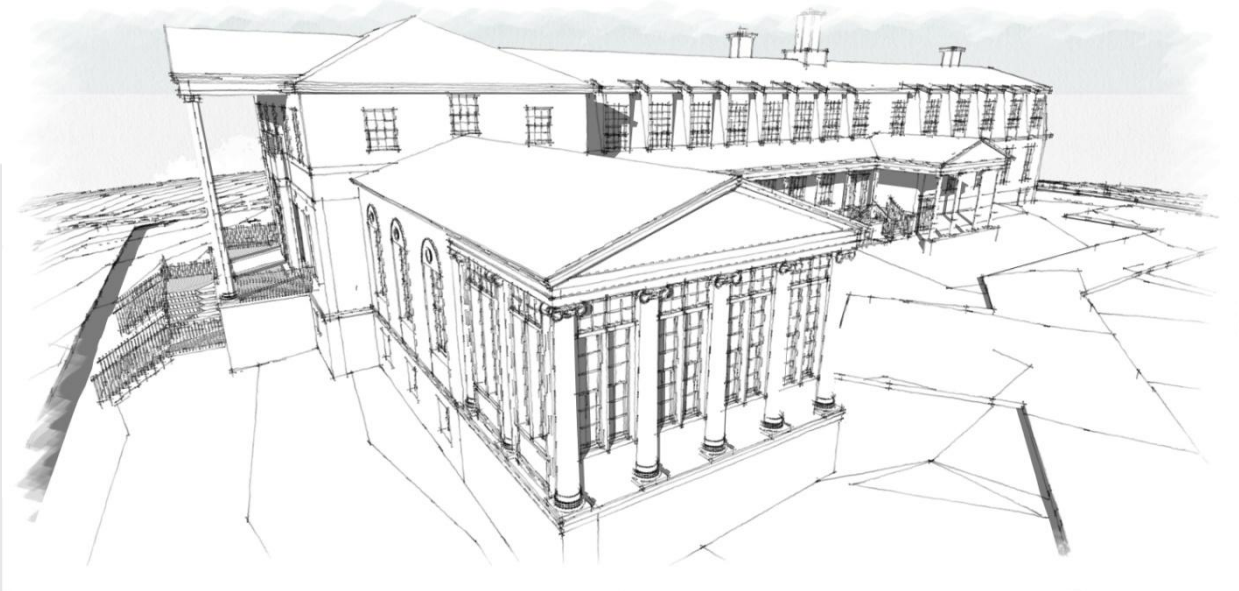




beardsley

architects + engineers



FIELD HOME FINAL REPORT

Yorktown Heights Field Home

(Yorktown, NY)

30 December 2025

DISCLAIMER

This construction cost estimate is provided for **general informational and reference purposes only** and does not constitute a formal bid or a guaranteed maximum price.

By using this document, you acknowledge and agree to the following:

- **No Reliance on Accuracy:** This estimate is based on preliminary data and general market rates. You should not rely on the accuracy or completeness of these figures. Construction costs—including labor, materials, and equipment—are subject to significant fluctuations and site-specific variables.
- **Non-Current Data:** This estimate is a "snapshot in time." Due to the volatility of the supply chain and market conditions, the information may not be timely. You are responsible for confirming that all pricing reflects **current market conditions** at the time of your project.
- **Independent Verification:** Do not adopt the conclusions of this estimate without **independent verification and analysis**. You are expected to consult with qualified contractors, engineers, or quantity surveyors to obtain firm quotes and verify quantities, specifications, and local site conditions.
- **Exclusion of Liability:** The preparer of this estimate shall not be held liable for any financial discrepancies, cost overruns, or damages resulting from the use of this information. All project decisions should be based on finalized architectural plans and executed contracts.

1. Construction Cost Estimate

The construction costs for the Field Home project in Yorktown Heights, New York, involve the adaptive reuse of the historic main building (30,600 sq ft GSF) and additions, including a multi-function space (1,942 sq ft) and site work (5,520 sq ft), for a baseline total of 38,062 sq ft. Costs are spread over two years of construction (Years 1–2), with operations starting in Year 3. Two options are evaluated: the 23-key model (site + main + multi-function) and the 35-key variant (adding 12 keys via expansions). Estimates, prepared by Bonacio Construction, Saratoga Springs NY (dated November 4, 2025), are based on pre-design plans from October 1, 2025, assuming a 16-month duration, tax-exempt capital improvement status, and exclusions like advanced hazardous abatement. Costs reflect Westchester County benchmarks for historic renovations (\$300–\$400/sq ft, RSMMeans 2025).

Component	Year 1 (\$)	Year 2 (\$)	Total (\$)
23-Key Option			
Site Work	1,549,098	—	1,549,098
Main Building	4,275,922.50	4,275,922.50	8,551,845
Multi-Function Room	—	1,159,766	1,159,766
Subtotal	5,825,021	5,435,689	11,260,710
35-Key Option			
Site Work	1,549,098	—	1,549,098
Main Building	4,275,922.50	4,275,922.50	8,551,845
12 Additional Keys	1,061,922	1,061,922	2,123,844
Multi-Function Room	—	1,159,766	1,159,766
Subtotal	6,886,943	6,497,611	13,385,553

Not included in the costs above (and not included in the Bonacio cost estimate below) are Furniture, fixtures, and equipment (FF&E). These costs are estimated at **\$1,265,000** for the **23-key** option, covering guest rooms (\$800,000 for luxury bedding/furnishings), public areas (\$250,000 for lounge/dining), and events (\$215,000 for tables/chairs/AV). For the **35-key** variant, costs scale to **\$1,925,000** (+52%, adding \$660,000 for additional keys while maintaining

\$55,000 per-key average, consistent with benchmarks like Troutbeck at \$50,000–\$60,000/key). Includes 15% contingency for historic integrations, aligning with elegant design.


FF&E and Construction together total **\$12,325,710** for **the 23-key** option (\$5,825,021 in Year 1, \$6,700,689 in Year 2) and **\$14,465,553** for the **35-key** variant (\$6,886,943 in Year 1, \$7,762,611 in Year 2), incorporating general requirements, demolition, and trades like HVAC (\$1.58 million max) and electrical (\$1.05 million max). Figures address historic constraints, such as structural remediation and energy upgrades, with site work prioritizing landscaping for event access. Conservative assumptions include union labor and prevailing wages in the Hudson Valley

It should be noted that the square foot cost to fully renovate the existing Field Home building is **\$290/sqft** in contrast to the **\$390/sqft** cost for the new construction of the 12-key addition. This difference of \$100/sqft applied to the 30,600 existing building can be considered to represent a **\$3,060,000** value above and beyond the intrinsic value of the buildings historic and aesthetic value.

EXCLUSIONS AND ASSUMPTIONS

- Cost for **acquiring the land and Field Home building** from the Town of Yorktown (Purchase and Sale) are not reflected in these costs. The value of the property should be determined by an independent appraiser.
- Cost for any potential independent Hotel **Spa or Wellness Center** is not included. Correspondingly, any revenue from a potential Spa or Wellness Center is not included in the project feasibility study noted above.
- Cost for any **Hazardous Material or Environmental** remediation required. Costs to be determined following a detailed survey and mitigation proposal by 3rd party.

Detailed cost estimates by Bonacio Construction are provided below.

	
Project Title:	Field Home Renovations - Yorktown, NY
Estimators:	MJM
Description	Construction Analysis / Qualifications
Project Overview	
Date	11/4/2025
Owner	Town of Yorktown
Architect/Engineer Of Record	Beardsley architects + engineers
Scope of Work Based Off	Beardsley drawings, issued 10/1/2025; Structural Remediation Narrative & public Workshops #1 & #2
Estimate #	# 25140
Project Title	Field Home Renovations - Yorktown, NY
Job Description	
Project Gross SF	43582
Total units/apartments	59
Assumed Project Duration - Months	16.00
Project Manager	ADD PM
Budget Summary	
Budget Revision Dates	None
Contingency	5.00%
Insurance	1.50%
Overhead & Profit	10.00%
Payment & Performance Bonds	Varies by phase
Estimated Cost	\$13,322,856.50
Contingency Cost	\$666,142.83
Insurance Cost	\$209,834.99
Estimated Overhead & Profit	\$1,419,883.43
Payment & Performance Bonds	\$285,977.77
Total Proposed Budget	\$15,904,695.51
Legal Requirements	
Tax Status	Capital Improvement
Tax %	8.38%
Credits - IDA, HCF, SHPPPO, ETC	No
Prevailing Wage/Davis Bacon/Certified Payroll	No
Other - Tax Credits	No
Municipal Grants/Funding	Yes
P&P Bonds	Yes
Building Permit	By Owner
Land/Property Survey	By Owner
Misc. Items	
National Grid	Not included by GC
Utilities Required	Includes temp. electric & heat during construction
3rd Party Inspections	Not included by GC
Hazardous Material Survey	Survey cost included in Main Building budget
Winter Conditions	Included for Phase 1. Excluded for future phases.



18 Division St
Saratoga Springs, New York 12866
11/4/2025

Field Home Renovations - Yorktown, NY

CSI Code	Trade Description	GSF:		Main Building	1,942 Multi-Function Addition	Site Work	32,542 BASELINE TOTAL	5,520		43,582 TOTAL
		30,600	1,942					Option #1 2 Story Hotel	Option #2 2 Story + 1 Story	
0000	CONTRACT REQUIREMENTS			\$ 10,000.00	\$ 5,000.00	\$ 25,000.00	\$ 40,000.00	\$ -	\$ -	\$ 85,000.00
0100	GENERAL REQUIREMENTS			\$ 671,018.00	\$ 151,793.50	\$ -	\$ 822,811.50	\$ -	\$ 25,000.00	\$ 1,303,811.50
2050	DEMOLITION / ABATEMENT / WINTER CONDITIONS			\$ 418,804.00	\$ 14,470.00	\$ 60,000.00	\$ 493,274.00	\$ -	\$ -	\$ 520,474.00
3300	CONCRETE			\$ 125,940.00	\$ 39,978.00	\$ -	\$ 165,318.00	\$ -	\$ 81,600.00	\$ 324,918.00
4200	MASONRY			\$ 20,000.00	\$ -	\$ -	\$ 20,000.00	\$ -	\$ -	\$ 20,000.00
5100	STRUCTURAL STEEL			\$ 25,000.00	\$ 10,000.00	\$ -	\$ 35,000.00	\$ -	\$ -	\$ 35,000.00
5500	MISC. - ORNAMENTAL METALS			\$ 153,300.00	\$ 6,000.00	\$ -	\$ 159,300.00	\$ -	\$ 5,500.00	\$ 170,300.00
6100	ROUGH CARPENTRY			\$ 452,510.00	\$ 135,940.00	\$ -	\$ 588,450.00	\$ -	\$ 172,800.00	\$ 927,650.00
6200	INTERIOR / EXTERIOR TRIMS			\$ 152,160.00	\$ 31,072.00	\$ -	\$ 183,232.00	\$ -	\$ 33,600.00	\$ 253,232.00
6400	ARCHITECTURAL CASEWORK			\$ 282,010.00	\$ 15,000.00	\$ -	\$ 297,010.00	\$ -	\$ 38,400.00	\$ 377,010.00
6430	STAIRS			\$ 34,250.00	\$ 3,500.00	\$ -	\$ 37,750.00	\$ -	\$ 13,500.00	\$ 69,250.00
7200	INSULATION			\$ 76,500.00	\$ 4,855.00	\$ -	\$ 81,355.00	\$ -	\$ 13,000.00	\$ 107,355.00
7300	ROOFING			\$ 337,950.00	\$ 67,970.00	\$ -	\$ 405,920.00	\$ -	\$ 57,600.00	\$ 505,120.00
7400	SIDING			\$ 283,878.00	\$ 53,000.00	\$ -	\$ 336,878.00	\$ -	\$ 72,000.00	\$ 471,278.00
7900	CAULKS & SEALANTS			\$ 61,200.00	\$ 3,884.00	\$ -	\$ 65,084.00	\$ -	\$ 15,600.00	\$ 96,284.00
8100	METAL DOORS			\$ 7,200.00	\$ -	\$ -	\$ 7,200.00	\$ -	\$ -	\$ 7,200.00
8200	WOOD DOORS			\$ 103,360.00	\$ 3,600.00	\$ -	\$ 106,960.00	\$ -	\$ 20,800.00	\$ 148,560.00
8300	SPECIAL DOORS			\$ 4,500.00	\$ -	\$ -	\$ 4,500.00	\$ -	\$ -	\$ 4,500.00
8400	STOREFRONTS			\$ 36,000.00	\$ 36,000.00	\$ -	\$ 72,000.00	\$ -	\$ -	\$ 72,000.00
8500	WINDOWS			\$ 217,725.00	\$ 124,332.50	\$ -	\$ 342,057.50	\$ -	\$ 41,600.00	\$ 425,257.50
9200	GYP WALL BOARD ASSEMBLIES			\$ 443,700.00	\$ -	\$ -	\$ 443,700.00	\$ -	\$ 75,000.00	\$ 631,459.00
9300	CERAMIC TILING			\$ 102,480.00	\$ 28,159.00	\$ -	\$ 102,480.00	\$ -	\$ 24,000.00	\$ 152,480.00
9500	ACOUSTICAL PANEL CEILINGS			\$ 26,100.00	\$ -	\$ -	\$ 26,100.00	\$ -	\$ 7,650.00	\$ 41,400.00
9600	FLOORING			\$ 177,172.50	\$ 29,250.00	\$ -	\$ 206,422.50	\$ -	\$ 38,400.00	\$ 283,622.50
9900	PAINTING			\$ 328,100.00	\$ 15,600.00	\$ -	\$ 343,700.00	\$ -	\$ 46,800.00	\$ 437,300.00
10000	SPECIALTIES			\$ 12,800.00	\$ 1,050.00	\$ -	\$ 13,850.00	\$ -	\$ 7,800.00	\$ 29,450.00
10800	BATHROOM ACCESSORIES			\$ 60,770.00	\$ -	\$ -	\$ 60,770.00	\$ -	\$ 14,300.00	\$ 89,370.00
11000	EQUIPMENT			\$ 43,200.00	\$ -	\$ -	\$ 43,200.00	\$ -	\$ 23,400.00	\$ 90,000.00
12000	FURNISHINGS			\$ 25,000.00	\$ -	\$ -	\$ 25,000.00	\$ -	\$ -	\$ 25,000.00
13000	LOCKER ROOMS			\$ 15,000.00	\$ -	\$ -	\$ 15,000.00	\$ -	\$ -	\$ 15,000.00
14000	CONVEYING SYSTEMS			\$ 195,000.00	\$ -	\$ -	\$ 195,000.00	\$ -	\$ -	\$ 195,000.00
21000	SUPPRESSION SYSTEM			\$ 168,300.00	\$ 8,775.00	\$ -	\$ 177,075.00	\$ -	\$ 39,000.00	\$ 255,075.00
22000	PLUMBING			\$ 421,500.00	\$ -	\$ -	\$ 421,500.00	\$ -	\$ 98,800.00	\$ 611,500.00
23500	HVAC			\$ 1,182,800.00	\$ 74,100.00	\$ -	\$ 1,256,900.00	\$ -	\$ 166,400.00	\$ 1,576,900.00
26000	ELECTRICAL			\$ 673,200.00	\$ 42,900.00	\$ 35,000.00	\$ 751,100.00	\$ -	\$ 144,000.00	\$ 1,051,100.00

2700	DATA / IT	\$ 76,500.00	\$ 4,500.00	\$ -	\$ 81,000.00	\$ -	\$ 24,000.00	\$ -	\$ 131,000.00
2800	FOB SYSTEMS / CAMERAS / SECURITY	\$ 15,000.00	\$ 1,500.00	\$ -	\$ 16,500.00	\$ -	\$ -	\$ -	\$ 16,500.00
31000	EARTH WORK	\$ -	\$ 48,500.00	\$ 1,111,150.00	\$ 1,159,700.00	\$ -	\$ 192,000.00	\$ -	\$ 1,559,700.00
32800	SITE IMPROVEMENTS	\$ -	\$ 2,500.00	\$ 102,100.00	\$ 104,600.00	\$ -	\$ 14,400.00	\$ -	\$ 134,600.00
33000	UTILITIES	\$ -	\$ -	\$ -	\$ -	\$ -	\$ 26,000.00	\$ -	\$ 46,000.00
	Subtotal Trades	\$ 7,439,327.50	\$ 963,279.00	\$ 1,333,250.00	\$ 9,735,856.50	\$ 1,804,750.00	\$ 1,804,750.00	\$ 13,322,856.50	\$ 13,322,856.50
5.00%	Contingency	\$ 371,966.38	\$ 48,163.95	\$ 66,662.50	\$ 486,792.83	\$ -	\$ 90,237.50	\$ -	\$ 665,142.83
1.50%	Insurance	\$ 117,169.41	\$ 15,171.64	\$ 20,998.69	\$ 153,339.74	\$ -	\$ 28,424.81	\$ -	\$ 209,834.99
10.00%	Fee	\$ 792,846.33	\$ 102,661.46	\$ 142,091.12	\$ 1,037,598.91	\$ -	\$ 189,943.29	\$ -	\$ 1,419,863.43
	P&P Bond	\$ 143,901.61	\$ 30,490.45	\$ 42,201.06	\$ 216,593.12	\$ -	\$ 34,474.71	\$ -	\$ 285,977.77
	Total Construction Budget Costs to Date:	\$ 8,865,211.22	\$ 1,159,766.51	\$ 1,605,203.37	\$ 11,630,191.10	\$ 2,150,663.48	\$ 2,150,663.48	\$ 15,904,695.51	\$ 15,904,695.51

Alternates:

- Alt. 1 Provide glass & steel gazebo structure on concrete foundation to include basic power & lighting. \$ 75,000.00
- Alt. 2 Provide 2-stop, traction elevator with concrete foundation and metal framed, shaft-wall vertical assembly. \$ 99,100.00

Qualifications & Exclusions:

Assumes Owner will provide all architectural, structural, mechanical and site civil design services
 Project is Capital Improvement
 Project is NOT subject to prevailing wage rates
 Builder's Risk insurance to be provided by Owner
 Building Permits are to be provided by Owner
 Owner to provide all third party testing
 Jockey pumps and pump stations/boosters are not included for fire sprinkler systems
 Budget assumes municipal sanitary, storm and water connections to be available and sized correctly
 Assumes adequate electrical power is available
 Rock blasting & removals are not included
 Excessive dewatering is not assumed in this budget
 ROW Budget assumes a 2026 start and all other inflation/escalation shall be added to the budgets above
 Construction budgeting based on drawing package and working documents provided Beardsley Architecture + Engineering, October of 2025, including all building & mechanical systems and finishes.
 All food service & kitchen equipment to be provided by Owner
 All event seating and stage requirements are to be provided by Owner
 All FF&E to be provided by Owner



PROJECT TITLE	Field Home Renovations - Yorktown, NY	NOTES
OWNER	Town of Yorktown	
ARCHITECT	Beardsley architects + engineers	
PLAN DATE	Beardsley drawings, issued 10/1/2025; Structural Remediation Narrative & public Workshops #1 & #2	
ESTIMATOR	MJM	
BUDGET DATE	11/4/2025	
REVISION DATES	None	
PROJECT SCOPE		
GROSS SQUARE FOOTAGE	43582	
ASSUMED DURATION	16	
EXCLUSIONS	See Cover Sheet	
TAX STATUS	Capital Improvement	

ITEMIZED BUDGET

= Allowances - Shaded cells represent those elements that will be chosen by the client during the selection process. BCI has assigned allowances based on recent construction projects similar in size and expense to this project.

CSI	DESCRIPTION	LABOR HOURS	SF OR UNIT	UNIT TYPE	COST TOTAL
0000 CONTRACT REQUIREMENTS				<i>Division Total</i>	—
					\$10,000.00
	0100 Architectural Drafting / Engineer				
	0150 Misc Building Engineering				
	0151 Hazards Survey		1	est	\$10,000.00
0100 GENERAL REQUIREMENTS				<i>Division Total</i>	—
					\$671,018.00
	1010 General Administrative Costs	560		hr	\$28,000.00
	1015 Procure software @ 0.15%		1	est	\$12,250.00
	1026 Estimating expense	40		hr	\$3,600.00
	1030 Safety / OSHA Compliance	160		hr	\$14,400.00
	1039 Printing Costs		5	sets	\$2,500.00
	1040 Coordination / Supervision	2760		hr	\$176,640.00
	1041 Project Management	1849.2		hr	\$147,936.00
	1048 Security Services				
	Construction fencing		3000	lf	\$18,000.00
	Ring cameras		1	est	\$2,500.00
	1050 Field Engineering / Layout	80		mh	\$7,200.00
	1060 Permits & Fees - Gross Cost To Include:				
	1380 Photo Documentation - Precover Photos / Video				
	1500 Temporary Facilities				
	20' Job Office Trailer		16	mo	\$24,800.00
	Lockable Steel Storage Container		16	mo	\$16,000.00
	1505 Mobilization Costs	120	1	mh/vest	\$6,300.00
	1506 Fuel (Super)		16	mo	\$10,400.00
	1510 Temporary Utilities				
	Temporary Electric - use existing site electric		16	mo	\$12,800.00
	Temporary water		16.00	mo	\$1,040.00
	Internet		16.00	mo	\$960.00
	Temp toilet		16	mo	\$6,720.00
	1520 Equipment & Tool Rental - Lifts & Lull		16	mo	\$56,000.00

HISTORIC FIELD HOME – FINAL REPORT

CSI	DESCRIPTION	LABOR HOURS	SF OR UNIT	UNIT TYPE	COST TOTAL
1540	Property Protection - rosin paper, protective film, pre-completion security, etc.		30600	sf	\$15,300.00
1560	Construction Cleanup	1120		hr	\$44,800.00
1600	Miscellaneous Small Materials		16	mo	\$24,000.00
1610	Material Handling / Delivery	560		hr	\$22,400.00
1700	Close Out Punchlist	80	1	hr/est	\$5,150.00
1720	Final Cleaning		30600	sf	\$11,322.00
2050 DEMOLITION / ABATEMENT / WINTER CONDITIONS			<i>Division Total</i>		
			\$418,804.00		
2005	Winter Conditions		5	mo	\$100,000.00
2050	Demolition -		30600	sf	\$183,600.00
	Masonry openings 6x10		10	ea	\$30,400.00
	Masonry openings 3x8		5	ea	\$10,800.00
	Basement FD'N		20	lf	\$8,000.00
	Basement framing		150	lf	\$10,800.00
	First Floor		270	lf	\$19,440.00
	Second Floor		187	lf	\$13,464.00
	Salvage Doors BSMT		8	lvs	\$880.00
	Salvage Doors 1ST		17	lvs	\$1,870.00
	Salvage Doors 2ND		30	lvs	\$3,300.00
	Conc. porch removal		1	est	\$6,500.00
	Guradrail removals		136		\$6,800.00
2060	Debris Removal - Dumpster Service		27		\$22,950.00
3300 CONCRETE			<i>Division Total</i>		
			\$125,340.00		
3300	Cast In Place-				
	Ramp to event reception		321	sf	\$28,890.00
	Poured footing for exterior decks		215	lf	\$16,125.00
	Poured frost for exterior decks		215	lf	\$37,625.00
	FD'N under MEPS addition		1	est	\$12,000.00
	Concrete Pumping		2	ea	\$3,700.00
	Column Bases for structural repair over chapel		18	est	\$27,000.00
4200 MASONRY			<i>Division Total</i>		
			\$20,000.00		
4500	Masonry Restoration & Cleaning		1	EST	\$20,000.00
5100 STRUCTURAL STEEL			<i>Division Total</i>		
			\$25,000.00		
5100	Structural Steel		1	allow	\$25,000.00
5500 MISC. - ORNAMENTAL METALS			<i>Division Total</i>		
			\$153,300.00		
5604	Exterior Steel Handrails - new porches, entry		302	lf	\$105,700.00
5604	Exterior Steel Handrails - new porches		136	lf	\$47,600.00
6100 ROUGH CARPENTRY			<i>Division Total</i>		
			\$452,510.00		
6100	Framing - Material & Labor				
	new 2 story MEP addition wood framed		1800	sf	\$63,000.00
	New exterior wood porches including stairs		950	sf	\$33,250.00
	New front porch Vestibule		150		\$5,250.00
	Miscellaneous Fasteners, Hangers, Nails, etc.		1	est	\$5,000.00
	BSMT Framing		347	lf	\$74,952.00
	1ST Framing		446	lf	\$96,336.00
	2ND Framing		342	lf	\$73,872.00
	New 2 story MEP Storage		510	lf	\$17,850.00
6130	Resupporting Second floor over chapel				
	Timber Trusses		1	est	\$25,000.00
	Timber Posts		1	est	\$18,000.00
	Shoring		1	est	\$15,000.00
	patching & supplemental framing		1	est	\$10,000.00
6195	Blid'g Code RETFROFIT Engineered Beams & Joists		1	est	\$15,000.00
6200 INTERIOR / EXTERIOR TRIMS			<i>Division Total</i>		
			\$152,160.00		
6200	Finish Interior Trim		30600		\$122,400.00
6211	Exterior Trim / Carpentry Labor - assess fascia, trim, etc damages		1180	sf	\$18,880.00
	Window Cladding scraped and cleaned		680	sf	\$10,880.00
6400 ARCHITECTURAL CASEWORK			<i>Division Total</i>		
			\$282,010.00		
	Storage Shelving / Closet Packages		30	ea	\$19,500.00
	Cabinetry/Arch. Woodwork		8	lf	\$4,800.00
	Reception		17	lf	\$12,750.00
	Cooking/Serving		203	lf	\$131,950.00
	Vanities		101	lf	\$50,500.00
	Countertops -		658	sf	\$62,510.00
6430 STAIRS			<i>Division Total</i>		

HISTORIC FIELD HOME – FINAL REPORT

CSI	DESCRIPTION	LABOR HOURS	SF OR UNIT	UNIT TYPE	COST TOTAL
					\$34,250.00
6410	Interior Wood Stairs & Handrails - multi use entry	120	sf		\$18,000.00
6411	Exterior Wood Stairs & Handrails	4	set		\$14,000.00
6430	Wood handrails	15	lf		\$2,250.00
7200	INSULATION				Division Total
					\$76,500.00
7200	Insulation - IAT GWB Assembly Below	30600	sf		\$76,500.00
7300	ROOFING				Division Total
					\$337,950.00
7300	Slate shingle roof for multi use and additions	2580	sf		\$129,000.00
	Existing slate survey and assess for damages	4179	sf		\$208,950.00
7400	SIDING				Division Total
					\$283,878.00
7400	Plaster EIFS Restoration	13896	sf		\$250,128.00
	2 story meps siding	1350	sf		\$33,750.00
7900	CAULKS & SEALANTS				Division Total
					\$61,200.00
7800	Fire Stop	30600			\$30,600.00
7900	Caulking	30600			\$30,600.00
8100	METAL DOORS				Division Total
					\$7,200.00
8100	New exterior doors at exterior window locations	4	ea		\$7,200.00
8200	WOOD DOORS				Division Total
					\$103,360.00
8201	Wood Doors and Frame Labor	152	hrs		\$103,360.00
8300	SPECIAL DOORS				Division Total
					\$4,500.00
8300	Special Doors	3	hrs		\$4,500.00
8400	STOREFRONTS				Division Total
					\$36,000.00
8400	Aluminum / Steel Storefront Systems	9	hrs		\$36,000.00
8500	WINDOWS				Division Total
					\$217,725.00
8600	SF of new porch glazing	990	sf		\$89,100.00
	Remove windows and install new	52.5	ea		\$128,625.00
9200	GYP WALL BOARD ASSEMBLIES				Division Total
					\$443,700.00
9200	Gyp. Wallboard Assemblies - to include any drywall, insulation, LGMF, RC Channel, Etc	30600	sf		\$443,700.00
9300	CERAMIC TILING				Division Total
					\$102,480.00
9300	Tile				
	Basement Quarry Tile	2900	sf		\$46,400.00
	Porcelain Tile	1414	sf		\$28,280.00
	Porcelain Tile	955	sf		\$19,100.00
	Porcelain Tile	435	sf		\$8,700.00
9500	ACOUSTICAL PANEL CEILINGS				Division Total
					\$26,100.00
9500	Acoustical Treatment - Kitchen	2900	sf		\$26,100.00
9600	FLOORING				Division Total
					\$177,172.50
9550	Basement				
	LVT	1140	sf		\$7,410.00
	Nylon Carpet	358	sf		\$1,790.00
	Existing concrete refinished	180	sf		\$1,440.00
	Sheet Vinyl	2060	sf		\$16,480.00
	Rubber floor	676	sf		\$15,548.00
	1st Floor				
	LVT	2295	sf		\$14,917.50
	Nylon Carpet	1397	sf		\$6,985.00
	Existing wood floor repair as needed	4021	sf		\$64,336.00
	Sheet Vinyl	502	sf		\$4,016.00
	2nd Floor				
	Existing wood floor repair as needed	1950	sf		\$31,200.00
	Nylon Carpet	2610	sf		\$13,050.00
9900	PAINTING				Division Total
					\$328,100.00
9900	Interior Painting -	30600	sf		\$183,600.00
9910	Epoxy Floor Paint	1500	sf		\$27,000.00
9940	Exterior Painting -	1	est		\$85,000.00
9950	Wall Coverings	5000	sf		\$32,500.00
10000	SPECIALTIES				Division Total
					\$12,800.00
10400	Signage	1	est		\$3,600.00

HISTORIC FIELD HOME – FINAL REPORT

CSI	DESCRIPTION	LABOR HOURS	SF OR UNIT	UNIT TYPE	COST TOTAL
10520	Fire Extinguisher & Cabinets	12		ea	\$4,200.00
10910	Mailroom Equipment	1		est	\$5,000.00
10800	BATHROOM ACCESSORIES			<i>Division Total</i>	<i>\$60,770.00</i>
10600	Partitions	2		ea	\$3,000.00
10800	Bath Accessories Public	6			\$5,700.00
10800	Bath Accessories - Rooms	30			\$22,500.00
10850	Shower Door Units:	30			\$25,500.00
10900	Mirrors / Medicine Cabinets	37			\$4,070.00
11000	EQUIPMENT			<i>Division Total</i>	<i>\$43,200.00</i>
11170	Trash Compactor / Chute				
	Dumbwaiter	1		est	\$40,000.00
11450	BREAKROOM Appliances - Allowance Based	1		EST	\$3,200.00
12000	FURNISHINGS			<i>Division Total</i>	<i>\$25,000.00</i>
12550	Lobby Fit-Up	1		allow	\$25,000.00
13000	LOCKER ROOMS			<i>Division Total</i>	<i>\$15,000.00</i>
13040	Locker Rooms	2		est	\$15,000.00
14000	CONVEYING SYSTEMS			<i>Division Total</i>	<i>\$195,000.00</i>
14200	Elevators	3		stops	\$105,000.00
14200	Elevators	3		stops	\$90,000.00
21000	SUPPRESSION SYSTEM			<i>Division Total</i>	<i>\$168,300.00</i>
21000	Fire Sprinkler	30600			\$168,300.00
22000	PLUMBING			<i>Division Total</i>	<i>\$421,500.00</i>
22050	Plumbing Rough In and Trim Out - PUBLIC	31		EA	\$108,500.00
22050	Plumbing Rough In and Trim Out - GUESTROOMS	86			\$301,000.00
22100	Kitchen EQUIP Allowance	1		est	\$12,000.00
23500	HVAC			<i>Division Total</i>	<i>\$1,182,800.00</i>
23500	HVAC - Kitchen allowance	1		est	\$20,000.00
23501	HVAC General Service	30600		sf	\$1,101,600.00
23900	HVAC Controls	30600			\$61,200.00
26000	ELECTRICAL			<i>Division Total</i>	<i>\$673,200.00</i>
26050	Electrical Rough In and Trim Out -	30600		sf	\$673,200.00
27700	DATA / IT			<i>Division Total</i>	<i>\$76,500.00</i>
27700	Communications Systems -	30600			\$45,900.00
27720	Alarm / Detection Systems -	30600			\$30,600.00
28000	FOB SYSTEMS / CAMERAS / SECURITY			<i>Division Total</i>	<i>\$15,000.00</i>
28050	FOB Systems / Cameras Security	1		est	\$15,000.00
Builder Cost					\$7,439,327.50
Contingency 5.0%					\$371,966.38
Insurance 1.5%					\$117,169.41
Fee 10.0%					\$792,846.33
Construction Cost					\$8,721,309.61



PROJECT TITLE	Field Home Renovations - Yorktown, NY	NOTES
OWNER	Town of Yorktown	
ARCHITECT	Beardsley architects + engineers	
PLAN DATE	Beardsley drawings, issued 10/1/2025; Structural Remediation Narrative & public Workshops #1 & #2	
ESTIMATOR	MJM	
BUDGET DATE	11/4/2025	
REVISION DATES	None	
PROJECT SCOPE		
GROSS SQUARE FOOTAGE	43582	
ASSUMED DURATION	16	
EXCLUSIONS	See Cover Sheet	
TAX STATUS	Capital Improvement	

ITEMIZED BUDGET

= Allowances - Shaded cells represent those elements that will be chosen by the client during the selection process. BCI has assigned allowances based on recent construction projects similar in size and expense to this project.

CSI	DESCRIPTION	LABOR HOURS	SF OR UNIT	UNIT TYPE	COST TOTAL
0000	CONTRACT REQUIREMENTS			Division Total	—
				\$5,000.00	
0151	Hazards Survey				
0400	Survey & Stakeout		1	est	\$5,000.00
0600	Insurance - Builder's Risk				
0100	GENERAL REQUIREMENTS			Division Total	—
				\$151,793.50	
1010	General Administrative Costs	72			\$3,600.00
1030	Safety / OSHA Compliance	36			\$3,240.00
1040	Coordination / Supervision	720			\$46,080.00
1041	Project Management	482.4			\$38,592.00
1048	Security Services				
	Construction fence		500	lf	\$3,000.00
	Ring Cameras		1	est	\$1,000.00
1060	Permits & Fees - Gross Cost To Include:				
1500	Temporary Facilities				
	20' Job Office Trailer		4	mo	\$2,060.00
	Lockable Steel Storage Container		4	mo	\$2,060.00
1505	Mobilization Costs		1	est	\$1,500.00
1506	Fuel		4	mo	\$2,600.00
1510	Temporary Utilities				
	Temporary Electric - use existing site electric		4	mo	\$1,800.00
	Temporary Sanitary		4	mo	\$560.00
1520	Equipment & Tool Rental - Lifts & Lull		5	mo	\$17,500.00
1540	Property Protection - rosin paper, protective film, pre-completion security, etc.		1	est	\$5,000.00
1560	Construction Cleanup	288		mh	\$11,520.00
1600	Miscellaneous Small Materials		4	mo	\$3,000.00
1610	Material Handling / Delivery	144		mh	\$5,760.00
1700	Close Out Punchlist	40		mh	\$2,200.00
1720	Final Cleaning		1950	sf	\$721.50
2050	DEMOLITION / ABATEMENT / WINTER CONDITIONS			Division Total	—

HISTORIC FIELD HOME – FINAL REPORT

CSI	DESCRIPTION	LABOR HOURS	SF OR UNIT	UNIT TYPE	COST TOTAL
	2000 DEMOLITION / ABATEMENT / WINTER CONDITIONS				\$14,470.00
	<i>2005 Winter Conditions</i>				
	Demolition -	144	1	mh/est	\$9,370.00
	<i>Air Monitoring</i>				
	Debris Removal - Dumpster Service		6	puls	\$5,100.00
	3300 CONCRETE				Division Total
					\$39,978.00
	3200 Concrete Reinforcement - rebar				
	3300 Cast In Place		1	est	\$22,500.00
	Interior Slab (4" deep)		1942		\$17,478.00
	5100 STRUCTURAL STEEL				Division Total
					\$10,000.00
	5100 Structural Steel		1	allow	\$10,000.00
	5500 MISC. - ORNAMENTAL METALS				Division Total
					\$6,000.00
	5602 Interior Steel Handrails		20	lf	\$6,000.00
	6100 ROUGH CARPENTRY				Division Total
					\$135,940.00
	6100 Framing - Material & Labor		3884		\$135,940.00
	6200 INTERIOR / EXTERIOR TRIMS				Division Total
					\$31,072.00
	6200 Finish Interior Trim Materials -		1942		\$31,072.00
	6400 ARCHITECTURAL CASEWORK				Division Total
					\$15,000.00
	6400 Cabinetry/Arch. Woodwork		1	est	\$15,000.00
	6430 STAIRS				Division Total
					\$3,500.00
	6410 Interior Wood Stairs & Handrails -		1	est	\$3,500.00
	7200 INSULATION				Division Total
					\$4,855.00
	7100 Waterproofing -		1942		\$4,855.00
	7300 ROOFING				Division Total
					\$67,970.00
	7500 Membrane Roofing		1942		\$67,970.00
	7400 SIDING				Division Total
					\$53,000.00
	7240 Exterior Insulation & Finish System (EIFS)		2650		\$53,000.00
	7900 CAULKS & SEALANTS				Division Total
					\$3,884.00
	7800 Fire Stop		1942		\$1,942.00
	7900 Caulking		1942		\$1,942.00
	8200 WOOD DOORS				Division Total
					\$3,600.00
	8200 Interior Wood Doors & Frames		2	lvs	\$3,600.00
	8400 STOREFRONTS				Division Total
					\$36,000.00
	8400 Aluminum / Steel Storefront Systems		8	lvs	\$36,000.00
	8500 WINDOWS				Division Total
					\$124,332.50
	8500 Metal Windows		874.5	sf	\$74,332.50
	Skylights		5		\$50,000.00
	9200 GYP WALL BOARD ASSEMBLIES				Division Total
					\$28,159.00
	9050 Finish Allowance		1942		\$28,159.00
	9600 FLOORING				Division Total
					\$29,250.00
	9600 Wood Flooring		1950		\$29,250.00
	9900 PAINTING				Division Total
					\$15,600.00
	9900 Interior Painting -		1950		\$15,600.00
	10000 SPECIALTIES				Division Total
					\$1,050.00
	10520 Fire Extinguisher & Cabinets		3	ea	\$1,050.00
	21000 SUPPRESSION SYSTEM				Division Total
					\$8,775.00
	21000 Fire Sprinkler		1950		\$8,775.00
	23500 HVAC				Division Total
					\$74,100.00
	23501 HVAC General Service		1950		\$74,100.00
	26000 ELECTRICAL				Division Total
					\$42,900.00
	26050 Electrical Rough In and Trim Out -		1950		\$42,900.00