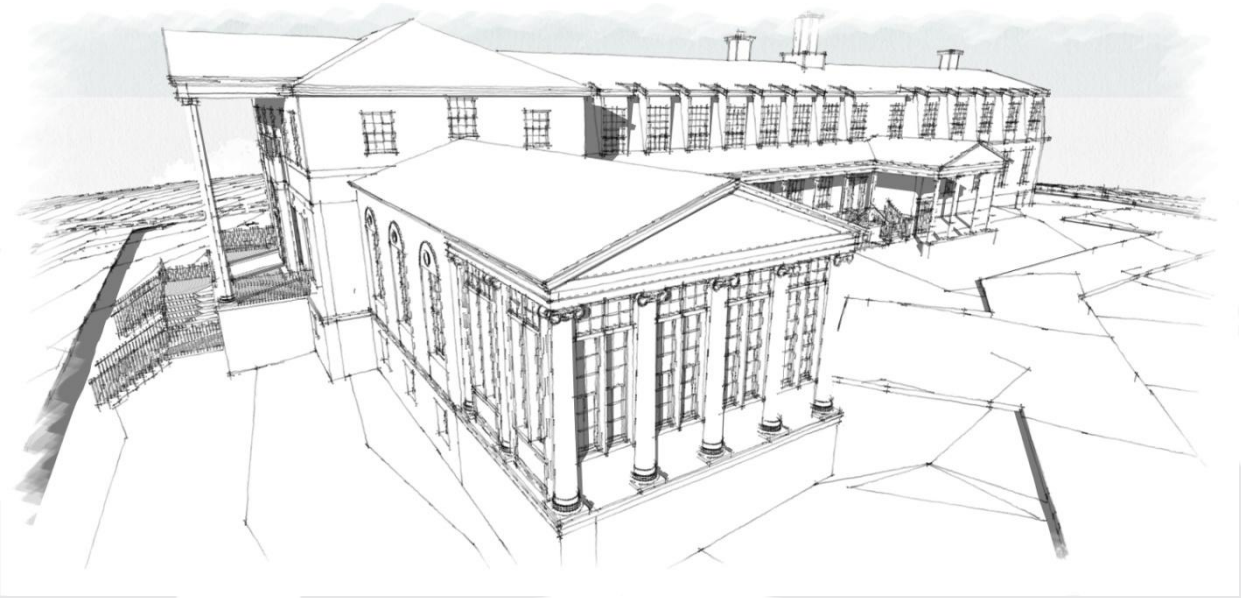
beardsley
architects + engineers



FIELD HOME FINAL REPORT

Yorktown Heights Field Home

(Yorktown, NY)

30 December 2025

Environmental Testing

The Environmental firm of RTK with offices in White Plains was engaged to provide independent testing for hazardous materials including mold, radon and indoor air quality. In general, the results are considered to be normal and consistent with a building of its age with minor or limited long-term water damage. The results are summarized below:

SUMMARY OF FINDINGS - MOLD

This report includes the results of a visual inspection as well as mold samples collected from 2302 Catherine Street, Cortlandt, NY, on July 15, 2025. This inspection was performed to assess mold conditions throughout the interior of the two-story building before interior repairs and alterations would be performed. Below is our summary of findings and recommendations. For details of our sample findings, please see the attached laboratory report.

- On the day of inspection, the far left side of the second floor was being used for the storage of historical items. The center hall had several rooms that appeared to be offices but were not occupied, with limited to no contents. The right side of the hall was located above the chapel. The far left hall was clean and free of debris and was in **good condition** with limited damage and peeling paint. The rear area of the far left hall had the entry to the attic.

- Tape lift samples were taken from the floors in the front and rear of the far left hall, and the center and right side of the second floor hall, and all samples are considered **acceptable**.

- Room #19 in the front center area of the second floor had water damage and suspect visible mold growth present. A tape lift sample was taken from the plaster wall surface, and it is considered **unacceptable**.

- The right rear bathroom had water damage, peeling paint, and suspect visible mold present on the upper wall and ceiling. A tape lift sample was taken from the upper wall and it is considered **unacceptable**.

- The rear main stairwell had a room (plan/blueprint room) off the middle landing. The wood flooring and plaster walls, and ceiling were water-damaged. A tape lift sample was taken from the floor to assess for settled mold spores, and the sample is considered **acceptable**.

- The right side of the first floor is a large chapel. The chapel benches and some wooden furniture were remaining, but the walls and ceiling were heavily damaged with plaster debris throughout the floor areas in the front and rear of the chapel. A tape lift sample was taken from the remaining wall surface in the front of the chapel, and it is considered **acceptable**.

- The remainder of the first floor was clean and free of debris. The main center hall had occupied offices, and the far left hall was very clean and free of debris, water damage, and visible mold growth. The left front area of the far left hall was a conference room that was occupied by several people. This area appeared to have been recently remodeled or kept in **excellent condition**. Tape lift samples were taken from the floors in the far left hall and the left side of the main hall. The sample taken from the floor in the far left hall is considered acceptable. The sample taken from the floor on the left side of the main hall is considered **unacceptable.**

- The basement had limited contents and debris present. The left front area and the area below the stairs had cardboard boxes present. These boxes appeared to have been recently placed in storage. The remainder of the basement had water damage, water staining, and damage to the plaster wall and ceiling materials in the front center room. Mold in air samples were taken from the left, center, and right sides of the basement, and all samples are considered **unacceptable**.

- Tape lift samples were taken from the floors on the left, center, and right sides of the basement to assess for possible settled mold spores. The sample taken from the left side is considered unacceptable. The remaining samples are considered **acceptable.**

- A moisture meter was used on the structural wood components in the water-damaged areas on the second floor, rear stair landing, plan room, chapel and in the basement and **no elevated moisture levels** were identified.

- The attic was clean and free of water damage and visible mold growth. A mold in air sample was taken from the attic, and it is considered a**cceptable**.

- Mold in air samples were taken throughout the second floor. The samples taken from the front and rear of the far left hall on the second floor, room 119, the right hall, and the right rear bathroom are considered unacceptable. The remaining samples taken on the second floor are considered **acceptable.**

- Mold in air samples were taken throughout the first floor and all samples are considered **acceptable.**

RECOMMENDATIONS

- On the second floor, all remaining contents should be removed and discarded unless they will be retained. If they will be retained, they should be cleaned using the HEPA method of cleaning as indicated above and placed in separate containment.

- The second floor should be separately contained from the floors below. The plan room on the rear stair landing and the right rear bathroom should be separately contained. The basement should also be separately contained from the first floor.

- On the second floor, the front room # 119 should have the affected plaster wall and ceiling materials ~250 sq. ft. removed and discarded.

- The affected wall and ceiling materials ~ 150 sq. ft. in the right rear bathroom should be removed and discarded.

- The plan room should have all contents removed and placed in separate containment. The affected wall and ceiling plaster surfaces ~200 sq. ft. should be removed and discarded.

- The chapel should be separately contained from the remainder of the first floor. All affected wall and ceiling plaster surfaces ~300 sq. ft. should be removed and discarded, along with the center aisle floor carpet.

- The basement should have all recently placed cardboard boxes and any other contents that will be saved placed in a separate containment. All remaining contents should be removed and discarded. All water-damaged plaster, wall, and ceiling materials ~500 sq. ft. should be removed and discarded.

- The entire second floor, the chapel, and the entire basement should then be cleaned using the HEPA method of cleaning as indicated above in conjunction with the use of air scrubbers to help clean the air back to normal levels. If staining should remain after cleaning, an antimicrobial sealer should be applied.

SUMMARY OF FINDINGS – VOCs AND AIR QUALITY

For each sample, there is a laboratory report outlining VOC results and a separate laboratory report outlining formaldehyde results. These results are only representative of the conditions that existed at the time of sampling. The results could be influenced by activities that occurred prior to sampling that may be unknown.

- A visual inspection was performed to identify potential sources of VOCs that could affect the air quality. The following relevant observations were made:

- The large 2-story building was occupied mostly on the first floor. The second floor was unoccupied with limited contents. Some areas were in disrepair, with water damage and suspect visible mold present.
- The attic was clean and free of water damage and did not have insulation.
- The first floor had offices and the far left side had a conference room at the front.
- The right side of the first floor was a large chapel with damaged walls and ceiling materials.

- The basement had limited contents and was also in disrepair in some areas, with water damage and falling wall and ceiling materials.
- The building from the attic to the basement was mostly chemical-free with no stored materials.
- Humidity levels were ~50% and considered normal. Temperature readings were ~75°F.

SAMPLE RESULTS OVERVIEW

Air samples were taken from four locations as indicated below.
Floor 2 center hall:
- Total VOCs (T VOCs) were measured at 460 ng/L, which is considered **normal.**
- Formaldehyde concentrations were identified at 56 ng/L which is considered **elevated.**

Floor 1 left hall:
- T VOCs were measured at 370 ng/L, which is considered **normal.**
- Formaldehyde concentrations were identified at 45 ng/L which is considered moderate.

Floor 1 right chapel:
- T VOCs were measured at 380 ng/L, which is considered **normal.**
- Formaldehyde concentrations were identified at 32 ng/L which is considered **moderate**.

Basement center:
- T VOCs were measured at 520 ng/L, which is considered **moderate.**
- Formaldehyde concentrations were identified at 28 ng/L which is considered **moderate.**

Significant VOCs identified include toluene, methylene chloride (a known carcinogen, at trace levels), and carbonyl sulfide. These compounds are commonly found in adhesives, solvents, heavy-duty cleaners, paints, and strippers.

RECOMMENDATIONS

- To improve indoor air quality, it is recommended to store cleaning and personal care products, which can increase vapor concentrations, in sealed containers when they are not in use. Ventilation should occur during and after cleaning as introducing outside air helps to immediately reduce VOC levels. In some structures, the installation of an exhaust fan or an electronic recovery ventilator (ERV) will help with overall indoor air quality. Additionally, the use of an air purifier equipped with a carbon filter is an effective method of reducing VOCs and odors. It is recommended to utilize an air purifier that is appropriate for the size of the space and to change the filters according to the manufacturer's instructions. Carbon filtration can also be integrated into an HVAC system. Manmade products, such as paints, construction materials, fertilizers, bulk cleaning products, etc. should be stored outside of finished, occupied spaces.

- Any remaining contents/cleaners in the bathrooms on the second floor, along with any chemical products throughout all floors of the building, should be removed and properly discarded.

- Regularly ventilate any occupied spaces by opening windows. VOCs released from paints, coatings, and sealers will accumulate in the air unless removed via air exchanges. Opening windows wide for regular but shorter periods is often more effective than cracking windows all day long.

August 18, 2025

Peter Veale
Beardsley Architects & Engineers
150 State Street, 4th Floor
Albany, NY 12207

Dear Peter,

This report includes the results of a visual inspection as well as mold samples collected from 2302 Catherine Street, Cortlandt, NY, on July 15, 2025. This inspection was performed to assess mold conditions throughout the interior of the two-story building before interior repairs and alterations would be performed. Below is our summary of findings and recommendations. For details of our sample findings, please see the attached laboratory report.

SUMMARY OF FINDINGS

- On the day of inspection, the far left side of the second floor was being used for the storage of historical items. The center hall had several rooms that appeared to be offices but were not occupied, with limited to no contents. The right side of the hall was located above the chapel. The far left hall was clean and free of debris and was in good condition with limited damage and peeling paint. The rear area of the far left hall had the entry to the attic.
- Tape lift samples were taken from the floors in the front and rear of the far left hall, and the center and right side of the second floor hall, and all samples are considered acceptable.
- Room #19 in the front center area of the second floor had water damage and suspect visible mold growth present. A tape lift sample was taken from the plaster wall surface, and it is considered unacceptable.
- The right rear bathroom had water damage, peeling paint, and suspect visible mold present on the upper wall and ceiling. A tape lift sample was taken from the upper wall and it is considered unacceptable.
- The rear main stairwell had a room (plan/blueprint room) off the middle landing. The wood flooring and plaster walls, and ceiling were water-damaged. A tape lift sample was taken from the floor to assess for settled mold spores, and the sample is considered acceptable.
- The right side of the first floor is a large chapel. The chapel benches and some wooden furniture were remaining, but the walls and ceiling were heavily damaged with plaster debris throughout the floor areas in the front and rear of the chapel. A tape lift sample

was taken from the remaining wall surface in the front of the chapel, and it is considered acceptable.

- The remainder of the first floor was clean and free of debris. The main center hall had occupied offices, and the far left hall was very clean and free of debris, water damage, and visible mold growth. The left front area of the far left hall was a conference room that was occupied by several people. This area appeared to have been recently remodeled or kept in excellent condition. Tape lift samples were taken from the floors in the far left hall and the left side of the main hall. The sample taken from the floor in the far left hall is considered acceptable. The sample taken from the floor on the left side of the main hall is considered unacceptable.
- The basement had limited contents and debris present. The left front area and the area below the stairs had cardboard boxes present. These boxes appeared to have been recently placed in storage. The remainder of the basement had water damage, water staining, and damage to the plaster wall and ceiling materials in the front center room. Mold in air samples were taken from the left, center, and right sides of the basement, and all samples are considered unacceptable.
- Tape lift samples were taken from the floors on the left, center, and right sides of the basement to assess for possible settled mold spores. The sample taken from the left side is considered unacceptable. The remaining samples are considered acceptable.
- A moisture meter was used on the structural wood components in the water-damaged areas on the second floor, rear stair landing, plan room, chapel and in the basement and no elevated moisture levels were identified.
- The attic was clean and free of water damage and visible mold growth. A mold in air sample was taken from the attic, and it is considered acceptable.
- Mold in air samples were taken throughout the second floor. The samples taken from the front and rear of the far left hall on the second floor, room 119, the right hall, and the right rear bathroom are considered unacceptable. The remaining samples taken on the second floor are considered acceptable.
- Mold in air samples were taken throughout the first floor and all samples are considered acceptable.

RECOMMENDATIONS

- *IMPORTANT: Mold remediation is recommended in this section and specific steps for your project are below. When the remediation is underway the scope of work indicated here may change. This process involves working in the area of the remediation and possibly cleaning of the air and other surfaces further outside of the actual remediation area. The actual remediation areas should be separately contained with 6 mil plastic with adequate negative air pressure to prevent mold spores from migrating into other areas. Generally, affected materials that may include wallboard, insulation and/or*

flooring or other cellulose materials are removed a minimum of 18" beyond the affected area. Any affected HVAC components, including, but not limited to, the air handler and the associated interior ductwork, should be restored and/or cleaned as described in Section 4 of the National Air Duct Cleaners Association Assessment, Cleaning and Restoration of HVAC Systems standards (NADCA ACR 2013). All remaining materials in the affected areas are thoroughly cleaned using the HEPA method of cleaning in conjunction with the use of air scrubbers to clean the air. The cleaning refers to the "HEPA sandwich" method of cleaning as recommended by the Institute of Inspection Cleaning and Restoration Certification (IICRC). This includes a process of HEPA vacuuming, then damp wiping, and then HEPA vacuuming again. If staining remains on any components following cleaning these areas should be sealed with an antimicrobial sealer such as Fiberlock IAQ 6000.

The use of biocides such as Microban or Shockwave may also be part of the remediation and cleaning process. Any of these products are allowable so long as they remain registered with the United States Environmental Protection Agency for the intended use. The contractor should be aware of any reaction to these compounds by the inhabitants of the dwelling or commercial space and then should be changed if needed.

The remediation and cleaning are to be performed by experienced workers with the proper use of personal protective equipment including, but not limited to, Tyvek coveralls with attached hood and booties, N-95 respirator masks, goggles and gloves. Depending on the type of project different respirators may be required.

In a building that is currently occupied where remediation will occur, occupants shall be notified of project details including estimated start and completion times and the restricted remediation areas. All remediation projects shall have proper posting at the entrance to the work area indicating the remediation being performed. Only the workers of the actual remediation are permitted to enter until final clearance is achieved by the assessor in a satisfactory manner. It is recommended that air cleaning equipment be removed from the job site 24 hours prior to final sampling if possible.

- The location of building components (walls, ceiling, floors, etc.) in each room is indicated clockwise from the entry into the room.
- On the second floor, all remaining contents should be removed and discarded unless they will be retained. If they will be retained, they should be cleaned using the HEPA method of cleaning as indicated above and placed in separate containment.
- The second floor should be separately contained from the floors below. The plan room on the rear stair landing and the right rear bathroom should be separately contained. The basement should also be separately contained from the first floor.
- On the second floor, the front room # 119 should have the affected plaster wall and ceiling materials ~250 sq. ft. removed and discarded.
- The affected wall and ceiling materials ~ 150 sq. ft. in the right rear bathroom should be removed and discarded.

- The plan room should have all contents removed and placed in separate containment. The affected wall and ceiling plaster surfaces ~200 sq. ft. should be removed and discarded.
- The chapel should be separately contained from the remainder of the first floor. All affected wall and ceiling plaster surfaces ~300 sq. ft. should be removed and discarded, along with the center aisle floor carpet.
- The basement should have all recently placed cardboard boxes and any other contents that will be saved placed in a separate containment. All remaining contents should be removed and discarded. All water-damaged plaster, wall, and ceiling materials ~500 sq. ft. should be removed and discarded.
- The entire second floor, the chapel, and the entire basement should then be cleaned using the HEPA method of cleaning as indicated above in conjunction with the use of air scrubbers to help clean the air back to normal levels. If staining should remain after cleaning, an antimicrobial sealer should be applied.
- Final sampling helps assure a successful remediation and cleaning process. The second floor, first floor, and the basement shall be the areas of clearance sampling at the assessor's discretion.

Thank you for working with RTK Environmental Group. We appreciate your business. RTK offers testing and consulting for mold, lead, asbestos, soot, and other environmental concerns. Please contact our office at 800-392-6468 with any questions.

Sincerely,

Thomas Taylor
Licensed Mold Assessor, Certificate #24-6ZPQI-SHMO
tt@rtkenvironmental.com

RTK ENVIRONMENTAL GROUP

REPORT DISCLAIMER

The information provided in this report is limited by the scope of the assessment requested by the client. Not all assessments yield information regarding the presence of mold and the existence of mold hazards in all media. You are advised to clarify the scope of the assessment provided with the assessor.

It is generally acknowledged that the level of mold spores in or on any structure will determine the extent of hazard arising from such mold. However, there are currently no regulations regarding what levels of any mold types are acceptable or unacceptable. The results of this assessment are open to interpretation by the person reading them. Accordingly, any change in the condition of the property in question will alter the validity of the assessment report provided herewith. The accuracy of any mold assessment performed is, therefore, limited to the condition of the property at the time the assessment report herewith was conducted. The assessor assumes no responsibility for retesting or reinvestigating the property to determine changed conditions. Any and all changes in the premises or its condition may result in the creation of mold hazards not in existence at the time of assessment.

The assessor does not normally move any furniture or personal items (i.e. clothing, shoes, wall hangings, etc.) for purposes of this assessment. Additionally, the assessor will not remove any trim work, ceiling, insulation, walls or flooring to investigate internal conditions. This type of invasive investigation could potentially create a more hazardous mold condition than may already exist.

Not every area was tested or was made accessible for testing. The assessor makes no representation with respect to the presence of mold or the condition of any areas not tested, or with respect to any lead painted or asbestos containing surfaces that may be disturbed during mold remediation work. Areas which were not tested may, if tested, yield results which indicate the presence of mold or other environmental hazards in addition to mold prior to beginning mold remediation work. The client is advised to take such factors into account when undertaking any activities which may have an impact upon such areas.

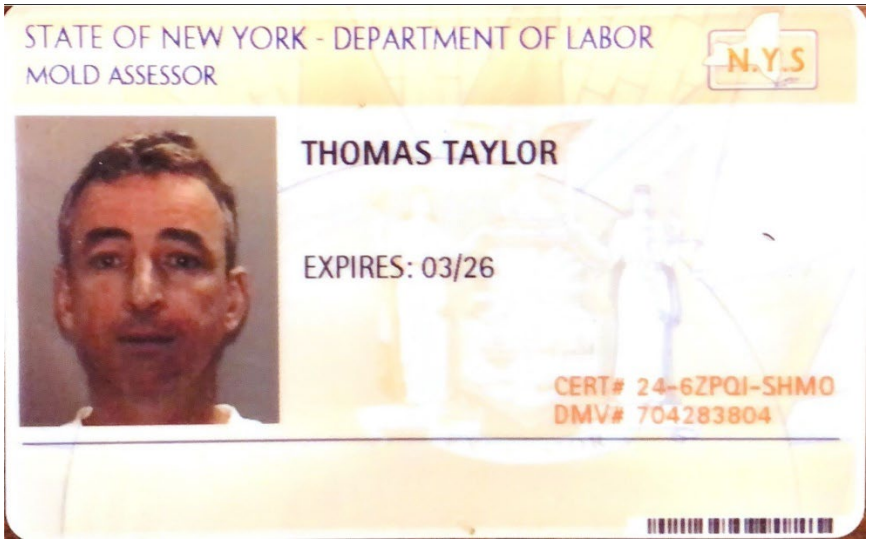
This report is intended only for the benefit of the assessor and the client and does not create any rights in any third parties. Use of these test results or reports or other materials by the client without written permission or adaptation by RTK Environmental Group for the specific purpose intended shall be at the user's sole risk, without liability on RTK Environmental Group's part, and the client agrees to indemnify and hold RTK Environmental Group harmless from all claims, damages and expenses, including attorney's fees, arising out of such unauthorized use.

RTK ENVIRONMENTAL GROUP

ADDITIONAL INFORMATION

National Air Duct Cleaners Association (NADCA) Assessment, Cleaning and Restoration of HVAC Standards: https://ehs.psu.edu/sites/ehs/files/nadca-13-acrbooklet-revised_5-8-2013.pdf

CERTIFICATIONS



WE ARE YOUR DOL

NEW YORK STATE | Department of Labor

DIVISION OF SAFETY AND HEALTH LICENSE AND CERTIFICATE UNIT, STATE OFFICE CAMPUS, BUILDING 12, ALBANY, NY 12226

MOLD ASSESSMENT CONTRACTOR LICENSE

RTK Environmental Group LLC
29 Bank Street
Stamford, Connecticut 06901

License Number: 24-6I4XV-SHMO
Date of Issue: 2024-01-16
Expiration Date: 2026-01-31

(This license is valid only for the contractor named above)

For the Commissioner of Labor

Amy Phillips, Director Division of Safety and Health

EXCELSIOR

EMSL Analytical, Inc.

3303 PARKWAY CENTER COURT Orlando, FL 32808
Tel/Fax: (407) 599-5887 / (407) 599-9063
http://www.EMSL.com / orlandolab@emsl.com

EMSL Order: 342516450
Customer ID: RTKE34
Customer PO: 41340
Project ID:

Attention: Meegan Taddonio
RTK Environmental Group
29 Bank Street
Stamford, CT 06901

Phone: (203) 921-4144
Fax:
Collected Date: 07/15/2025
Received Date: 08/08/2025
Analyzed Date: 08/11/2025

Project: 2302 Catherine Street, Cortlandt NY 10567

Test Report: Allergenco-D(™) Analysis of Fungal Spores & Particulates by Optical Microscopy (Methods MICRO-SOP-201, ASTM D7391)

Lab Sample Number:	342516450-0001			342516450-0002			342516450-0003		
Client Sample ID:	1			2			3		
Volume (L):	75			75			75		
Sample Location:	Exterior			Floor 2 Left Front Office Hall			Floor 2 Left Rear Office Hall		
Spore Types	**Raw Count†**	**Count/m³**	**% of Total**	**Raw Count†**	**Count/m³**	**% of Total**	**Raw Count†**	**Count/m³**	**% of Total**
Alternaria (Ulocladium)	-	-	-	-	-	-	-	-	-
Ascospores	13	550	9.2	12	510	4.4	13	550	14.1
Aspergillus/Penicillium++	2	80	1.3	102(189)	7980	69.1	45	1900	48.7
Basidiospores	116(126)	5320	88.8	18	760	6.6	18	760	19.5
Bipolaris++	-	-	-	-	-	-	1	40	1
Chaetomium++	-	-	-	-	-	-	-	-	-
Cladosporium	-	-	-	27	1100	9.5	4	200	5.1
Curvularia	-	-	-	8	300	2.6	1	40	1
Epicoccum	-	-	-	-	-	-	-	-	-
Ganoderma	-	-	-	3	100	0.9	1	10*	0.3
Myxomycetes++	1	40	0.7	6	300	2.6	8	300	7.7
Pithomyces++	-	-	-	2	80	0.7	1	10*	0.3
Rust	-	-	-	-	-	-	-	-	-
Stachybotrys/Memnoniella	-	-	-	-	-	-	-	-	-
Blakeslea/Choanephora	-	-	-	-	-	-	1	40	1
Cephaliophora	-	-	-	1	40	0.3	-	-	-
Cercospora++	-	-	-	-	-	-	-	-	-
Nigrospora	-	-	-	-	-	-	1	40	1
Paecilomyces++	-	-	-	7	300	2.6	-	-	-
Pestalotia++	-	-	-	2	80	0.7	-	-	-
Polythrincium	-	-	-	-	-	-	1	10*	0.3
Torula++	-	-	-	-	-	-	-	-	-
Total Fungi	**142**	**5990**	**100**	**275**	**11550**	**100**	**95**	**3900**	**100**
Hyphal Fragment	-	-	-	7	300	-	5	200	-
Insect Fragment	-	-	-	1	40	-	2	80	-
Pollen	1	40	-	3	100	-	1	40	-

++ Includes other spores with similar morphology; see EMSL's fungal glossary for each specific category.
† Due to method stopping rules, extrapolated raw counts are reported in parenthesis.

Yessica Martinez Seeman, Florida Microbiology Regional Manager

No discernable field blank was submitted with this group of samples.

Samples analyzed by EMSL Analytical, Inc. Orlando, FL AIHA LAP, LLC-EMLAP Accredited #163563

Initial report from: 08/11/2025 11:50 AM

For information on the fungi listed in this report, please visit the Resources section at www.emsl.com

EMSL Analytical, Inc.

3303 PARKWAY CENTER COURT Orlando, FL 32808
Tel/Fax: (407) 599-5887 / (407) 599-9063
http://www.EMSL.com / orlandolab@emsl.com

EMSL Order:	342516450
Customer ID:	RTKE34
Customer PO:	41340
Project ID:	

Attention: Meegan Taddonio
RTK Environmental Group
29 Bank Street
Stamford, CT 06901

Phone: (203) 921-4144
Fax:
Collected Date: 07/15/2025
Received Date: 08/08/2025
Analyzed Date: 08/11/2025

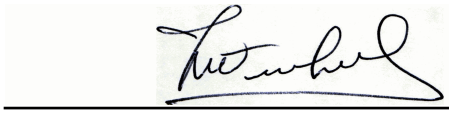
Project: 2302 Catherine Street, Cortlandt NY 10567

Test Report: Allergenco-D(™) Analysis of Fungal Spores & Particulates by Optical Microscopy (Methods MICRO-SOP-201, ASTM D7391)

Lab Sample Number:	342516450-0001			342516450-0002			342516450-0003		
Client Sample ID:	1			2			3		
Volume (L):	75			75			75		
Sample Location:	Exterior			Floor 2 Left Front Office Hall			Floor 2 Left Rear Office Hall		
Analyt. Sensitivity 600x	-	42	-	-	42	-	-	42	-
Analyt. Sensitivity 300x	-	13*	-	-	13*	-	-	13*	-
Skin Fragments (1-4)	-	1	-	-	1	-	-	1	-
Fibrous Particulate (1-4)	-	1	-	-	1	-	-	1	-
Background (1-5)	-	2	-	-	4	-	-	4	-

++ Includes other spores with similar morphology; see EMSL's fungal glossary for each specific category.
† Due to method stopping rules, extrapolated raw counts are reported in parenthesis.

No discernable field blank was submitted with this group of samples.



Yessica Martinez Seeman, Florida Microbiology Regional Manager

Initial report from: 08/11/2025 11:50 AM

For information on the fungi listed in this report, please visit the Resources section at www.emsl.com

EMSL Analytical, Inc.

3303 PARKWAY CENTER COURT Orlando, FL 32808
Tel/Fax: (407) 599-5887 / (407) 599-9063
http://www.EMSL.com / orlandolab@emsl.com

EMSL Order: 342516450
Customer ID: RTKE34
Customer PO: 41340
Project ID:

Attention: Meegan Taddonio
RTK Environmental Group
29 Bank Street
Stamford, CT 06901

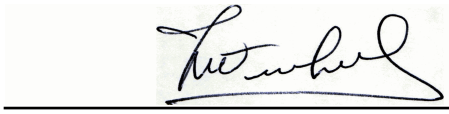
Phone: (203) 921-4144
Fax:
Collected Date: 07/15/2025
Received Date: 08/08/2025
Analyzed Date: 08/11/2025

Project: 2302 Catherine Street, Cortlandt NY 10567

Test Report: Allergenco-D(™) Analysis of Fungal Spores & Particulates by Optical Microscopy (Methods MICRO-SOP-201, ASTM D7391)

Lab Sample Number:	342516450-0004			342516450-0005			342516450-0006		
Client Sample ID:	4			5			6		
Volume (L):	75			75			75		
Sample Location:	Floor 2 Left Hall			Floor 2 Center Hall			Floor 2 Front Room 119		
Spore Types	**Raw Count†**	**Count/m³**	**% of Total**	**Raw Count†**	**Count/m³**	**% of Total**	**Raw Count†**	**Count/m³**	**% of Total**
Alternaria (Ulocladium)	1	10*	0.6	1	40	1.1	4	200	2.6
Ascospores	7	300	17.6	9	400	11.2	19	800	10.4
Aspergillus/Penicillium++	15	630	37.1	14	590	16.5	63	2700	35
Basidiospores	11	460	27.1	25	1100	30.8	16	680	8.8
Bipolaris++	-	-	-	-	-	-	1	10*	0.1
Chaetomium++	-	-	-	-	-	-	-	-	-
Cladosporium	5	200	11.8	26	1100	30.8	33	1400	18.1
Curvularia	-	-	-	-	-	-	-	-	-
Epicoccum	1	40	2.4	-	-	-	5	200	2.6
Ganoderma	-	-	-	-	-	-	-	-	-
Myxomycetes++	1	10*	0.6	6	300	8.4	23	970	12.6
Pithomyces++	1	40	2.4	1	40	1.1	16	680	8.8
Rust	1	10*	0.6	-	-	-	-	-	-
Stachybotrys/Memnoniella	-	-	-	-	-	-	-	-	-
Blakeslea/Choanephora	-	-	-	-	-	-	-	-	-
Cephaliophora	-	-	-	-	-	-	-	-	-
Cercospora++	-	-	-	-	-	-	1	40	0.5
Nigrospora	-	-	-	-	-	-	1	40	0.5
Paecilomyces++	-	-	-	-	-	-	-	-	-
Pestalotia++	-	-	-	-	-	-	-	-	-
Polythrincium	-	-	-	-	-	-	-	-	-
Torula++	-	-	-	-	-	-	-	-	-
Total Fungi	**43**	**1700**	**100**	**82**	**3570**	**100**	**182**	**7720**	**100**
Hyphal Fragment	2	80	-	4	200	-	7	300	-
Insect Fragment	-	-	-	-	-	-	-	-	-
Pollen	1	40	-	1	40	-	38	1600	-

++ Includes other spores with similar morphology; see EMSL's fungal glossary for each specific category.
† Due to method stopping rules, extrapolated raw counts are reported in parenthesis.



Yessica Martinez Seeman, Florida Microbiology Regional Manager

No discernable field blank was submitted with this group of samples.

Samples analyzed by EMSL Analytical, Inc. Orlando, FL AIHA LAP, LLC-EMLAP Accredited #163563

Initial report from: 08/11/2025 11:50 AM

For information on the fungi listed in this report, please visit the Resources section at www.emsl.com

EMSL Analytical, Inc.

3303 PARKWAY CENTER COURT Orlando, FL 32808
Tel/Fax: (407) 599-5887 / (407) 599-9063
http://www.EMSL.com / orlandolab@emsl.com

EMSL Order: 342516450
Customer ID: RTKE34
Customer PO: 41340
Project ID:

Attention: Meegan Taddonio
RTK Environmental Group
29 Bank Street
Stamford, CT 06901

Phone: (203) 921-4144
Fax:
Collected Date: 07/15/2025
Received Date: 08/08/2025
Analyzed Date: 08/11/2025

Project: 2302 Catherine Street, Cortlandt NY 10567

Test Report: Allergenco-D(™) Analysis of Fungal Spores & Particulates by Optical Microscopy (Methods MICRO-SOP-201, ASTM D7391)

Lab Sample Number:	342516450-0004			342516450-0005			342516450-0006		
Client Sample ID:	4			5			6		
Volume (L):	75			75			75		
Sample Location:	Floor 2 Left Hall			Floor 2 Center Hall			Floor 2 Front Room 119		
Analyt. Sensitivity 600x	-	42	-	-	42	-	-	42	-
Analyt. Sensitivity 300x	-	13*	-	-	13*	-	-	13*	-
Skin Fragments (1-4)	-	1	-	-	1	-	-	1	-
Fibrous Particulate (1-4)	-	1	-	-	2	-	-	2	-
Background (1-5)	-	4	-	-	4	-	-	4	-

++ Includes other spores with similar morphology; see EMSL's fungal glossary for each specific category.
† Due to method stopping rules, extrapolated raw counts are reported in parenthesis.

No discernable field blank was submitted with this group of samples.

Yessica Martinez Seeman, Florida Microbiology Regional Manager

Samples analyzed by EMSL Analytical, Inc. Orlando, FL AIHA LAP, LLC-EMLAP Accredited #163563

Initial report from: 08/11/2025 11:50 AM

For information on the fungi listed in this report, please visit the Resources section at www.emsl.com

EMSL Analytical, Inc.

3303 PARKWAY CENTER COURT Orlando, FL 32808
Tel/Fax: (407) 599-5887 / (407) 599-9063
http://www.EMSL.com / orlandolab@emsl.com

EMSL Order: 342516450
Customer ID: RTKE34
Customer PO: 41340
Project ID:

Attention: Meegan Taddonio
RTK Environmental Group
29 Bank Street
Stamford, CT 06901

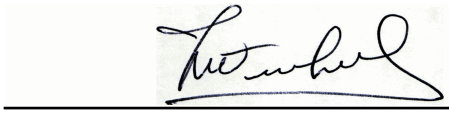
Phone: (203) 921-4144
Fax:
Collected Date: 07/15/2025
Received Date: 08/08/2025
Analyzed Date: 08/11/2025

Project: 2302 Catherine Street, Cortlandt NY 10567

Test Report: Allergenco-D(™) Analysis of Fungal Spores & Particulates by Optical Microscopy (Methods MICRO-SOP-201, ASTM D7391)

Lab Sample Number:	342516450-0007			342516450-0008			342516450-0009		
Client Sample ID:	7			8			9		
Volume (L):	75			75			75		
Sample Location:	Floor 2 Right Hall			Floor 2 Right Rear Bathroom			Attic		
Spore Types	**Raw Count†**	**Count/m³**	**% of Total**	**Raw Count†**	**Count/m³**	**% of Total**	**Raw Count†**	**Count/m³**	**% of Total**
Alternaria (Ulocladium)	1	40	1.4	8	300	3.4	-	-	-
Ascospores	18	760	26.5	14	590	6.7	8	300	9.3
Aspergillus/Penicillium++	25	1100	38.3	23	970	11	17	720	22.4
Basidiospores	17	720	25.1	35	1500	17	49	2100	65.2
Bipolaris++	-	-	-	-	-	-	-	-	-
Chaetomium++	-	-	-	1	40	0.5	-	-	-
Cladosporium	1	40	1.4	61	2600	29.5	3	100	3.1
Curvularia	-	-	-	1	40	0.5	-	-	-
Epicoccum	-	-	-	1	40	0.5	-	-	-
Ganoderma	-	-	-	-	-	-	-	-	-
Myxomycetes++	5	200	7	49	2100	23.8	-	-	-
Pithomyces++	-	-	-	8	300	3.4	-	-	-
Rust	-	-	-	-	-	-	-	-	-
Stachybotrys/Memnoniella	-	-	-	-	-	-	-	-	-
Blakeslea/Choanephora	-	-	-	-	-	-	-	-	-
Cephaliophora	-	-	-	-	-	-	-	-	-
Cercospora++	1	10*	0.3	-	-	-	-	-	-
Nigrospora	-	-	-	1	40	0.5	-	-	-
Paecilomyces++	-	-	-	8	300	3.4	-	-	-
Pestalotia++	-	-	-	-	-	-	-	-	-
Polythrincium	-	-	-	-	-	-	-	-	-
Torula++	-	-	-	-	-	-	-	-	-
Total Fungi	**68**	**2870**	**100**	**210**	**8820**	**100**	**77**	**3220**	**100**
Hyphal Fragment	2	80	-	10	420	-	-	-	-
Insect Fragment	1	40	-	-	-	-	-	-	-
Pollen	2	30*	-	27	1100	-	-	-	-

++ Includes other spores with similar morphology; see EMSL's fungal glossary for each specific category.
† Due to method stopping rules, extrapolated raw counts are reported in parenthesis.



Yessica Martinez Seeman, Florida Microbiology Regional Manager

No discernable field blank was submitted with this group of samples.

Samples analyzed by EMSL Analytical, Inc. Orlando, FL AIHA LAP, LLC-EMLAP Accredited #163563

Initial report from: 08/11/2025 11:50 AM

For information on the fungi listed in this report, please visit the Resources section at www.emsl.com

EMSL Analytical, Inc.

3303 PARKWAY CENTER COURT Orlando, FL 32808
Tel/Fax: (407) 599-5887 / (407) 599-9063
http://www.EMSL.com / orlandolab@emsl.com

EMSL Order:	342516450
Customer ID:	RTKE34
Customer PO:	41340
Project ID:	

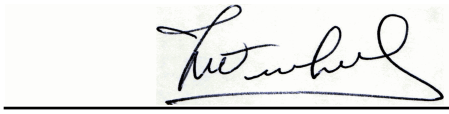
Attention:	Meegan Taddonio RTK Environmental Group 29 Bank Street Stamford, CT 06901	**Phone:** **Fax:** **Collected Date:** **Received Date:** **Analyzed Date:**	(203) 921-4144 07/15/2025 08/08/2025 08/11/2025
Project:	2302 Catherine Street, Cortlandt NY 10567		

Test Report: Allergenco-D(™) Analysis of Fungal Spores & Particulates by Optical Microscopy (Methods MICRO-SOP-201, ASTM D7391)

Lab Sample Number:	**342516450-0007**			**342516450-0008**			**342516450-0009**		
Client Sample ID:	**7**			**8**			**9**		
Volume (L):	**75**			**75**			**75**		
Sample Location:	**Floor 2 Right Hall**			**Floor 2 Right Rear Bathroom**			**Attic**		
Analyt. Sensitivity 600x	-	42	-	-	42	-	-	42	-
Analyt. Sensitivity 300x	-	13*	-	-	13*	-	-	13*	-
Skin Fragments (1-4)	-	1	-	-	1	-	-	1	-
Fibrous Particulate (1-4)	-	1	-	-	1	-	-	1	-
Background (1-5)	-	3	-	-	4	-	-	2	-

++ Includes other spores with similar morphology; see EMSL's fungal glossary for each specific category.
† Due to method stopping rules, extrapolated raw counts are reported in parenthesis.

No discernable field blank was submitted with this group of samples.



Yessica Martinez Seeman, Florida Microbiology Regional Manager

Initial report from: 08/11/2025 11:50 AM

For information on the fungi listed in this report, please visit the Resources section at www.emsl.com

EMSL Analytical, Inc.

3303 PARKWAY CENTER COURT Orlando, FL 32808
Tel/Fax: (407) 599-5887 / (407) 599-9063
http://www.EMSL.com / orlandolab@emsl.com

EMSL Order:	342516450
Customer ID:	RTKE34
Customer PO:	41340
Project ID:	

Attention: Meegan Taddonio
RTK Environmental Group
29 Bank Street
Stamford, CT 06901

Phone: (203) 921-4144
Fax:
Collected Date: 07/15/2025
Received Date: 08/08/2025
Analyzed Date: 08/11/2025

Project: 2302 Catherine Street, Cortlandt NY 10567

Test Report: Allergenco-D(™) Analysis of Fungal Spores & Particulates by Optical Microscopy (Methods MICRO-SOP-201, ASTM D7391)

Lab Sample Number:	**342516450-0010**			**342516450-0011**			**342516450-0012**		
Client Sample ID:	**10**			**11**			**12**		
Volume (L):	**75**			**75**			**75**		
Sample Location:	**Center Stair Plan Room**			**Floor 1 Far Left Hall**			**Floor 1 Main Hall**		
Spore Types	**Raw Count†**	**Count/m³**	**% of Total**	**Raw Count†**	**Count/m³**	**% of Total**	**Raw Count†**	**Count/m³**	**% of Total**
Alternaria (Ulocladium)	1	40	1	-	-	-	-	-	-
Ascospores	19	800	20.7	8	300	7.4	9	400	15.8
Aspergillus/Penicillium++	9	400	10.4	13	550	13.6	13	550	21.7
Basidiospores	59	2500	64.8	71	3000	74.1	35	1500	59.3
Bipolaris++	-	-	-	-	-	-	-	-	-
Chaetomium++	-	-	-	-	-	-	-	-	-
Cladosporium	2	80	2.1	5	200	4.9	-	-	-
Curvularia	-	-	-	-	-	-	-	-	-
Epicoccum	-	-	-	-	-	-	-	-	-
Ganoderma	-	-	-	-	-	-	-	-	-
Myxomycetes++	1	40	1	-	-	-	2	80	3.2
Pithomyces++	-	-	-	-	-	-	-	-	-
Rust	-	-	-	-	-	-	-	-	-
Stachybotrys/Memnoniella	-	-	-	-	-	-	-	-	-
Blakeslea/Choanephora	-	-	-	-	-	-	-	-	-
Cephaliophora	-	-	-	-	-	-	-	-	-
Cercospora++	-	-	-	-	-	-	-	-	-
Nigrospora	-	-	-	-	-	-	-	-	-
Paecilomyces++	-	-	-	-	-	-	-	-	-
Pestalotia++	-	-	-	-	-	-	-	-	-
Polythrincium	-	-	-	-	-	-	-	-	-
Torula++	-	-	-	-	-	-	-	-	-
Total Fungi	**91**	**3860**	**100**	**97**	**4050**	**100**	**59**	**2530**	**100**
Hyphal Fragment	2	80	-	-	-	-	3	100	-
Insect Fragment	-	-	-	-	-	-	-	-	-
Pollen	1	10*	-	1	40	-	-	-	-

++ Includes other spores with similar morphology; see EMSL's fungal glossary for each specific category.
† Due to method stopping rules, extrapolated raw counts are reported in parenthesis.

Yessica Martinez Seeman, Florida Microbiology Regional Manager

No discernable field blank was submitted with this group of samples.

Samples analyzed by EMSL Analytical, Inc. Orlando, FL AIHA LAP, LLC-EMLAP Accredited #163563

Initial report from: 08/11/2025 11:50 AM

For information on the fungi listed in this report, please visit the Resources section at www.emsl.com

EMSL Analytical, Inc.

3303 PARKWAY CENTER COURT Orlando, FL 32808
Tel/Fax: (407) 599-5887 / (407) 599-9063
http://www.EMSL.com / orlandolab@emsl.com

EMSL Order:	342516450
Customer ID:	RTKE34
Customer PO:	41340
Project ID:	

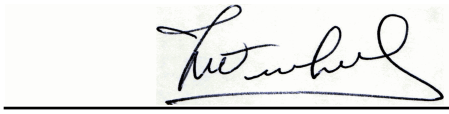
Attention:	Meegan Taddonio RTK Environmental Group 29 Bank Street Stamford, CT 06901	**Phone:** **Fax:** **Collected Date:** **Received Date:** **Analyzed Date:**	(203) 921-4144 07/15/2025 08/08/2025 08/11/2025
Project:	2302 Catherine Street, Cortlandt NY 10567		

Test Report: Allergenco-D(™) Analysis of Fungal Spores & Particulates by Optical Microscopy (Methods MICRO-SOP-201, ASTM D7391)

Lab Sample Number:	**342516450-0010**			**342516450-0011**			**342516450-0012**		
Client Sample ID:	**10**			**11**			**12**		
Volume (L):	**75**			**75**			**75**		
Sample Location:	**Center Stair Plan Room**			**Floor 1 Far Left Hall**			**Floor 1 Main Hall**		
Analyt. Sensitivity 600x	-	42	-	-	42	-	-	42	-
Analyt. Sensitivity 300x	-	13*	-	-	13*	-	-	13*	-
Skin Fragments (1-4)	-	1	-	-	1	-	-	1	-
Fibrous Particulate (1-4)	-	1	-	-	1	-	-	1	-
Background (1-5)	-	4	-	-	2	-	-	3	-

++ Includes other spores with similar morphology; see EMSL's fungal glossary for each specific category.
† Due to method stopping rules, extrapolated raw counts are reported in parenthesis.

No discernable field blank was submitted with this group of samples.



Yessica Martinez Seeman, Florida Microbiology Regional Manager

Initial report from: 08/11/2025 11:50 AM

For information on the fungi listed in this report, please visit the Resources section at www.emsl.com

EMSL Analytical, Inc.

3303 PARKWAY CENTER COURT Orlando, FL 32808
Tel/Fax: (407) 599-5887 / (407) 599-9063
http://www.EMSL.com / orlandolab@emsl.com

EMSL Order: 342516450
Customer ID: RTKE34
Customer PO: 41340
Project ID:

Attention: Meegan Taddonio
RTK Environmental Group
29 Bank Street
Stamford, CT 06901

Phone: (203) 921-4144
Fax:
Collected Date: 07/15/2025
Received Date: 08/08/2025
Analyzed Date: 08/11/2025

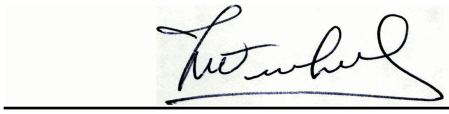
Project: 2302 Catherine Street, Cortlandt NY 10567

Test Report: Allergenco-D(™) Analysis of Fungal Spores & Particulates by Optical Microscopy (Methods MICRO-SOP-201, ASTM D7391)

Lab Sample Number:	342516450-0013			342516450-0014			342516450-0015		
Client Sample ID:	13			14			15		
Volume (L):	75			75			75		
Sample Location:	Floor 1 Entry Foyer			Floor 1 Right Chapel			Basement Left		
Spore Types	**Raw Count†**	**Count/m³**	**% of Total**	**Raw Count†**	**Count/m³**	**% of Total**	**Raw Count†**	**Count/m³**	**% of Total**
Alternaria (Ulocladium)	-	-	-	-	-	-	-	-	-
Ascospores	6	300	9	10	420	11.2	2	80	2.2
Aspergillus/Penicillium++	11	460	13.9	19	800	21.4	73	3100	83.8
Basidiospores	58	2400	72.3	49	2100	56.1	3	100	2.7
Bipolaris++	-	-	-	-	-	-	-	-	-
Chaetomium++	-	-	-	-	-	-	-	-	-
Cladosporium	-	-	-	8	300	8	10	420	11.4
Curvularia	-	-	-	-	-	-	-	-	-
Epicoccum	-	-	-	1	40	1.1	-	-	-
Ganoderma	-	-	-	-	-	-	-	-	-
Myxomycetes++	1	40	1.2	2	80	2.1	-	-	-
Pithomyces++	1	40	1.2	-	-	-	-	-	-
Rust	-	-	-	-	-	-	-	-	-
Stachybotrys/Memnoniella	-	-	-	-	-	-	-	-	-
Blakeslea/Choanephora	-	-	-	-	-	-	-	-	-
Cephaliophora	-	-	-	-	-	-	-	-	-
Cercospora++	-	-	-	-	-	-	-	-	-
Nigrospora	-	-	-	-	-	-	-	-	-
Paecilomyces++	-	-	-	-	-	-	-	-	-
Pestalotia++	-	-	-	-	-	-	-	-	-
Polythrincium	-	-	-	-	-	-	-	-	-
Torula++	2	80	2.4	-	-	-	-	-	-
Total Fungi	**79**	**3320**	**100**	**89**	**3740**	**100**	**88**	**3700**	**100**
Hyphal Fragment	2	80	-	2	80	-	1	40	-
Insect Fragment	-	-	-	-	-	-	-	-	-
Pollen	1	40	-	-	-	-	1	40	-

++ Includes other spores with similar morphology; see EMSL's fungal glossary for each specific category.
† Due to method stopping rules, extrapolated raw counts are reported in parenthesis.

No discernable field blank was submitted with this group of samples.



Yessica Martinez Seeman, Florida Microbiology Regional Manager

Samples analyzed by EMSL Analytical, Inc. Orlando, FL AIHA LAP, LLC-EMLAP Accredited #163563

Initial report from: 08/11/2025 11:50 AM

For information on the fungi listed in this report, please visit the Resources section at www.emsl.com

EMSL Analytical, Inc.

3303 PARKWAY CENTER COURT Orlando, FL 32808
Tel/Fax: (407) 599-5887 / (407) 599-9063
http://www.EMSL.com / orlandolab@emsl.com

EMSL Order: 342516450
Customer ID: RTKE34
Customer PO: 41340
Project ID:

Attention: Meegan Taddonio
RTK Environmental Group
29 Bank Street
Stamford, CT 06901

Phone: (203) 921-4144
Fax:
Collected Date: 07/15/2025
Received Date: 08/08/2025
Analyzed Date: 08/11/2025

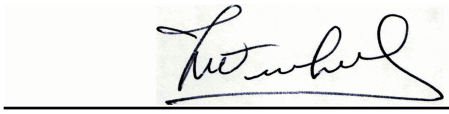
Project: 2302 Catherine Street, Cortlandt NY 10567

Test Report: Allergenco-D(™) Analysis of Fungal Spores & Particulates by Optical Microscopy (Methods MICRO-SOP-201, ASTM D7391)

Lab Sample Number:	342516450-0013			342516450-0014			342516450-0015		
Client Sample ID:	13			14			15		
Volume (L):	75			75			75		
Sample Location:	Floor 1 Entry Foyer			Floor 1 Right Chapel			Basement Left		
Analyt. Sensitivity 600x	-	42	-	-	42	-	-	42	-
Analyt. Sensitivity 300x	-	13*	-	-	13*	-	-	13*	-
Skin Fragments (1-4)	-	3	-	-	1	-	-	2	-
Fibrous Particulate (1-4)	-	1	-	-	1	-	-	1	-
Background (1-5)	-	2	-	-	4	-	-	2	-

++ Includes other spores with similar morphology; see EMSL's fungal glossary for each specific category.
† Due to method stopping rules, extrapolated raw counts are reported in parenthesis.

No discernable field blank was submitted with this group of samples.



Yessica Martinez Seeman, Florida Microbiology Regional Manager

Samples analyzed by EMSL Analytical, Inc. Orlando, FL AIHA LAP, LLC-EMLAP Accredited #163563

Initial report from: 08/11/2025 11:50 AM

For information on the fungi listed in this report, please visit the Resources section at www.emsl.com

EMSL Analytical, Inc.

3303 PARKWAY CENTER COURT Orlando, FL 32808
Tel/Fax: (407) 599-5887 / (407) 599-9063
http://www.EMSL.com / orlandolab@emsl.com

EMSL Order:	342516450
Customer ID:	RTKE34
Customer PO:	41340
Project ID:	

Attention: Meegan Taddonio
RTK Environmental Group
29 Bank Street
Stamford, CT 06901

Phone: (203) 921-4144
Fax:
Collected Date: 07/15/2025
Received Date: 08/08/2025
Analyzed Date: 08/11/2025

Project: 2302 Catherine Street, Cortlandt NY 10567

Test Report: Allergenco-D(™) Analysis of Fungal Spores & Particulates by Optical Microscopy (Methods MICRO-SOP-201, ASTM D7391)

Lab Sample Number:	**342516450-0016**			**342516450-0017**		
Client Sample ID:	**16**			**17**		
Volume (L):	**75**			**75**		
Sample Location:	**Basement Center**			**Basement Right**		
Spore Types	**Raw Count†**	**Count/m³**	**% of Total**	**Raw Count†**	**Count/m³**	**% of Total**
Alternaria (Ulocladium)	-	-	-	-	-	-
Ascospores	1	40	1.2	3	100	2.2
Aspergillus/Penicillium++	69	2900	87.3	102	4300	95.1
Basidiospores	1	40	1.2	1	40	0.9
Bipolaris++	-	-	-	-	-	-
Chaetomium++	-	-	-	-	-	-
Cladosporium	7	300	9	1	40	0.9
Curvularia	-	-	-	-	-	-
Epicoccum	-	-	-	-	-	-
Ganoderma	-	-	-	-	-	-
Myxomycetes++	1	40	1.2	1	40	0.9
Pithomyces++	-	-	-	-	-	-
Rust	-	-	-	-	-	-
Stachybotrys/Memnoniella	-	-	-	-	-	-
Blakeslea/Choanephora	-	-	-	-	-	-
Cephaliophora	-	-	-	-	-	-
Cercospora++	-	-	-	-	-	-
Nigrospora	-	-	-	-	-	-
Paecilomyces++	-	-	-	-	-	-
Pestalotia++	-	-	-	-	-	-
Polythrincium	-	-	-	-	-	-
Torula++	-	-	-	-	-	-
Total Fungi	**79**	**3320**	**100**	**108**	**4520**	**100**
Hyphal Fragment	-	-	-	-	-	-
Insect Fragment	-	-	-	-	-	-
Pollen	-	-	-	-	-	-

++ Includes other spores with similar morphology; see EMSL's fungal glossary for each specific category.
† Due to method stopping rules, extrapolated raw counts are reported in parenthesis.

Yessica Martinez Seeman, Florida Microbiology Regional Manager

No discernable field blank was submitted with this group of samples.

Initial report from: 08/11/2025 11:50 AM

For information on the fungi listed in this report, please visit the Resources section at www.emsl.com

EMSL Analytical, Inc.

3303 PARKWAY CENTER COURT Orlando, FL 32808
Tel/Fax: (407) 599-5887 / (407) 599-9063
http://www.EMSL.com / orlandolab@emsl.com

EMSL Order:	342516450
Customer ID:	RTKE34
Customer PO:	41340
Project ID:	

Attention: Meegan Taddonio
RTK Environmental Group
29 Bank Street
Stamford, CT 06901

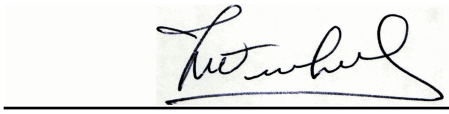
Phone: (203) 921-4144
Fax:
Collected Date: 07/15/2025
Received Date: 08/08/2025
Analyzed Date: 08/11/2025

Project: 2302 Catherine Street, Cortlandt NY 10567

Test Report: Allergenco-D(™) Analysis of Fungal Spores & Particulates by Optical Microscopy (Methods MICRO-SOP-201, ASTM D7391)

Lab Sample Number:	342516450-0016			342516450-0017					
Client Sample ID:	16			17					
Volume (L):	75			75					
Sample Location:	Basement Center			Basement Right					
Analyt. Sensitivity 600x	-	42	-	-	42	-	-	-	-
Analyt. Sensitivity 300x	-	13*	-	-	13*	-	-	-	-
Skin Fragments (1-4)	-	2	-	-	1	-	-	-	-
Fibrous Particulate (1-4)	-	1	-	-	1	-	-	-	-
Background (1-5)	-	2	-	-	3	-	-	-	-

++ Includes other spores with similar morphology; see EMSL's fungal glossary for each specific category.
† Due to method stopping rules, extrapolated raw counts are reported in parenthesis.



Yessica Martinez Seeman, Florida Microbiology Regional Manager

No discernable field blank was submitted with this group of samples.

Initial report from: 08/11/2025 11:50 AM

For information on the fungi listed in this report, please visit the Resources section at www.emsl.com

EMSL Analytical, Inc.

3303 PARKWAY CENTER COURT Orlando, FL 32808
Tel/Fax: (407) 599-5887 / (407) 599-9063
http://www.EMSL.com / orlandolab@emsl.com

EMSL Order: 342516450
Customer ID: RTKE34
Customer PO: 41340
Project ID:

Attention: Meegan Taddonio
RTK Environmental Group
29 Bank Street
Stamford, CT 06901

Phone: (203) 921-4144
Fax:
Collected Date: 07/15/2025
Received Date: 08/08/2025
Analyzed Date: 08/11/2025

Project: 2302 Catherine Street, Cortlandt NY 10567

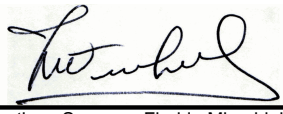
Test Report: Microscopic Examination of Fungal Spores, Fungal Structures, Hyphae, and Other Particulates from Tape Samples (EMSL Method MICRO-SOP-200)

Lab Sample Number:	342516450-0018	342516450-0019	342516450-0020	342516450-0021	342516450-0022
Client Sample ID:	18	19	20	21	22
Sample Location:	Floor 2 Left Office Hall - R	Floor 2 Center Hall Floor	Floor 2 Room 19 Wall	Floor 2 Left Office Hall - F	Floor 2 Right Hall Floor
Spore Types	Category	Category	Category	Category	Category
Alternaria (Ulocladium)	-	-	*High*	Rare	-
Ascospores	Rare	-	-	Low	Rare
Aspergillus/Penicillium++	-	-	-	-	-
Basidiospores	Rare	Rare	-	Low	Rare
Bipolaris++	Rare	-	-	-	-
Chaetomium++	-	-	-	-	-
Cladosporium	-	Rare	*Medium*	Rare	Rare
Curvularia	-	-	-	-	-
Epicoccum	-	-	-	Rare	Rare
Fusarium++	-	-	-	-	-
Ganoderma	-	-	-	-	-
Myxomycetes++	-	-	-	Rare	Rare
Pithomyces++	-	-	-	Rare	-
Rust	-	-	-	-	-
Scopulariopsis/Microascus	-	-	-	-	-
Stachybotrys/Memnoniella	-	-	-	-	-
Unidentifiable Spores	-	-	-	-	-
Zygomycetes	-	-	-	-	-
Aspergillus	*Low*	-	-	-	-
Nigrospora	-	Rare	-	-	-
Penicillium/Talaromyces	-	-	*Medium*	-	-
Pyricularia	-	-	-	-	-
Sporidesmium++	-	-	-	Rare	-
Hyphal Fragment	Rare	-	-	-	Low
Insect Fragment	-	-	-	-	-
Pollen	Rare	-	-	Low	Medium
Fibrous Particulate	-	-	-	-	-

Category: Count/per area analyzed - Rare: 1 to 10 Low: 11 to 100 Medium: 101 to 1000 High: >1000

- Denotes Not Detected.
++ Includes other spores with similar morphology; see EMSL's fungal glossary for each specific category.
* = Sample contains fruiting structures and/or hyphae associated with the spores.

No discernable field blank was submitted with this group of samples.



Yessica Martinez Seeman, Florida Microbiology Regional Manager
or other Approved Signatory

Initial report from: 08/11/2025 11:50 AM

For information on the fungi listed in this report, please visit the Resources section at www.emsl.com

EMSL Analytical, Inc.

3303 PARKWAY CENTER COURT Orlando, FL 32808
Tel/Fax: (407) 599-5887 / (407) 599-9063
http://www.EMSL.com / orlandolab@emsl.com

EMSL Order: 342516450
Customer ID: RTKE34
Customer PO: 41340
Project ID:

Attention: Meegan Taddonio
RTK Environmental Group
29 Bank Street
Stamford, CT 06901

Phone: (203) 921-4144
Fax:
Collected Date: 07/15/2025
Received Date: 08/08/2025
Analyzed Date: 08/11/2025

Project: 2302 Catherine Street, Cortlandt NY 10567

Test Report: Microscopic Examination of Fungal Spores, Fungal Structures, Hyphae, and Other Particulates from Tape Samples (EMSL Method MICRO-SOP-200)

Lab Sample Number:	342516450-0023	342516450-0024	342516450-0025	342516450-0026	342516450-0027
Client Sample ID:	23	24	25	26	27
Sample Location:	Floor 2 Right Rear Bath Wall	Plan Room Floor	Floor 1 Far Left Floor	Floor 1 Left Hall Floor	Chapel Front Wall
Spore Types	Category	Category	Category	Category	Category
Alternaria (Ulocladium)	*High*	-	-	Rare	-
Ascospores	-	-	-	-	-
Aspergillus/Penicillium++	-	-	Rare	Low	Rare
Basidiospores	-	Rare	-	Medium	-
Bipolaris++	-	-	-	-	-
Chaetomium++	-	-	-	-	-
Cladosporium	*High*	-	-	Low	-
Curvularia	-	-	-	-	-
Epicoccum	-	-	-	-	-
Fusarium++	-	-	-	-	-
Ganoderma	-	-	-	-	-
Myxomycetes++	-	-	Rare	Rare	-
Pithomyces++	-	Rare	Rare	-	-
Rust	-	-	-	-	-
Scopulariopsis/Microascus	-	-	-	-	-
Stachybotrys/Memnoniella	-	-	-	Low	-
Unidentifiable Spores	-	-	-	-	-
Zygomycetes	-	-	-	-	-
Aspergillus	*High*	-	-	-	-
Nigrospora	-	-	-	-	-
Penicillium/Talaromyces	-	-	-	-	-
Pyricularia	-	Rare	-	-	-
Sporidesmium++	-	-	-	-	-
Hyphal Fragment	-	Rare	Low	Rare	-
Insect Fragment	-	-	Rare	-	-
Pollen	Low	Rare	Medium	Rare	Rare
Fibrous Particulate	-	-	-	-	-

Category: Count/per area analyzed - Rare: 1 to 10 Low: 11 to 100 Medium: 101 to 1000 High: >1000

- Denotes Not Detected.
++ Includes other spores with similar morphology; see EMSL's fungal glossary for each specific category.
* = Sample contains fruiting structures and/or hyphae associated with the spores.

No discernable field blank was submitted with this group of samples.

Yessica Martinez Seeman, Florida Microbiology Regional Manager
or other Approved Signatory

Initial report from: 08/11/2025 11:50 AM

For information on the fungi listed in this report, please visit the Resources section at www.emsl.com

EMSL Analytical, Inc.

3303 PARKWAY CENTER COURT Orlando, FL 32808
Tel/Fax: (407) 599-5887 / (407) 599-9063
http://www.EMSL.com / orlandolab@emsl.com

EMSL Order: 342516450
Customer ID: RTKE34
Customer PO: 41340
Project ID:

Attention: Meegan Taddonio
RTK Environmental Group
29 Bank Street
Stamford, CT 06901

Phone: (203) 921-4144
Fax:
Collected Date: 07/15/2025
Received Date: 08/08/2025
Analyzed Date: 08/11/2025

Project: 2302 Catherine Street, Cortlandt NY 10567

Test Report: Microscopic Examination of Fungal Spores, Fungal Structures, Hyphae, and Other Particulates from Tape Samples (EMSL Method MICRO-SOP-200)

Lab Sample Number:	342516450-0028	342516450-0029	342516450-0030		
Client Sample ID:	28	29	30		
Sample Location:	Basement Left Floor	Basement Center Floor	Basement Right Floor		
Spore Types	Category	Category	Category		
Alternaria (Ulocladium)	-	-	-		
Ascospores	-	-	-		
Aspergillus/Penicillium++	Medium	-	Low		
Basidiospores	Rare	-	-		
Bipolaris++	-	-	-		
Chaetomium++	Rare	-	-		
Cladosporium	*Medium*	Rare	-		
Curvularia	-	-	-		
Epicoccum	-	-	-		
Fusarium++	-	-	-		
Ganoderma	-	-	-		
Myxomycetes++	-	-	-		
Pithomyces++	-	Rare	-		
Rust	-	-	-		
Scopulariopsis/Microascus	-	-	-		
Stachybotrys/Memnoniella	-	-	-		
Unidentifiable Spores	-	-	-		
Zygomycetes	-	-	-		
Aspergillus	-	-	-		
Nigrospora	-	-	-		
Penicillium/Talaromyces	-	-	-		
Pyricularia	-	-	-		
Sporidesmium++	-	-	-		
Hyphal Fragment	Rare	Rare	Rare		
Insect Fragment	-	-	-		
Pollen	Rare	Rare	-		
Fibrous Particulate	-	-	-		

Category: Count/per area analyzed - Rare: 1 to 10 Low: 11 to 100 Medium: 101 to 1000 High: >1000

- Denotes Not Detected.
++ Includes other spores with similar morphology; see EMSL's fungal glossary for each specific category.
* = Sample contains fruiting structures and/or hyphae associated with the spores.

No discernable field blank was submitted with this group of samples.

Yessica Martinez Seeman, Florida Microbiology Regional Manager
or other Approved Signatory

Initial report from: 08/11/2025 11:50 AM

For information on the fungi listed in this report, please visit the Resources section at www.emsl.com

OrderID: 342516450

EMSL ANALYTICAL, INC.
TESTING LABS • PRODUCTS • TRAINING

Microbiology Chain of Custody Form

EMSL Order Number / Lab Use Only

#342516450

EMSL Analytical, Inc.
200 Route 130 North
Cinnaminson, NJ 08077

PHONE: (800) 220-3675
EMAIL: CinnMicroLab@emsl.com

If Bill-To is the same as Report-To leave this section blank. Third-party billing requires written authorization.

Customer Information

Customer ID:	RTKE34
Company Name:	RTK Environmental Group
Contact Name:	Meegan Taddonio
Street Address:	29 Bank Street
City, State, Zip:	Stamford, CT 06901
Country:	USA
Phone:	800-392-6468
Email(s) for Report:	TT@rtkenvironmental.com

Billing Information

Billing ID:	
Company Name:	–
Billing Contact:	
Street Address:	
City, State, Zip:	
Country:	
Phone:	203-940-3018
Email(s) for Invoice:	cn@rtkenvironmental.com

Project Information

Project Name/No.: 2302 CATHERINE STREET, CORTLANDT

Purchase Order: 41340

EMSL LIMS Project ID: (If applicable, EMSL will provide)

State Samples Collected: NY

Zip Code Samples Collected:: 10567

State of Connecticut (CT) must select project location: ☐ Commercial (Taxable) ☐ Residential (Non-taxable)

Sampled By Name: Thomas Taylor

Sampled By Signature:

No. of Samples in Shipment: 30

Sterile, Sodium Thiosulfate Preserved Bottle Used: ☐ Biocide Used in Source (specify)

Public Water Supply Samples: ☐ Note: All results may automatically be reported to DOH if required by State.

Turn-Around-Time (TAT) Please call ahead for large projects and/or turnaround times 6 Hours or Less. *32 Hour TAT available for select tests only; samples must be submitted by 11:30am.

☐ 3 Hour ☑ 6 Hour ☐ 24 Hour ☐ 32* Hour ☐ 48 Hour ☐ 72 Hour ☐ 96 Hour ☐ 1 Week ☐ 2 Week

MICROBIOLOGY TEST CODES

M001 Air-O-Cell	M174 MoldSnap	M012 *Pseudomonas aeruginosa* (P/A***)	M115 Sewage Screen - Water (P/A***)
M030 MICRO 5	M032 Allergenco-D	M024 *Pseudomonas aeruginosa* (MFT*)	M116 Sewage Screen - Water (MPN**)
M041 Fungal Direct Examination		M015 Heterotrophic Plate Count	M117 Sewage Screen - Swab (P/A***)
M169 Pollen ID & Enumeration		M017 Total Coliform & *E. Coli* (Colilert P/A***)	M013 Sewage Screen - Swab (MFT*)
M280 Dust Characterization Level-1		M018 Total Coliform & *E. Coli* (MFT*)	M730 *Methicillin-resistant Staph. aureus* (MRSA)
M281 Dust Characterization Level-2		M114 Total Coliform & *E. Coli Enumeration (Colilert MPN**)*	M031 Rapid-growing non-TB *Mycobacteria* Detection & Enumeration
M005 Viable Fungi-Air Samples (Genus ID & Count)		M019 Fecal Coliform (MFT*)	
M006 Viable Fungi-Air Samples (Includes *Penicillium, Aspergillus, Cladosporium, Stachybotrys* Species ID & Count)		M020 Fecal *Streptococcus* (MFT*)	M014 Endotoxin Analysis
M007 Culturable Fungi-Surface Samples (Genus ID & Count)		M029 *Enterococci* (MFT*)	M044 Group Allergen (Cat, Dog, Cockroach, Dust Mite)
M008 Culturable Fungi-Surface Samples (Includes *Penicillium, Aspergillus, Cladosporium, Stachybotrys* Species ID & Count)		M129 *Enterococci* (Enterolert P/A***)	M095 Bacteroides
		M100 Real Time qPCR-ERMI 36 Panel	Other: See Analytical Price Guide for Test Code
M009 Bacteria Culture Gram Stain & Count		M025 Sewage Screen - Water (MFT*)	*Legionella Analysis* Please use EMSL *Legionella* COC
M010 Bacteria Count & ID - 3 Most Prominent		*MFT= Membrane Filtration Technique	
M011 Bacteria Count & ID - 5 Most Prominent		**MPN = Most Probable Number	
		***P/A = Presence/Absence	

Sample #	Sample Location/Description	Sample Type (Matrix)	Potable / Non-Potable (Only for Water)	Test Code	Volume/Area	Date / Time Collected	Temperature (Lab Use Only)
Example: Sample 1	Kitchen	Water	Potable	M017	1,000 ml	1/1/2021 3:30pm	
1	EXTERIOR	AIR		MO32	75 L	7-15-25 10:00am	
2	Floor 2 left Front office HALL						
3	Floor 2 left Rear office HALL						
4	floor 2 left HALL						
5	floor 2 center HALL						
6	Floor 2 Front Room 119						

Special Instructions and/or Regulatory Requirements (Sample Specifications, Processing Methods, Limits of Detection, etc.)

Method of Shipment:		Sample Condition Upon Receipt:	Received on Ice? Check if Yes: ☐
Relinquished by: TOM TAYLOR	Date/Time:	Received by:	Date/Time: JUL 16 2025
Relinquished by:	Date/Time:	Received by:	Date/Time

Controlled Document - COC-34 Micro R14 11/07/2023

☐ AGREE TO ELECTRONIC SIGNATURE (By checking, I consent to signing this Chain of Custody document by electronic signature.)

EMSL Analytical, Inc.'s Laboratory Terms and Conditions are incorporated herein by this reference in their entirety. Submission of samples to EMSL Analytical, Inc. constitutes acceptance and acknowledgment of all terms and conditions by Customer.

OrderID: 342516450

EMSL ANALYTICAL, INC.
TESTING LABS • PRODUCTS • TRAINING

Microbiology Chain of Custody Form

EMSL Order Number / Lab Use Only:
#342516450

EMSL Analytical, Inc.
200 Route 130 North
Cinnaminson, NJ 08077

PHONE: (800) 220-3675
EMAIL: CinnMicroLab@emsl.com

Additional Pages of the Chain of Custody are only necessary if needed for additional sample information

Special Instructions and/or Regulatory Requirements (Sample Specifications, Processing Methods, Limits of Detection, etc.)

Sample #	Sample Location/Description	Sample Type (Matrix)	Potable / Non-Potable (Only for Water)	Test Code	Volume/Area	Date / Time Collected	Temperature (Lab Use Only)
7	Floor 2 Right Hall						
8	Floor 2 Right Rear Bathroom						
9	Attic						
10	Center Stair Play Room						
11	Floor 1 Far left Hall						
12	Floor 1 Main Hall						
13	Floor 1 Entry foyer						
14	Floor 1 Right chapel						
15	Basement left						
16	Basement center						
17	Basement Right						
18	Floor 2 left office Hall-R Time			IMOLI	—		
19	Floor 2 center Hall floor				—		
20	Floor 2 Room [redacted] 19 wall				—		
21	Floor 2 left office Hall-F				—		
22	Floor 2 Right Hall floor				—		
23	Floor 2 Right Rear Bath wall				—		
24	Play Room floor				—		
25	Floor 1 Far left floor				—		
26	Floor 1 left Hall floor				—		
27	Chapel front wall				—		
28	Basement left floor				—		
29	Basement center floor				—		
30	Basement Right floor				—		

Method of Shipment:		Sample Condition Upon Receipt:		Received on Ice? Check if Yes	☐
Relinquished by:	Date/Time:	Received by: 09117	Date/Time: JUL 16 2025		
Relinquished by:	Date/Time:	Received by:	Date/Time:		

Controlled Document - COC-34 Micro R14 11/07/2023

☐ AGREE TO ELECTRONIC SIGNATURE (By checking, I consent to signing this Chain of Custody document by electronic signature.)

EMSL Analytical, Inc.'s Laboratory Terms and Conditions are incorporated into this Chain of Custody by reference in their entirety. Submission of samples to EMSL Analytical, Inc. constitutes acceptance of all terms and conditions by Customer.

OrderID: 342516450

EMSL ANALYTICAL, INC.
TESTING LABS • PRODUCTS • TRAINING

Microbiology Chain of Custody Form

EMSL Order Number / Lab Use Only

#342516450

EMSL Analytical, Inc.
200 Route 130 North
Cinnaminson, NJ 08077

PHONE: (800) 220-3675
EMAIL: CinnMicroLab@emsl.com

Additional Pages of the Chain of Custody are only necessary if needed for additional sample information

Special Instructions and/or Regulatory Requirements (Sample Specifications, Processing Methods, Limits of Detection, etc.)

Sample #	Sample Location/Description	Sample Type (Matrix)	Potable / Non-Potable (Only for Water)	Test Code	Volume/Area	Date / Time Collected	Temperature (Lab Use Only)

Method of Shipment:		Sample Condition Upon Receipt:	Received on Ice? Check if Yes. ☐
Relinquished by:	Date/Time:	Received by: 1 0917	Date/Time: JUL 16 2025
Relinquished by.	Date/Time:	Received by.	Date/Time

Controlled Document - COC-34 Micro R14 11/07/2023

☐ AGREE TO ELECTRONIC SIGNATURE (By checking, I consent to signing this Chain of Custody document by electronic signature.)

EMSL Analytical, Inc.'s Laboratory Terms and Conditions are in[corporated into] this Chain of Custody by reference in their entirety. Submission of samples to EMSL Analytical, Inc. constitutes acceptance and acknowledgment of all terms and conditions by Customer.

OrderID: 342516450

EMSL ANALYTICAL, INC.
TESTING LABS • PRODUCTS • TRAINING

Microbiology Chain of Custody Form

EMSL Order Number / Lab Use Only

#342516450

EMSL Analytical, Inc.
200 Route 130 North
Cinnaminson, NJ 08077

PHONE: (800) 220-3675
EMAIL: CinnMicroLab@emsl.com

Additional Pages of the Chain of Custody are only necessary if needed for additional sample information

Special Instructions and/or Regulatory Requirements (Sample Specifications, Processing Methods, Limits of Detection, etc.)

Sample #	Sample Location/Description	Sample Type (Matrix)	Potable / Non-Potable (Only for Water)	Test Code	Volume/Area	Date / Time Collected	Temperature (Lab Use Only)

Method of Shipment:		Sample Condition Upon Receipt.	Received on Ice? Check if Yes: ☐
Relinquished by:	Date/Time:	Received by:	Date/Time: JUL 16 2025
Relinquished by:	Date/Time:	Received by:	Date/Time

Controlled Document - COC-34 Micro R14 11/07/2023

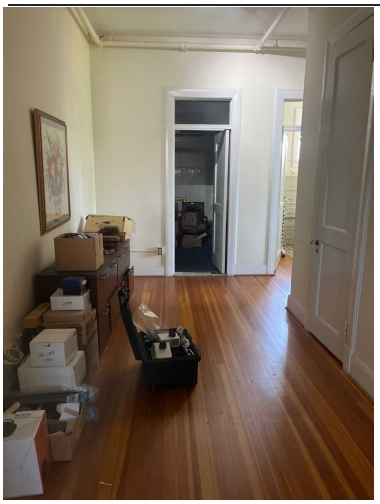
☐ AGREE TO ELECTRONIC SIGNATURE (By checking, I consent to signing this Chain of Custody document by electronic signature)

EMSL Analytical, Inc.'s Laboratory Terms and Conditions are in[corporated] into this Chain of Custody by reference in their entirety. Submission of samples to EMSL Analytical, Inc. constitutes acce[ptance] and [agreement] to all terms and conditions by Customer.

Photo Report

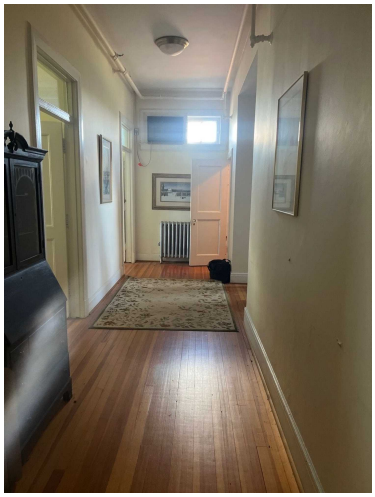
PROPERTY INFO

Beardsley Architects
2302 Catherine Street
Cortlandt, NY 10567



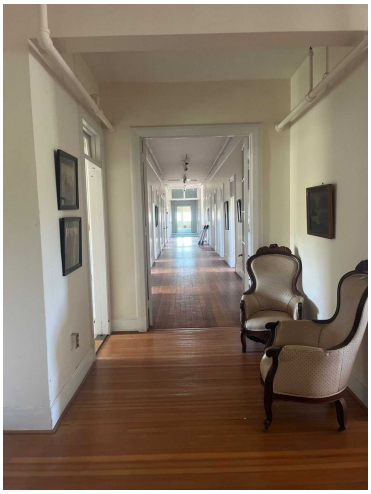
Date taken: 07/15/2025

Floor 2 left office hall front



Date taken: 07/15/2025

Floor 2 left office hall rear



Date taken: 07/15/2025

Floor 2 center hall from left side

Date taken: 07/15/2025

Attic

Date taken: 07/15/2025

Date taken: 07/15/2025

Floor 2 front room 19

Date taken: 07/15/2025

Room 19 exterior wall

Date taken: 07/15/2025

Closet

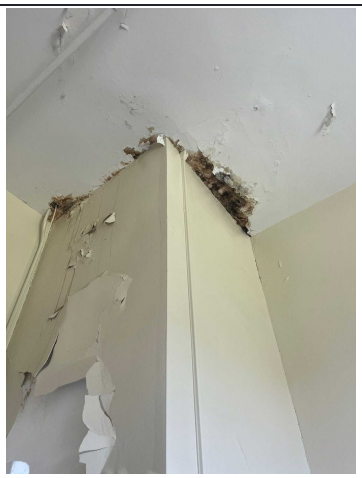
Photo Report

PROPERTY INFO

Beardsley Architects
2302 Catherine Street
Cortlandt, NY 10567

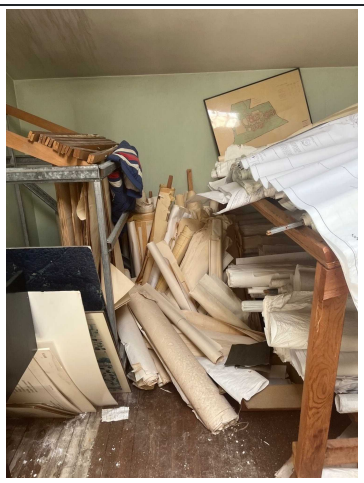
Date taken: 07/15/2025

Floor 2 hall from right



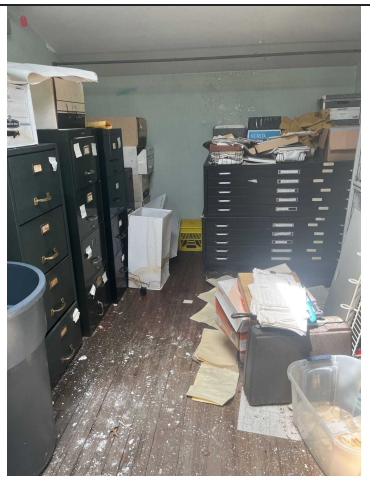
Date taken: 07/15/2025

Floor 2 right rear bathroom



Date taken: 07/15/2025

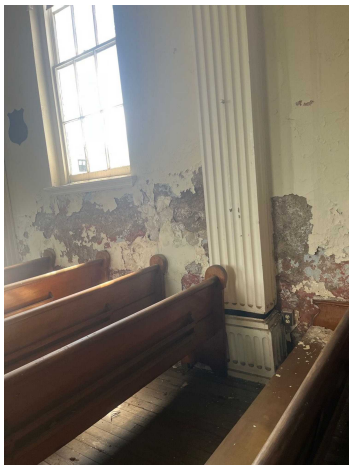
Center stair plan room



Date taken: 07/15/2025

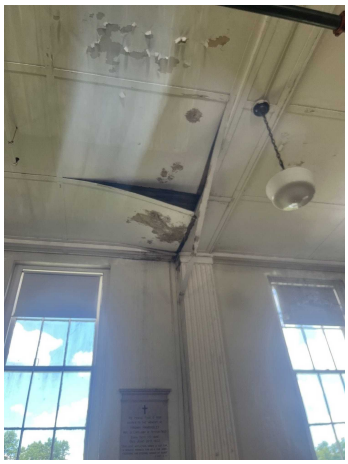
Date taken: 07/15/2025

Floor 1 right



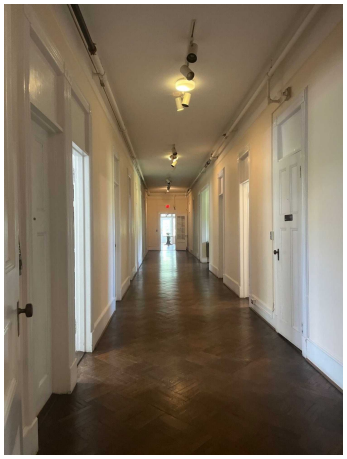
Date taken: 07/15/2025

Chapel front wall



Date taken: 07/15/2025

Chapel rear ceiling



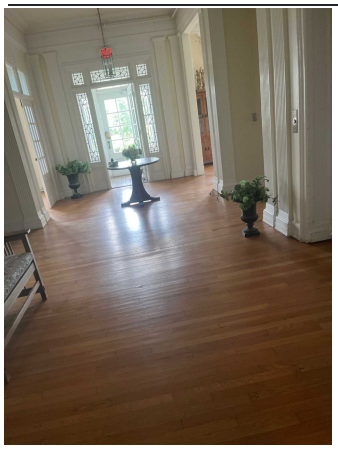
Date taken: 07/15/2025

Floor 1 left hall

Photo Report

PROPERTY INFO

Beardsley Architects
2302 Catherine Street
Cortlandt, NY 10567

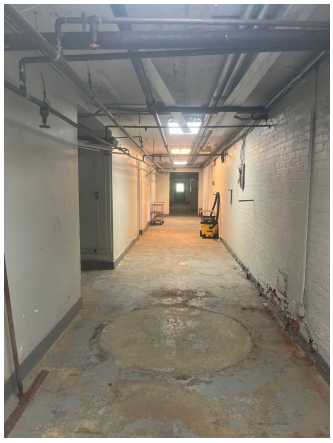


Date taken: 07/15/2025

Floor 1 far left

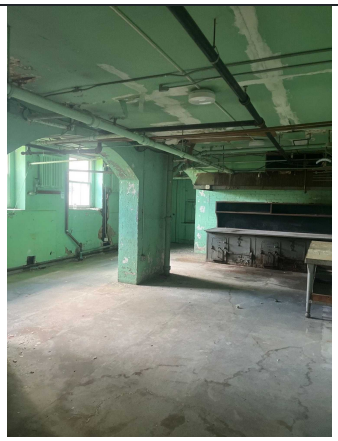
Date taken: 07/15/2025

Basement right rear



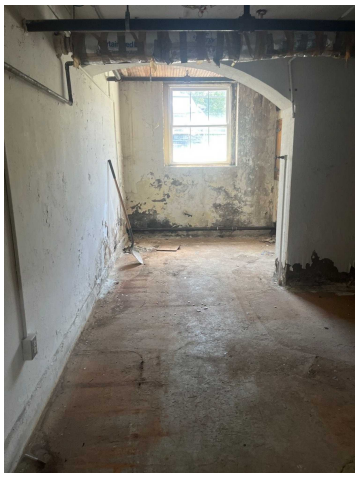
Date taken: 07/15/2025

Basement center hall



Date taken: 07/15/2025

Basement center rear kitchen



Date taken: 07/15/2025

Basement center front room

Date taken: 07/15/2025

Basement left front bathroom

Date taken: 07/15/2025

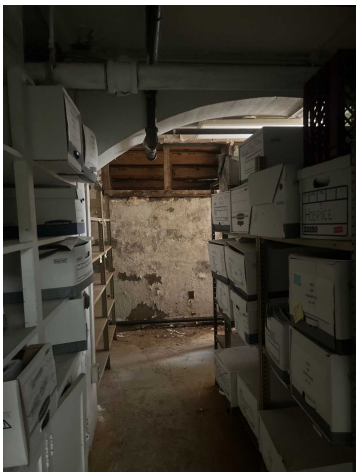
Basement left front

Date taken: 07/15/2025

Photo Report

PROPERTY INFO

Beardsley Architects
2302 Catherine Street
Cortlandt, NY 10567



Date taken: 07/15/2025

Basement front under stairs

August 17, 2025

Peter Veale
Beardsley Architects & Engineers
150 State Street, 4th Floor
Albany, NY 12207

Dear Peter,

This report includes the results of a visual inspection as well as air samples collected from 2302 Catherine Street, Cortlandt, NY, on July 15, 2025. This inspection was performed as directed by the site contact to assess the air quality in the building before reported interior repairs and alterations would be performed. Below is our summary of findings and recommendations. For details of our sample findings, please see the attached laboratory report(s).

For each sample, there is a laboratory report outlining VOC results and a separate laboratory report outlining formaldehyde results. These results are only representative of the conditions that existed at the time of sampling. The results could be influenced by activities that occurred prior to sampling that may be unknown.

SUMMARY OF FINDINGS

- A visual inspection was performed to identify potential sources of VOCs that could affect the air quality. The following relevant observations were made:
  - The large 2-story building was occupied mostly on the first floor. The second floor was unoccupied with limited contents. Some areas were in disrepair, with water damage and suspect visible mold present.
  - The attic was clean and free of water damage and did not have insulation.
  - The first floor had offices and the far left side had a conference room at the front.
  - The right side of the first floor was a large chapel with damaged walls and ceiling materials.
  - The basement had limited contents and was also in disrepair in some areas, with water damage and falling wall and ceiling materials.
  - The building from the attic to the basement was mostly chemical-free with no stored materials.
  - Humidity levels were ~50% and considered normal. Temperature readings were ~75°F.

RTK ENVIRONMENTAL GROUP

SAMPLE RESULTS OVERVIEW

- Air samples were taken from four locations as indicated below.
- Floor 2 center hall:
  - Total VOCs (T VOCs) were measured at 460 ng/L, which is considered normal.
  - Formaldehyde concentrations were identified at 56 ng/L which is considered elevated.
- Floor 1 left hall:
  - T VOCs were measured at 370 ng/L, which is considered normal.
  - Formaldehyde concentrations were identified at 45 ng/L which is considered moderate.
- Floor 1 right chapel:
  - T VOCs were measured at 380 ng/L, which is considered normal.
  - Formaldehyde concentrations were identified at 32 ng/L which is considered moderate.
- Basement center:
  - T VOCs were measured at 520 ng/L, which is considered moderate.
  - Formaldehyde concentrations were identified at 28 ng/L which is considered moderate.
- Significant VOCs identified include toluene, methylene chloride (a known carcinogen, at trace levels), and carbonyl sulfide. These compounds are commonly found in adhesives, solvents, heavy-duty cleaners, paints, and strippers.

RECOMMENDATIONS

- *To improve indoor air quality, it is recommended to store cleaning and personal care products, which can increase vapor concentrations, in sealed containers when they are not in use. Ventilation should occur during and after cleaning as introducing outside air helps to immediately reduce VOC levels. In some structures, the installation of an exhaust fan or an electronic recovery ventilator (ERV) will help with overall indoor air quality. Additionally, the use of an air purifier equipped with a carbon filter is an effective method of reducing VOCs and odors. It is recommended to utilize an air purifier that is appropriate for the size of the space and to change the filters according to the manufacturer's instructions. Carbon filtration can also be integrated into an HVAC system. Manmade products, such as paints, construction materials, fertilizers, bulk cleaning products, etc. should be stored outside of the finished, occupied spaces.*
- Any remaining contents/cleaners in the bathrooms on the second floor, along with any chemical products throughout all floors of the building, should be removed and properly discarded.

- Before any work is performed, all recommendations made in our mold inspection report that was performed along with this VOC report should be followed as directed.
- Regularly ventilate any occupied spaces by opening windows. VOCs released from paints, coatings, and sealers will accumulate in the air unless removed via air exchanges. Opening windows wide for regular but shorter periods is often more effective than cracking windows all day long.

GENERAL INFORMATION

- Most manufactured products, including but not limited to, building materials, paint and other coatings, furniture, carpeting, cleaning and personal care products off-gas vapors over varying periods of time and become trapped in the building. Government agencies have not specified a Total-VOC (TVOC) limit for indoor air, however, the Green Building Council has recommended 500 nanograms/liter (ng/L) as the upper TVOC limit. Although concentrations below this level are ideal, it is common for VOC levels to be between 500 and 1500 ng/L, or even more elevated, depending on the compounds that were evident at the time of sampling.
- While there are currently no standards for formaldehyde concentrations in residential settings, some organizations and government agencies suggest that formaldehyde concentrations do not exceed 100-120 ng/L and 50-60 ng/L for short and long-term exposures, respectively.

COMMON VOCs

- Based on findings from our past inspections, compounds associated with cleaning and personal care products and VOCs from paints and coatings are found in most finished indoor spaces. Normal human activities that are performed daily, like cleaning, or less frequently, painting, produce these vapor conditions which can linger in the air over extended periods of time.
- In a structure with an attached garage, it is common to identify gasoline-type VOCs in concentrations that are considered normal. In an urban environment, these compounds can be found due to emissions from outside. Findings like this can be caused by gas-powered vehicles, but there are also similarities between gasoline VOCs and other unrelated chemicals.

Thank you for working with RTK Environmental Group. We appreciate your business. RTK offers testing and consulting for mold, lead, asbestos, soot, and other environmental concerns. Please contact our office at 800-392-6468 with any questions.

Sincerely,

Thomas Taylor
Environmental Consultant
tt@rtkenvironmental.com

RTK ENVIRONMENTAL GROUP

UNDERSTANDING THE LABORATORY REPORT

For each sample analyzed, there is one VOC report consisting of 9 pages and one formaldehyde report consisting of 3 pages. If formaldehyde was not sampled, there will be no formaldehyde report.

The attached report is a proprietary document developed by the laboratory. The various colors are used to indicate how elevated a particular category of compounds is. Below is an explanation of the information on each page.

VOC Report

Page 1 is a report summary indicating the Total VOC (TVOCs) level identified.

Page 2 indicates how your TVOC level relates to approximately 45,000 other samples analyzed by the laboratory.

Page 3 is a Contamination Index and a chart indicating source groups.

Page 4 indicates the levels and severity of VOCs from building-related sources.

Page 5 indicates the levels and severity of VOCs from mixed building and lifestyle sources.

Page 6 indicates the levels and severity of VOCs from lifestyle sources.

Page 7 is a list of the most significant compounds identified that contribute to the TVOC level.

Page 8 is a description of the odors associated with the compounds identified.

Page 9 is a list of the compounds identified that the EPA classifies as hazardous air pollutants. This page lists any carcinogens identified in the sample.

Formaldehyde Report

Page 1 indicates the concentration of formaldehyde identified in the sample.

Page 2 outlines formaldehyde exposure guidelines.

Page 3 is a list of potential sources of formaldehyde.

RTK ENVIRONMENTAL GROUP

REPORT DISCLAIMER

The information provided in this report is limited by the scope of the inspection requested by the client. Not all inspections yield information regarding the presence of volatile organic compounds (VOCs) and the existence of such hazards in all media. You are advised to clarify the scope of the inspection provided with the inspector.

It is generally acknowledged that the level of VOCs in any structure will determine the extent of hazard arising from such contaminants. Accordingly, any change in the condition of the property in question will alter the validity of the inspection report provided herewith. The accuracy of any VOC sampling performed is, therefore, limited to the condition of the property at the time the sampling was conducted. The inspector assumes no responsibility for retesting or reinvestigating the property to determine changed conditions unless this has been requested by the client. Any and all changes in the property or its condition may result in the creation of air quality hazards not in existence at the time of inspection.

Not every area was tested or was accessible for testing. The inspector makes no representation with respect to the presence of VOCs or the condition of any areas not tested. Areas that were not tested may, if tested, yield results that indicate the presence of VOCs. The client is advised to take such factors into account when undertaking any activities which may have an impact upon such areas.

Furthermore, the human system and sensitivities vary from each individual to the next. The individual human system and/or pre-existing medical and health conditions may be impacted by varying degrees of exposure to VOCs. If any symptoms exist, it is strongly recommended to consult a medical or health professional.

This report is intended only for the benefit of the inspector and the client and does not create any rights for any third parties. Use of these test results or reports or other materials by the client without written permission or adaptation by RTK Environmental Group for the specific purpose intended shall be at the user's sole risk, without liability on RTK Environmental Group's part, and the client agrees to indemnify and hold RTK Environmental Group harmless from all claims, damages, and expenses, including attorney's fees, arising out of such unauthorized use.

ENTHALPY ANALYTICAL
formerly *Prism Analytical Technologies*

IAQ Commercial Survey™ Basic™

Client Sample ID: Floor 2 Center Hall
Laboratory ID: 119714-1

Client: RTK Environmental Group
29 Bank Street Suite 3
Stamford, CT 06901
United States

Sampled By: Thomas Taylor
Project: Cortlandt, NY 41340
Location: 2302 Catherine Street
-

Client Sample ID: Floor 2 Center Hall
Sample Volume (L): 12.0
Date Sampled: 07/15/2025
Sample Type: TDT AL116
Sample Condition: On Hold

Report Number: 119714

Thank you for using IAQ Commercial Survey!
If you have questions about your report, please contact your service provider who performed this test.

Receive Date: 07/17/2025
Approve Date: 08/11/2025
Scan Date: 08/11/2025
Report Date: 08/13/2025

IAQ Commercial Survey™ is one of the most advanced, trusted air testing products on the market today for identifying chemical sources and active mold growth. Many indoor air quality (IAQ) issues identified by IAQ Commercial Survey can be easily remediated or eliminated. This test is an invaluable tool for improving air quality because it provides important information on potential contamination issues that cannot be detected by a visual inspection alone. Acting upon the information in this report will enable you to dramatically improve the air quality, creating a healthier environment.

Your Indoor Air Quality Report Summary

Your Indoor Air Quality Report has several sections describing different aspects of your air quality. A summary of this data is provided below, additional information and descriptions are included in the full report.

Total Volatile Organic Compounds (TVOC) Level

TVOC is a general indicator of the IAQ (see page 2).

Total VOCs **460 ng/L**

Contamination Index (CI) Level

The CI shows the types of air-contaminating products and materials that are present in the sampled area (see pages 4 and 5). These levels are estimates based on common products and activities.

Building Sources

See page 4 for more detail.

N	Coatings (Paints, Varnishes, etc.)
N	PVC Cement
N	Building Materials-Toluene Based
N	Gasoline
N	Fuel Oil, Diesel Fuel, Kerosene
N	Light Hydrocarbons
N	Light Solvents

Occupant Sources

See page 5 for more detail.

N	HFCs and CFCs (FreonsTM)
N	Personal Care and Cleaning Products
N	Odorants and Fragrances
N	Dry Cleaning Solvents

Note: Severity levels begin at Normal or Minimal and progress through Moderate, Elevated, High and/or Severe. The color progression from green to red indicates results that are increasingly atypical and suggest potentially higher risk.

All Severity classifications are based on empirical data and should not be taken as a pass/fail or conformance to a published specified limit.

Normal	Moderate	Elevated	High	Severe

Enthalpy Analytical, LLC (MTP), the creator of IAQ Home and Commercial Survey, has been performing air quality assessments to industry and environmental consultants since 1995. Enthalpy Analytical, LLC (MTP) (ID 166272) is accredited by the AIHA Laboratory Accreditation Programs (AIHA-LAP), LLC in the Industrial Hygiene accreditation program for GC-MS Field of Testing as documented by the Scope of Accreditation Certificate and associated Scope. This analysis references methods EPA TO-17 and ISO 16000-6, which fall within the Scope of Accreditation.

Client Sample ID: Floor 2 Center Hall
Laboratory ID: 119714-1

Total Volatile Organic Compound (TVOC) Summary

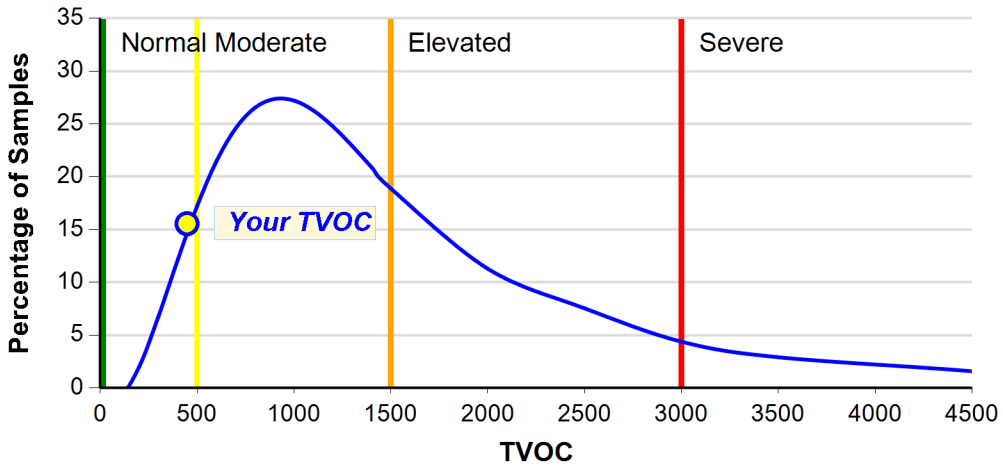
Your TVOC Level is: 460 ng/L

IAQ is acceptable for most individuals; chemically sensitive persons may require lower levels.

Your Indoor Air Quality Level (Highlighted)

Normal	Moderate	Elevated	Severe
< 500 ng/L	500 - 1500 ng/L	1500 - 3000 ng/L	> 3000 ng/L

All IAQ Survey TVOC
Air Quality Indicator



The average TVOC is 1900 ng/L

This chart represents the TVOC distribution of over 45,000 samples. Over 80% of these samples indicate improvements in IAQ are necessary to achieve the goal of TVOC less than 500 ng/L.

The chart above shows the TVOC levels for all locations tested using IAQ Survey. Results for this air sample are displayed on the chart as a yellow circle. The blue curved line represents the relationship between the percentage of locations (indicated on the vertical y-axis) and the TVOC level (indicated on the horizontal x-axis). The green, yellow, orange, and red vertical bars represent divisions between Normal, Moderate, Elevated, and Severe TVOC levels. As the TVOC value increases, individuals may experience aggravated health problems, and therefore, the need to address VOC issues becomes more critical. However, reductions in VOCs can be made at any level.

No government or organization has specified a TVOC limit for indoor air. However, the U.S. Green Building Council (USGBC) has set 500 ng/L as the recommended TVOC limit.

In general:

- < 500 ng/L IAQ is acceptable for most individuals; however, chemically sensitive persons may require lower levels.
- 500 - 1,500 ng/L some effects on the occupants is possible.
- > 1,500 ng/L IAQ should be improved.

Note: These levels are based on observed health effects and have been determined from a combination of published data and the statistical distribution of TVOC concentrations from the IAQ Survey methodology.

The presence of chemicals in your indoor environment can cause a wide range of problems, from an unpleasant odor to physical symptoms (burning and irritation in the eyes, nose, and throat; headaches; nausea; nervous system effects; severe illness; etc.). Anyone with respiratory issues like asthma or allergies, as well as children, the elderly, and pregnant women are more susceptible to poor indoor air quality than healthy individuals.

Click here for more information about VOCs.

The Contamination Index (CI) in the next pages of this report will help guide you through determining what types of products or materials could be problematic for your IAQ, and will provide some recommendations to help reduce or eliminate them.

Contamination Index™

The Contamination Index™ (CI) shows the types of air-contaminating products and materials that are present in the sampled area. Each CI category shows the approximate contribution of that category to the TVOC level, indicates how your location compares to thousands of other locations, and provides some suggestions about which products and materials might be the source for the VOCs. The CI is divided into two main source groups: Building Sources and Occupant Sources.

1. Building Sources are those that are typically part of the structure of the building and may be more difficult to reduce in the short term. Recent construction or renovation often increases the CI categories in this group to the Elevated, High, or Severe levels. VOCs from these activities often decrease substantially in the month following use or application of these products, especially if the area is flushed with air to dissipate the VOCs off gassed from the new products or materials.

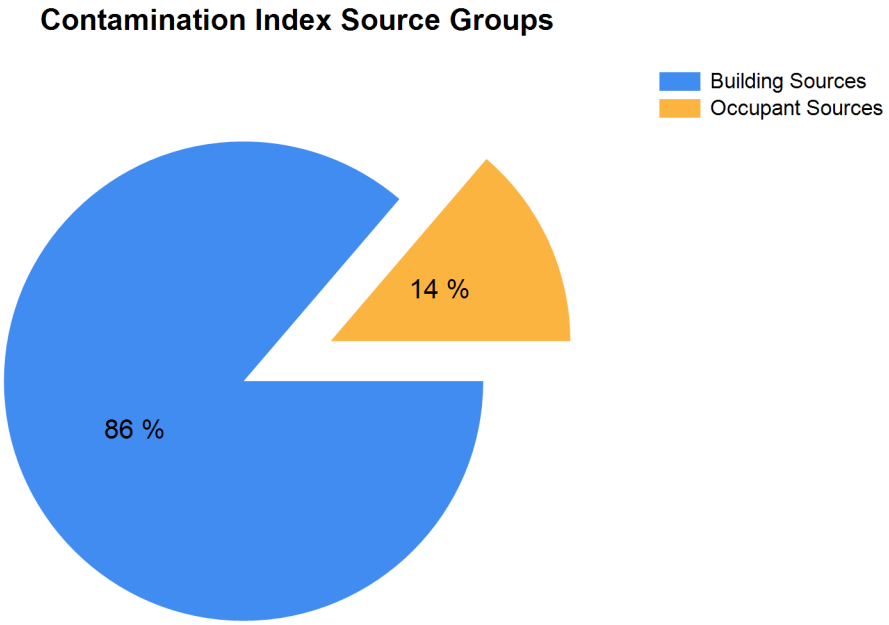
2. Occupant Sources are those that the occupants of the building bring into the building and can usually be more readily identified and remediated. Recent construction or renovation can often contribute to other source categories in addition to Building Sources.

It is possible for a category listed in one source group to belong to another source group. For example, the 'Coatings' category is in the Building Sources group because the largest contribution is typically the paint on the walls, but cans of paint stored in a basement or storage area could be considered part of the Occupant Sources group. Always consider all possible sources for a particular CI category.

The CI categories comprise the most common sources but other products or activities may be present that are not included in the CI. The values assigned to each category are approximations based on typical office and commercial spaces. Locations with additional or atypical sources may require additional investigation to determine the source of certain chemicals that are not accurately represented by the CI.

Since there are potentially many sources of VOCs, buildings can often be re-contaminated even after sources have been removed because new products are constantly being brought into the building. Occupants should take note of this fact, and view IAQ as a continuous improvement process.

The chart below depicts the distribution of the Contamination Index source groups. These source groups are estimates and may not indicate all of the VOCs in your air sample.



Contamination Index™ Building Sources

Use the Contamination Index (CI) below to help you find products and materials in the sampled area that may be affecting your indoor air quality. Removing or reducing these products will improve your air quality. The concentrations reported here are approximate and may not add up to the TVOC value on page 2 of this report. These categories are typically part of the structure of the building and may be more difficult to reduce in the short term. Recent construction or renovation will often cause these categories to be elevated. Increased ventilation will help to reduce VOCs from construction or renovation sources. Levels indicated as Elevated, High, or Severe should be addressed immediately, and those listed as Moderate are areas that can be improved over time.

Building Sources

Contamination Index Category	Estimated VOC Level (ng/L)	Severity	Source Prediction & Suggestions for VOC Reduction
Coatings (Paints, Varnishes, etc.)	170	**Normal**	Includes interior and exterior paints (including low- or no-VOC paints), varnishes, lacquers, some sealants, and other products that can be classified as a coating over a surface. Typically, VOCs from these products are in the 10 to 14 carbon size range and can linger for several months after application, sometimes longer. Ventilate as much as possible during and after application of any of these products. Dispose of opened but unused products and related supplies if possible or store in areas that will minimize off gassing. Additional sources include fuel oil or diesel fuel.
PVC Cement	0	**Normal**	PVC cement is used to join pieces of PVC pipe together, usually for plumbing.
Building Materials-Toluene Based	0	**Normal**	Adhesives and glues used in construction and maintenance, arts and crafts; adhesive removers; contact cement; sealants; coatings (paint, polyurethane , lacquer, thinner); automotive products, including parts cleaners. Additional sources include gasoline and other fuels.
Gasoline	19	**Normal**	VOCs from gasoline are typically a result of off-gassing from gas containers, small spills, and gas-powered equipment used in facilities maintenance in nearby garage or storage areas. Most vehicles in good operating condition do not emit gasoline vapors due to the tightly sealed gas tank. This category does not include exhaust emissions. Gasoline VOCs can linger on clothing after refueling at a gas station. Gasoline includes chemical compounds that are also included in the Light Solvents category.
Fuel Oil, Diesel Fuel, Kerosene	0	**Normal**	Typically found in garages and facilities maintenance areas. These fuels are not very volatile so they will not readily get into the air, but they can linger for a long time and produce a strong, unpleasant odor. This category does not include exhaust emissions. Additional sources include coatings such as paints, varnishes, sealants, waxes, etc.
Light Hydrocarbons	2	**Normal**	Building materials; aerosol cans; liquefied petroleum gas (LPG); refrigerant; natural gas; propellant; blowing agent. Includes chemical compounds such as propane, butane, and isobutane.
Light Solvents	68	**Normal**	Stoddard solvent; mineral spirits; some coatings (paints, varnish, enamels, etc.); wax remover; adhesives; automotive products; light oils. Typically, VOCs from these products are in the 6 to 9 carbon size range.

Contamination Index™ Occupant Sources

Use the Contamination Index (CI) below to help you find products and materials in the sampled area that may be affecting your indoor air quality. Removing or reducing these products will improve your air quality. The concentrations reported here are approximate and may not add up to the TVOC value on page 2 of this report. These categories are typically brought into the building by the occupants and can often be readily identified and removed or contained. Levels indicated as Elevated, High, or Severe should be addressed immediately, and those listed as Moderate are areas that can be improved over time.

Occupant Sources

Contamination Index Category	Estimated VOC Level (ng/L)	Severity	Source Prediction & Suggestions for VOC Reduction
HFCs and CFCs (FreonsTM)	5	**Normal**	Most often used as refrigerants for air conditioners and refrigerator/freezers and propellants for blown-in insulation, cushions, aerosol cans, etc. Many of these chemical compounds are being phased out because of the Montreal Protocol.
Personal Care and Cleaning Products	16	**Normal**	Personal care products such as soap, deodorant, lotions, perfumes, hair coloring supplies, nail care supplies, oral hygiene products, etc. Cleaning agents such as surface, window, and flooring products, also restroom and antibacterial products. These products contain many VOCs that will dissipate if use is discontinued or reduced.
Odorants and Fragrances	19	**Normal**	Air fresheners, scented cleaning products, and scented personal care products.
Dry Cleaning Solvents	0	**Normal**	Typical dry-cleaning methods employ the use of carcinogenic chemicals. Dry-cleaning should be allowed to vent outside, without plastics bags, before being placed inside.

Significant VOCs

Based upon your specific air analysis, the chemical compounds listed below are significant contributors to the TVOC level reported on page 2 of your IAQ Commercial Survey Report or are indicative of specific types of products or problems. Compounds from a variety of chemical classes are represented here, although only the most common or most notable are specifically listed. These chemical compounds may come from a variety of sources as shown in the Contamination Index section of this report.

Locating and removing the source of the chemical compound is the most effective way to reduce the concentration of that chemical compound. If removing the source is not possible, try to contain it in some way (e.g., placing the source in an air-tight container when not in use). In addition, the ventilation system in some locations may not be optimized so evaluate the ventilation system and make adjustments to increase the amount of fresh air. Filter or purify re-circulated inside air to help reduce the TVOC. Since VOCs may continue to off-gas even when the sources are stored, ventilation and air-purification methods will need to be employed continuously in order to keep the VOC levels low.

The Chemical Abstracts Service (CAS) registry number after the chemical compound name in the table below is a unique identifier for that chemical compound and is often the best means to search for additional information. The two VOC levels in the table below (ng/L and ppb) are different ways of describing the same concentration, in some cases exposure limits or other information may be described using one or both of these concentration units.

Compound	CAS	Estimated VOC Level (ng/L)	Estimated VOC Level (ppb)	Description

The notes below indicate any additional significant compounds present in this air sample or other noteworthy information.

No significant VOCs were detected in this air sample.

Supplemental Information: Odorants

Many chemical compounds have odors associated with them, some pleasant and some unpleasant. These odors can combine to create different odors, making odor identification more difficult. The odor descriptions for the compounds reported in this air sample are listed below as well as some of the more common sources.

Supplemental Information: EPA Hazardous Air Pollutants (HAPs)

Hazardous air pollutants, also known as toxic air pollutants or air toxics, are those pollutants that are known or suspected to cause cancer or other serious health effects, such as reproductive effects or birth defects, or adverse environmental effects. Listed below are those HAPs that were detected with the IAQ Commercial Survey VOC test. This list does not include all HAPs. The '<' (less than) symbol in the 'Estimated VOC Level' columns indicates the compound is below the reporting limit for this air sample and therefore can be considered absent from the air sample. For more information about HAPs visit the EPA Air Toxics website. The exposure limits listed below can also be found in the NIOSH Guide to Chemical Hazards. The HAPs in the table below may also be listed as Significant VOCs if the concentration of that chemical compound is greater than the threshold level for a Significant VOC.

Compound	CAS	Estimated VOC Level (ng/L)	Estimated VOC Level (ppb)	NIOSH Exposure Limit	Description
Carbonyl Sulfide	463-58-1	1	0.4	None Listed	Fumigant; contaminated drywall; fuel combustion byproduct; some foods; naturally occurring at low levels
Methylene Chloride	75-09-2	3	0.8	Carcinogen	Automotive products; degreasing solvent; paint stripper; adhesive remover; aerosol propellant; insecticide
Toluene	108-88-3	3	0.9	375,000 ng/L (100,000 ppb)	Gasoline; adhesives (building and arts/crafts); contact cement; solvent; heavy duty cleaner
Styrene	100-42-5	1	0.2	215,000 ng/L (50,000 ppb)	Polystyrene foam; synthetic rubber; flavoring agent

These results pertain only to this sample as it was collected and to the items reported.
These results have been reviewed and approved by the Laboratory Director or approved representative.

ENTHALPY ANALYTICAL
formerly *Prism Analytical Technologies*

IAQ Commercial Survey™
Formaldehyde

Air Analysis For*: Cortlandt, NY 41340
Location Tested*: 2302 Catherine Street
-

Sampling Professional*: Thomas Taylor
RTK Environmental Group
29 Bank Street Suite 3
Stamford, CT 06901
United States

Client Sample ID*: Floor 2 Center Hall
Sample Volume (L)*: 4.0
Date Sampled*: 07/15/2025
Sample Type*: TDT RR994
Sample Condition: On Hold

* Customer supplied information

Report Number: 119714
Laboratory ID: 119714-5

Thank you for using IAQ Commercial Survey!
If you have questions about your report, please contact your service provider who performed this test.

Order Date: 08/11/2025
Scan Date: 08/12/2025
Report Date: 08/13/2025

Formaldehyde Concentration: 56 ng/L or 45 ppb

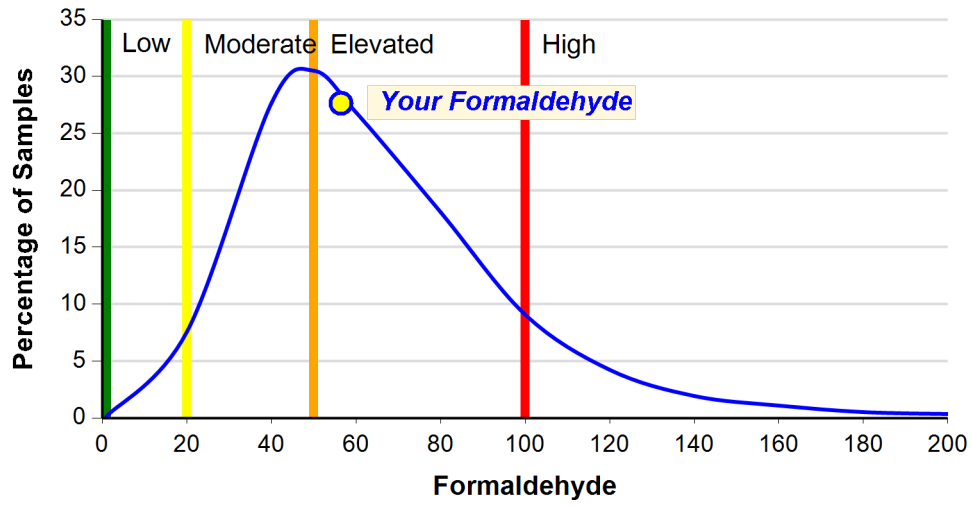
Report Limit: 15 ng/L
*Values** ± 21%*

Your Formaldehyde Level (Highlighted)

Low	Moderate	Elevated	High
< 20 ng/L < 16 ppb	20-50 ng/L 16-40 ppb	50-100 ng/L 40-80 ppb	> 100 ng/L > 80 ppb

Recommendation: Consider locating and removing formaldehyde sources. See formaldehyde sources section for more information.

All IAQ Survey Formaldehyde Results



This chart represents the Formaldehyde distribution of over 29,000 samples.

Approximately half the samples have concentrations in the 30-70 ng/L range.

The chart above shows the formaldehyde concentrations for all locations tested using IAQ Survey. Results for this air sample are displayed on the chart as a yellow circle. The blue curved line represents the relationship between the percentage of locations (indicated on the vertical y-axis) and the formaldehyde concentration (indicated on the horizontal x-axis). The green, yellow, orange, and red vertical bars represent divisions between Low, Moderate, Elevated, and High formaldehyde concentrations.

Formaldehyde concentrations can vary depending on environmental conditions such as temperature, humidity, and ventilation rate. As temperature and humidity increase, the formaldehyde concentration will increase and as the ventilation rate increases, the formaldehyde concentration will decrease.

*** Expanded measurement uncertainty*

Enthalpy Analytical, LLC (MTP), the creator of IAQ Commercial Survey, has been performing air quality assessments to industry and environmental consultants since 1995. Enthalpy Analytical, LLC (MTP) (ID 166272) is accredited by the AIHA Laboratory Accreditation Programs, LLC (AIHA-LAP, LLC) in the Unique Scope accreditation program for Formaldehyde as documented by the Scope of Accreditation Certificate and associated Scope. Reference internal SOP 523.

Formaldehyde Exposure Guidelines

The US Occupational Safety and Health Administration (OSHA) has set a workplace **permissible exposure limit** (PEL) of 940 ng/L (750 parts per billion). The National Institute for Occupational Safety and Health (NIOSH) has set a **recommended exposure limit** (REL) of 20 ng/L (16 ppb) with a 120 ng/L (100 ppb) 15 minute ceiling limit.

Although these formaldehyde concentration limits are applicable to all types of workplace environments, most office or retail locations without additional occupational exposure (e.g., industrial or manufacturing processes generating formaldehyde) typically have formaldehyde concentrations less than 100 ng/L (80 ppb). Most indoor environments measured by this air test have concentrations in the range of 30 to 70 ng/L.

The table below provides some of the limits applicable to workplace environments. In general, formaldehyde concentrations should be kept as low as reasonably achievable.

Organization	Concentration		Type
	ng/L	ppb	
OSHA	630	500	Action Level (8 hour)
	940	750	PEL (8 hour)
	2,500	2,000	STEL (15 min)
NIOSH	20	16	REL (8 hour)
	120	100	Ceiling (15 min)
ACGIH	125	100	TLV (8 hour)
LEED	32	27	Green Building (4 hour)
WHO	100	80	Short-Term (0.5 hour)

OSHA: Occupational Health and Safety Administration
NIOSH: National Institute for Occupational Safety and Health
ACGIH: American Conference of Governmental Industrial Hygienists
LEED: Leadership in Energy & Environmental Design (Green Building Council)
WHO: World Health Organization

PEL: Permissible Exposure Limit
REL: Recommended Exposure Limit
TLV: Threshold Limit Value
TWA: Time Weighted Average
STEL: Short Term Exposure Limit

Note: Concentration can be expressed in several ways and various organizations may use different units.
1 ng/L = 1 $\mu g/m^3$ = 0.001 mg/m^3
1 ppb = 0.001 ppm
To convert between the two sets of units listed above the molecular weight of formaldehyde must be used, which produces the conversion factors below:
ppb concentration = ng/L concentration * 0.8 or ng/L concentration= ppb concentration * 1.25

Major Health Effects of Formaldehyde Exposure

Health effects vary depending on the individual. Common symptoms of acute exposure include irritation of the throat, nose, eyes, and skin; this irritation can potentially exacerbate asthma symptoms and other respiratory illnesses. Long term, or chronic, exposure may also cause chronic runny nose, chronic bronchitis, and obstructive lung disease. In 2004, the International Agency for Research on Cancer (IARC) reclassified formaldehyde from "probably carcinogenic to humans" to "carcinogenic to humans" related to nasopharyngeal cancer. Since many factors are involved in the development of cancer, no definitive "safe level" of exposure has been established. The best way to reduce the risk of cancer is to limit exposure.

Formaldehyde Sources

There are many possible sources for formaldehyde in the indoor environment, although building products typically make up a large proportion of the concentration. Any recent renovation or new material brought into the building is likely to increase the formaldehyde levels. The concentration will decrease over time as the materials off gas, so increasing the ventilation as much as possible is typically the best way to quickly decrease formaldehyde after recent renovation or installation of new materials.

- Products that contain urea-formaldehyde (UF) resins
  - particleboard, hardwood plywood paneling, medium density fiberboard
- Products that contain phenol-formaldehyde (PF) resins (lower concentrations of formaldehyde than UF resins)
  - softwood plywood, flake or oriented strand board
- Pre-finished engineered flooring
- Insulation
- Glues and adhesives
- Paints and coatings
- Textiles
- Disinfectant cleaning products and soaps
- Preservatives
- Personal care products, especially certain hair products
- Cosmetics
- Pet care products
- Bactericides and fungicides
- Combustion byproduct (burning)
  - Tobacco smoke and fuel-burning appliances (gas stoves, kerosene space heaters and fireplaces)

Formaldehyde is also produced naturally in living systems, e.g., trees and other plant life, and during decay and combustion processes. Formaldehyde is also involved in atmospheric processes. Outdoor concentrations of formaldehyde from both natural and man-made sources can range from less than 1 ng/L in remote areas to 10-20 ng/L in urban environments.

Additional Resources

US OSHA Toxic and Hazardous Substances-Formaldehyde
US OSHA Fact Sheet-Formaldehyde
US NIOSH Formaldehyde
World Health Organization (WHO) Air Quality Guidelines for Europe, 2nd Edition (2000); pg 87-91
Europe: Report No. 7-Indoor Air Pollution by Formaldehyde in European Countries (1990)
US Consumer Product Safety Commission (CPSC) Update on Formaldehyde (2013)
US Environmental Protection Agency: Formaldehyde
US Agency for Toxic Substances and Disease Registry (ATSDR): Formaldehyde ToxFAQs™
US National Institutes of Health (NIH): ToxTown: Formaldehyde
Chemical Reviews (Journal): Formaldehyde in the Indoor Environment
Household Products Database: Formaldehyde

These results pertain only to this sample as it was collected and to the items reported.
These results have been reviewed and approved by the Laboratory Director or approved representative.

ENTHALPY ANALYTICAL
formerly *Prism Analytical Technologies*

IAQ Commercial Survey™ Basic™

Client Sample ID: Basement Center
Laboratory ID: 119714-4

Client: RTK Environmental Group
29 Bank Street Suite 3
Stamford, CT 06901
United States

Sampled By: Thomas Taylor
Project: Cortlandt, NY 41340
Location: 2302 Catherine Street
-

Client Sample ID: Basement Center
Sample Volume (L): 12.0
Date Sampled: 07/15/2025
Sample Type: TDT AM396
Sample Condition: On Hold

Report Number: 119714

Thank you for using IAQ Commercial Survey!
If you have questions about your report, please contact your service provider who performed this test.

Receive Date: 07/17/2025
Approve Date: 08/11/2025
Scan Date: 08/11/2025
Report Date: 08/13/2025

IAQ Commercial Survey™ is one of the most advanced, trusted air testing products on the market today for identifying chemical sources and active mold growth. Many indoor air quality (IAQ) issues identified by IAQ Commercial Survey can be easily remediated or eliminated. This test is an invaluable tool for improving air quality because it provides important information on potential contamination issues that cannot be detected by a visual inspection alone. Acting upon the information in this report will enable you to dramatically improve the air quality, creating a healthier environment.

Your Indoor Air Quality Report Summary

Your Indoor Air Quality Report has several sections describing different aspects of your air quality. A summary of this data is provided below, additional information and descriptions are included in the full report.

Total Volatile Organic Compounds (TVOC) Level

TVOC is a general indicator of the IAQ (see page 2).

Total VOCs **520 ng/L**

Contamination Index (CI) Level

The CI shows the types of air-contaminating products and materials that are present in the sampled area (see pages 4 and 5). These levels are estimates based on common products and activities.

Building Sources

See page 4 for more detail.

N	Coatings (Paints, Varnishes, etc.)
N	PVC Cement
M	Building Materials-Toluene Based
N	Gasoline
N	Fuel Oil, Diesel Fuel, Kerosene
N	Light Hydrocarbons
N	Light Solvents

Occupant Sources

See page 5 for more detail.

N	HFCs and CFCs (FreonsTM)
N	Personal Care and Cleaning Products
N	Odorants and Fragrances
N	Dry Cleaning Solvents

Note: Severity levels begin at Normal or Minimal and progress through Moderate, Elevated, High and/or Severe. The color progression from green to red indicates results that are increasingly atypical and suggest potentially higher risk.

All Severity classifications are based on empirical data and should not be taken as a pass/fail or conformance to a published specified limit.

Normal	Moderate	Elevated	High	Severe

Enthalpy Analytical, LLC (MTP), the creator of IAQ Home and Commercial Survey, has been performing air quality assessments to industry and environmental consultants since 1995. Enthalpy Analytical, LLC (MTP) (ID 166272) is accredited by the AIHA Laboratory Accreditation Programs (AIHA-LAP), LLC in the Industrial Hygiene accreditation program for GC-MS Field of Testing as documented by the Scope of Accreditation Certificate and associated Scope. This analysis references methods EPA TO-17 and ISO 16000-6, which fall within the Scope of Accreditation.

Client Sample ID: Basement Center
Laboratory ID: 119714-4

Total Volatile Organic Compound (TVOC) Summary

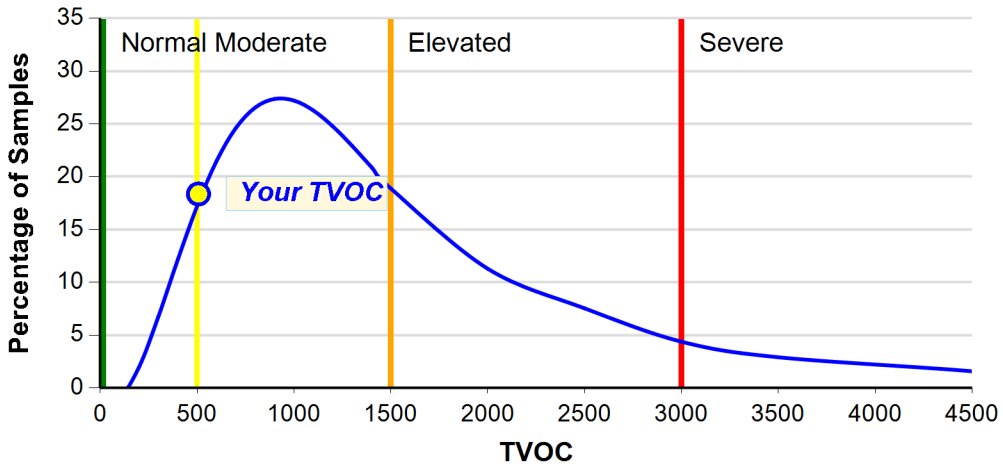
Your TVOC Level is: 520 ng/L

IAQ is borderline acceptable; some effect on occupants is possible; reduce potential sources and consider increasing ventilation.

Your Indoor Air Quality Level (Highlighted)

Normal	Moderate	Elevated	Severe
< 500 ng/L	500 - 1500 ng/L	1500 - 3000 ng/L	> 3000 ng/L

All IAQ Survey TVOC
Air Quality Indicator



The average TVOC is 1900 ng/L

This chart represents the TVOC distribution of over 45,000 samples. Over 80% of these samples indicate improvements in IAQ are necessary to achieve the goal of TVOC less than 500 ng/L.

The chart above shows the TVOC levels for all locations tested using IAQ Survey. Results for this air sample are displayed on the chart as a yellow circle. The blue curved line represents the relationship between the percentage of locations (indicated on the vertical y-axis) and the TVOC level (indicated on the horizontal x-axis). The green, yellow, orange, and red vertical bars represent divisions between Normal, Moderate, Elevated, and Severe TVOC levels. As the TVOC value increases, individuals may experience aggravated health problems, and therefore, the need to address VOC issues becomes more critical. However, reductions in VOCs can be made at any level.

No government or organization has specified a TVOC limit for indoor air. However, the U.S. Green Building Council (USGBC) has set 500 ng/L as the recommended TVOC limit.

In general:

- < 500 ng/L IAQ is acceptable for most individuals; however, chemically sensitive persons may require lower levels.
- 500 - 1,500 ng/L some effects on the occupants is possible.
- > 1,500 ng/L IAQ should be improved.

Note: These levels are based on observed health effects and have been determined from a combination of published data and the statistical distribution of TVOC concentrations from the IAQ Survey methodology.

The presence of chemicals in your indoor environment can cause a wide range of problems, from an unpleasant odor to physical symptoms (burning and irritation in the eyes, nose, and throat; headaches; nausea; nervous system effects; severe illness; etc.). Anyone with respiratory issues like asthma or allergies, as well as children, the elderly, and pregnant women are more susceptible to poor indoor air quality than healthy individuals.

Click here for more information about VOCs.

The Contamination Index (CI) in the next pages of this report will help guide you through determining what types of products or materials could be problematic for your IAQ, and will provide some recommendations to help reduce or eliminate them.

Contamination Index™

The Contamination Index™ (CI) shows the types of air-contaminating products and materials that are present in the sampled area. Each CI category shows the approximate contribution of that category to the TVOC level, indicates how your location compares to thousands of other locations, and provides some suggestions about which products and materials might be the source for the VOCs. The CI is divided into two main source groups: Building Sources and Occupant Sources.

1. Building Sources are those that are typically part of the structure of the building and may be more difficult to reduce in the short term. Recent construction or renovation often increases the CI categories in this group to the Elevated, High, or Severe levels. VOCs from these activities often decrease substantially in the month following use or application of these products, especially if the area is flushed with air to dissipate the VOCs off gassed from the new products or materials.

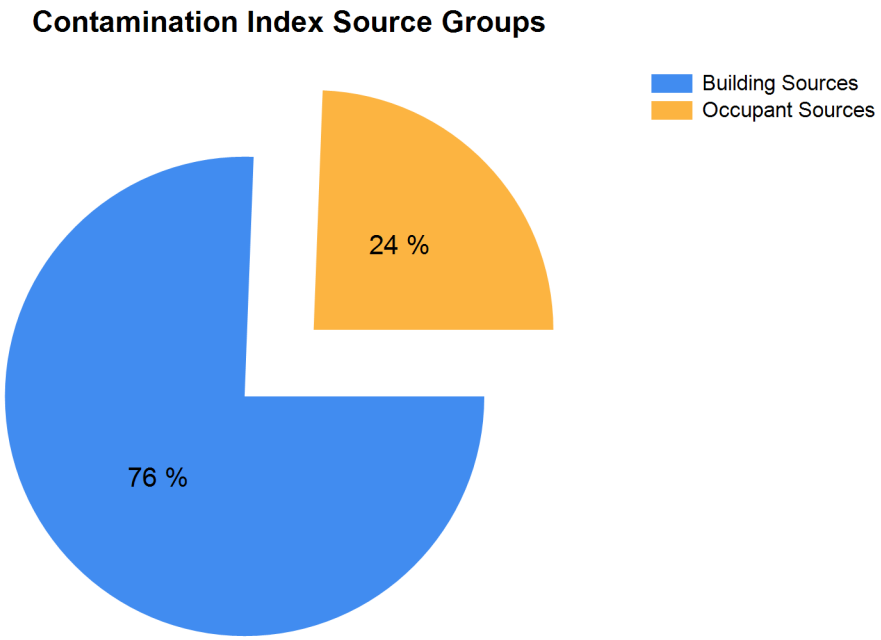
2. Occupant Sources are those that the occupants of the building bring into the building and can usually be more readily identified and remediated. Recent construction or renovation can often contribute to other source categories in addition to Building Sources.

It is possible for a category listed in one source group to belong to another source group. For example, the 'Coatings' category is in the Building Sources group because the largest contribution is typically the paint on the walls, but cans of paint stored in a basement or storage area could be considered part of the Occupant Sources group. Always consider all possible sources for a particular CI category.

The CI categories comprise the most common sources but other products or activities may be present that are not included in the CI. The values assigned to each category are approximations based on typical office and commercial spaces. Locations with additional or atypical sources may require additional investigation to determine the source of certain chemicals that are not accurately represented by the CI.

Since there are potentially many sources of VOCs, buildings can often be re-contaminated even after sources have been removed because new products are constantly being brought into the building. Occupants should take note of this fact, and view IAQ as a continuous improvement process.

The chart below depicts the distribution of the Contamination Index source groups. These source groups are estimates and may not indicate all of the VOCs in your air sample.



Contamination Index™ Building Sources

Use the Contamination Index (CI) below to help you find products and materials in the sampled area that may be affecting your indoor air quality. Removing or reducing these products will improve your air quality. The concentrations reported here are approximate and may not add up to the TVOC value on page 2 of this report. These categories are typically part of the structure of the building and may be more difficult to reduce in the short term. Recent construction or renovation will often cause these categories to be elevated. Increased ventilation will help to reduce VOCs from construction or renovation sources. Levels indicated as Elevated, High, or Severe should be addressed immediately, and those listed as Moderate are areas that can be improved over time.

Building Sources

Contamination Index Category	Estimated VOC Level (ng/L)	Severity	Source Prediction & Suggestions for VOC Reduction
Coatings (Paints, Varnishes, etc.)	61	**Normal**	Includes interior and exterior paints (including low- or no-VOC paints), varnishes, lacquers, some sealants, and other products that can be classified as a coating over a surface. Typically, VOCs from these products are in the 10 to 14 carbon size range and can linger for several months after application, sometimes longer. Ventilate as much as possible during and after application of any of these products. Dispose of opened but unused products and related supplies if possible or store in areas that will minimize off gassing. Additional sources include fuel oil or diesel fuel.
PVC Cement	0	**Normal**	PVC cement is used to join pieces of PVC pipe together, usually for plumbing.
Building Materials-Toluene Based	13	**Moderate**	Adhesives and glues used in construction and maintenance, arts and crafts; adhesive removers; contact cement; sealants; coatings (paint, polyurethane , lacquer, thinner); automotive products, including parts cleaners. Additional sources include gasoline and other fuels. These products should be located and removed or properly stored in a closed airtight container. Ventilate the area during and after use.
Gasoline	22	**Normal**	VOCs from gasoline are typically a result of off-gassing from gas containers, small spills, and gas-powered equipment used in facilities maintenance in nearby garage or storage areas. Most vehicles in good operating condition do not emit gasoline vapors due to the tightly sealed gas tank. This category does not include exhaust emissions. Gasoline VOCs can linger on clothing after refueling at a gas station. Gasoline includes chemical compounds that are also included in the Light Solvents category.
Fuel Oil, Diesel Fuel, Kerosene	0	**Normal**	Typically found in garages and facilities maintenance areas. These fuels are not very volatile so they will not readily get into the air, but they can linger for a long time and produce a strong, unpleasant odor. This category does not include exhaust emissions. Additional sources include coatings such as paints, varnishes, sealants, waxes, etc.
Light Hydrocarbons	1	**Normal**	Building materials; aerosol cans; liquefied petroleum gas (LPG); refrigerant; natural gas; propellant; blowing agent. Includes chemical compounds such as propane, butane, and isobutane.
Light Solvents	18	**Normal**	Stoddard solvent; mineral spirits; some coatings (paints, varnish, enamels, etc.); wax remover; adhesives; automotive products; light oils. Typically, VOCs from these products are in the 6 to 9 carbon size range.

Client Sample ID: Basement Center
Laboratory ID: 119714-4

Contamination Index™ Occupant Sources

Use the Contamination Index (CI) below to help you find products and materials in the sampled area that may be affecting your indoor air quality. Removing or reducing these products will improve your air quality. The concentrations reported here are approximate and may not add up to the TVOC value on page 2 of this report. These categories are typically brought into the building by the occupants and can often be readily identified and removed or contained. Levels indicated as Elevated, High, or Severe should be addressed immediately, and those listed as Moderate are areas that can be improved over time.

Occupant Sources

Contamination Index Category	Estimated VOC Level (ng/L)	Severity	Source Prediction & Suggestions for VOC Reduction
HFCs and CFCs (FreonsTM)	7	**Normal**	Most often used as refrigerants for air conditioners and refrigerator/freezers and propellants for blown-in insulation, cushions, aerosol cans, etc. Many of these chemical compounds are being phased out because of the Montreal Protocol.
Personal Care and Cleaning Products	11	**Normal**	Personal care products such as soap, deodorant, lotions, perfumes, hair coloring supplies, nail care supplies, oral hygiene products, etc. Cleaning agents such as surface, window, and flooring products, also restroom and antibacterial products. These products contain many VOCs that will dissipate if use is discontinued or reduced.
Odorants and Fragrances	18	**Normal**	Air fresheners, scented cleaning products, and scented personal care products.
Dry Cleaning Solvents	0	**Normal**	Typical dry-cleaning methods employ the use of carcinogenic chemicals. Dry-cleaning should be allowed to vent outside, without plastics bags, before being placed inside.

Significant VOCs

Based upon your specific air analysis, the chemical compounds listed below are significant contributors to the TVOC level reported on page 2 of your IAQ Commercial Survey Report or are indicative of specific types of products or problems. Compounds from a variety of chemical classes are represented here, although only the most common or most notable are specifically listed. These chemical compounds may come from a variety of sources as shown in the Contamination Index section of this report.

Locating and removing the source of the chemical compound is the most effective way to reduce the concentration of that chemical compound. If removing the source is not possible, try to contain it in some way (e.g., placing the source in an air-tight container when not in use). In addition, the ventilation system in some locations may not be optimized so evaluate the ventilation system and make adjustments to increase the amount of fresh air. Filter or purify re-circulated inside air to help reduce the TVOC. Since VOCs may continue to off-gas even when the sources are stored, ventilation and air-purification methods will need to be employed continuously in order to keep the VOC levels low.

The Chemical Abstracts Service (CAS) registry number after the chemical compound name in the table below is a unique identifier for that chemical compound and is often the best means to search for additional information. The two VOC levels in the table below (ng/L and ppb) are different ways of describing the same concentration, in some cases exposure limits or other information may be described using one or both of these concentration units.

Compound	CAS	Estimated VOC Level (ng/L)	Estimated VOC Level (ppb)	Description
Toluene	108-88-3	17	4	Gasoline; adhesives (building and arts/crafts); contact cement; solvent; heavy duty cleaner
Methylene Chloride	75-09-2	7	2	Automotive products; degreasing solvent; paint stripper; adhesive remover; aerosol propellant; insecticide
Carbonyl Sulfide	463-58-1	6	2	Fumigant; contaminated drywall; fuel combustion byproduct; some foods; naturally occurring at low levels

Supplemental Information: Odorants

Many chemical compounds have odors associated with them, some pleasant and some unpleasant. These odors can combine to create different odors, making odor identification more difficult. The odor descriptions for the compounds reported in this air sample are listed below as well as some of the more common sources.

Compound	CAS	Conc. (ppb)	Odor Range (ppb)	Odor Description
Carbonyl Sulfide	463-58-1	2	57 - 102	unpleasant
Methylene Chloride	75-09-2	2	1,200 - 440,000	sweet
Toluene	108-88-3	4	21 - 157,000	sour, burnt

Supplemental Information: EPA Hazardous Air Pollutants (HAPs)

Hazardous air pollutants, also known as toxic air pollutants or air toxics, are those pollutants that are known or suspected to cause cancer or other serious health effects, such as reproductive effects or birth defects, or adverse environmental effects. Listed below are those HAPs that were detected with the IAQ Commercial Survey VOC test. This list does not include all HAPs. The '<' (less than) symbol in the 'Estimated VOC Level' columns indicates the compound is below the reporting limit for this air sample and therefore can be considered absent from the air sample. For more information about HAPs visit the EPA Air Toxics website. The exposure limits listed below can also be found in the NIOSH Guide to Chemical Hazards. The HAPs in the table below may also be listed as Significant VOCs if the concentration of that chemical compound is greater than the threshold level for a Significant VOC.

Compound	CAS	Estimated VOC Level (ng/L)	Estimated VOC Level (ppb)	NIOSH Exposure Limit	Description
Carbonyl Sulfide	463-58-1	6	2	None Listed	Fumigant; contaminated drywall; fuel combustion byproduct; some foods; naturally occurring at low levels
Methylene Chloride	75-09-2	7	2	Carcinogen	Automotive products; degreasing solvent; paint stripper; adhesive remover; aerosol propellant; insecticide
Toluene	108-88-3	17	4	375,000 ng/L (100,000 ppb)	Gasoline; adhesives (building and arts/crafts); contact cement; solvent; heavy duty cleaner
Styrene	100-42-5	2	0.4	215,000 ng/L (50,000 ppb)	Polystyrene foam; synthetic rubber; flavoring agent

These results pertain only to this sample as it was collected and to the items reported.
These results have been reviewed and approved by the Laboratory Director or approved representative.

ENTHALPY ANALYTICAL
formerly *Prism Analytical Technologies*

IAQ Commercial Survey™ Basic™

Client Sample ID: Floor 1 Left Hall
Laboratory ID: 119714-2

Client: RTK Environmental Group
29 Bank Street Suite 3
Stamford, CT 06901
United States

Sampled By: Thomas Taylor
Project: Cortlandt, NY 41340
Location: 2302 Catherine Street
-

Client Sample ID: Floor 1 Left Hall
Sample Volume (L): 12.0
Date Sampled: 07/15/2025
Sample Type: TDT AJ630
Sample Condition: On Hold

Report Number: 119714

Thank you for using IAQ Commercial Survey!
If you have questions about your report, please contact your service provider who performed this test.

Receive Date: 07/17/2025
Approve Date: 08/11/2025
Scan Date: 08/11/2025
Report Date: 08/13/2025

IAQ Commercial Survey™ is one of the most advanced, trusted air testing products on the market today for identifying chemical sources and active mold growth. Many indoor air quality (IAQ) issues identified by IAQ Commercial Survey can be easily remediated or eliminated. This test is an invaluable tool for improving air quality because it provides important information on potential contamination issues that cannot be detected by a visual inspection alone. Acting upon the information in this report will enable you to dramatically improve the air quality, creating a healthier environment.

Your Indoor Air Quality Report Summary

Your Indoor Air Quality Report has several sections describing different aspects of your air quality. A summary of this data is provided below, additional information and descriptions are included in the full report.

Total Volatile Organic Compounds (TVOC) Level

TVOC is a general indicator of the IAQ (see page 2).

Total VOCs **370 ng/L**

Contamination Index (CI) Level

The CI shows the types of air-contaminating products and materials that are present in the sampled area (see pages 4 and 5). These levels are estimates based on common products and activities.

Building Sources

See page 4 for more detail.

N	Coatings (Paints, Varnishes, etc.)
N	PVC Cement
N	Building Materials-Toluene Based
N	Gasoline
N	Fuel Oil, Diesel Fuel, Kerosene
N	Light Hydrocarbons
N	Light Solvents

Occupant Sources

See page 5 for more detail.

N	HFCs and CFCs (FreonsTM)
N	Personal Care and Cleaning Products
N	Odorants and Fragrances
N	Dry Cleaning Solvents

Note: Severity levels begin at Normal or Minimal and progress through Moderate, Elevated, High and/or Severe. The color progression from green to red indicates results that are increasingly atypical and suggest potentially higher risk.

All Severity classifications are based on empirical data and should not be taken as a pass/fail or conformance to a published specified limit.

Normal	Moderate	Elevated	High	Severe

Enthalpy Analytical, LLC (MTP), the creator of IAQ Home and Commercial Survey, has been performing air quality assessments to industry and environmental consultants since 1995. Enthalpy Analytical, LLC (MTP) (ID 166272) is accredited by the AIHA Laboratory Accreditation Programs (AIHA-LAP), LLC in the Industrial Hygiene accreditation program for GC-MS Field of Testing as documented by the Scope of Accreditation Certificate and associated Scope. This analysis references methods EPA TO-17 and ISO 16000-6, which fall within the Scope of Accreditation.

Client Sample ID: Floor 1 Left Hall
Laboratory ID: 119714-2

Total Volatile Organic Compound (TVOC) Summary

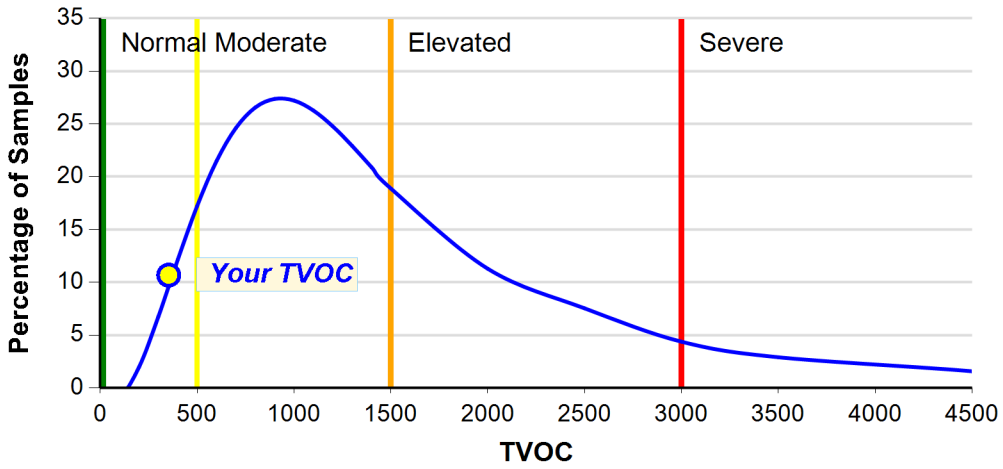
Your TVOC Level is: 370 ng/L

IAQ is acceptable for most individuals; chemically sensitive persons may require lower levels.

Your Indoor Air Quality Level (Highlighted)

Normal	Moderate	Elevated	Severe
< 500 ng/L	500 - 1500 ng/L	1500 - 3000 ng/L	> 3000 ng/L

All IAQ Survey TVOC
Air Quality Indicator



The average TVOC is 1900 ng/L

This chart represents the TVOC distribution of over 45,000 samples. Over 80% of these samples indicate improvements in IAQ are necessary to achieve the goal of TVOC less than 500 ng/L.

The chart above shows the TVOC levels for all locations tested using IAQ Survey. Results for this air sample are displayed on the chart as a yellow circle. The blue curved line represents the relationship between the percentage of locations (indicated on the vertical y-axis) and the TVOC level (indicated on the horizontal x-axis). The green, yellow, orange, and red vertical bars represent divisions between Normal, Moderate, Elevated, and Severe TVOC levels. As the TVOC value increases, individuals may experience aggravated health problems, and therefore, the need to address VOC issues becomes more critical. However, reductions in VOCs can be made at any level.

No government or organization has specified a TVOC limit for indoor air. However, the U.S. Green Building Council (USGBC) has set 500 ng/L as the recommended TVOC limit.

In general:

- < 500 ng/L IAQ is acceptable for most individuals; however, chemically sensitive persons may require lower levels.
- 500 - 1,500 ng/L some effects on the occupants is possible.
- > 1,500 ng/L IAQ should be improved.

Note: These levels are based on observed health effects and have been determined from a combination of published data and the statistical distribution of TVOC concentrations from the IAQ Survey methodology.

The presence of chemicals in your indoor environment can cause a wide range of problems, from an unpleasant odor to physical symptoms (burning and irritation in the eyes, nose, and throat; headaches; nausea; nervous system effects; severe illness; etc.). Anyone with respiratory issues like asthma or allergies, as well as children, the elderly, and pregnant women are more susceptible to poor indoor air quality than healthy individuals.

Click here for more information about VOCs.

The Contamination Index (CI) in the next pages of this report will help guide you through determining what types of products or materials could be problematic for your IAQ, and will provide some recommendations to help reduce or eliminate them.

Contamination Index™

The Contamination Index™ (CI) shows the types of air-contaminating products and materials that are present in the sampled area. Each CI category shows the approximate contribution of that category to the TVOC level, indicates how your location compares to thousands of other locations, and provides some suggestions about which products and materials might be the source for the VOCs. The CI is divided into two main source groups: Building Sources and Occupant Sources.

1. Building Sources are those that are typically part of the structure of the building and may be more difficult to reduce in the short term. Recent construction or renovation often increases the CI categories in this group to the Elevated, High, or Severe levels. VOCs from these activities often decrease substantially in the month following use or application of these products, especially if the area is flushed with air to dissipate the VOCs off gassed from the new products or materials.

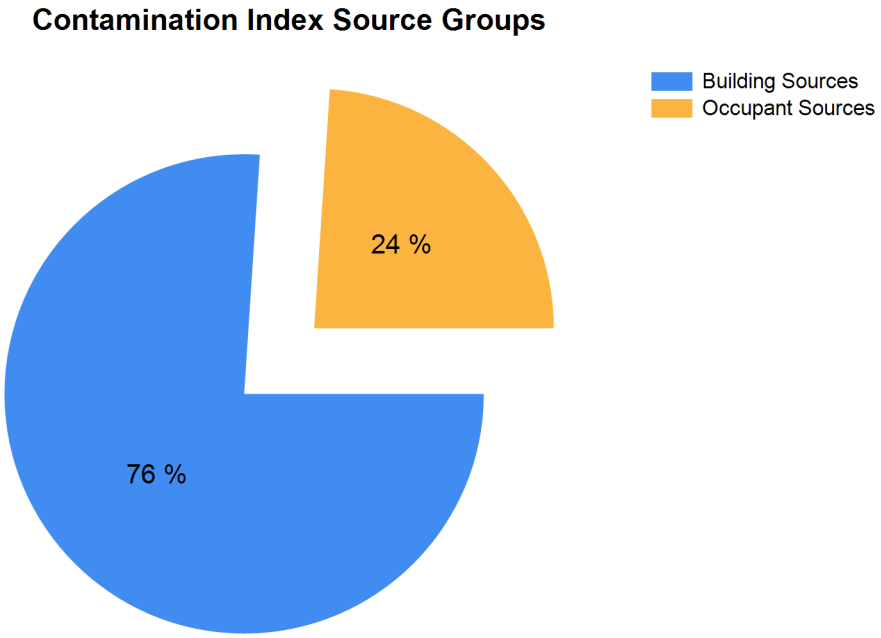
2. Occupant Sources are those that the occupants of the building bring into the building and can usually be more readily identified and remediated. Recent construction or renovation can often contribute to other source categories in addition to Building Sources.

It is possible for a category listed in one source group to belong to another source group. For example, the 'Coatings' category is in the Building Sources group because the largest contribution is typically the paint on the walls, but cans of paint stored in a basement or storage area could be considered part of the Occupant Sources group. Always consider all possible sources for a particular CI category.

The CI categories comprise the most common sources but other products or activities may be present that are not included in the CI. The values assigned to each category are approximations based on typical office and commercial spaces. Locations with additional or atypical sources may require additional investigation to determine the source of certain chemicals that are not accurately represented by the CI.

Since there are potentially many sources of VOCs, buildings can often be re-contaminated even after sources have been removed because new products are constantly being brought into the building. Occupants should take note of this fact, and view IAQ as a continuous improvement process.

The chart below depicts the distribution of the Contamination Index source groups. These source groups are estimates and may not indicate all of the VOCs in your air sample.



Contamination Index™ Building Sources

Use the Contamination Index (CI) below to help you find products and materials in the sampled area that may be affecting your indoor air quality. Removing or reducing these products will improve your air quality. The concentrations reported here are approximate and may not add up to the TVOC value on page 2 of this report. These categories are typically part of the structure of the building and may be more difficult to reduce in the short term. Recent construction or renovation will often cause these categories to be elevated. Increased ventilation will help to reduce VOCs from construction or renovation sources. Levels indicated as Elevated, High, or Severe should be addressed immediately, and those listed as Moderate are areas that can be improved over time.

Building Sources

Contamination Index Category	Estimated VOC Level (ng/L)	Severity	Source Prediction & Suggestions for VOC Reduction
Coatings (Paints, Varnishes, etc.)	98	**Normal**	Includes interior and exterior paints (including low- or no-VOC paints), varnishes, lacquers, some sealants, and other products that can be classified as a coating over a surface. Typically, VOCs from these products are in the 10 to 14 carbon size range and can linger for several months after application, sometimes longer. Ventilate as much as possible during and after application of any of these products. Dispose of opened but unused products and related supplies if possible or store in areas that will minimize off gassing. Additional sources include fuel oil or diesel fuel.
PVC Cement	0	**Normal**	PVC cement is used to join pieces of PVC pipe together, usually for plumbing.
Building Materials-Toluene Based	0	**Normal**	Adhesives and glues used in construction and maintenance, arts and crafts; adhesive removers; contact cement; sealants; coatings (paint, polyurethane , lacquer, thinner); automotive products, including parts cleaners. Additional sources include gasoline and other fuels.
Gasoline	18	**Normal**	VOCs from gasoline are typically a result of off-gassing from gas containers, small spills, and gas-powered equipment used in facilities maintenance in nearby garage or storage areas. Most vehicles in good operating condition do not emit gasoline vapors due to the tightly sealed gas tank. This category does not include exhaust emissions. Gasoline VOCs can linger on clothing after refueling at a gas station. Gasoline includes chemical compounds that are also included in the Light Solvents category.
Fuel Oil, Diesel Fuel, Kerosene	0	**Normal**	Typically found in garages and facilities maintenance areas. These fuels are not very volatile so they will not readily get into the air, but they can linger for a long time and produce a strong, unpleasant odor. This category does not include exhaust emissions. Additional sources include coatings such as paints, varnishes, sealants, waxes, etc.
Light Hydrocarbons	2	**Normal**	Building materials; aerosol cans; liquefied petroleum gas (LPG); refrigerant; natural gas; propellant; blowing agent. Includes chemical compounds such as propane, butane, and isobutane.
Light Solvents	48	**Normal**	Stoddard solvent; mineral spirits; some coatings (paints, varnish, enamels, etc.); wax remover; adhesives; automotive products; light oils. Typically, VOCs from these products are in the 6 to 9 carbon size range.

Contamination Index™ Occupant Sources

Use the Contamination Index (CI) below to help you find products and materials in the sampled area that may be affecting your indoor air quality. Removing or reducing these products will improve your air quality. The concentrations reported here are approximate and may not add up to the TVOC value on page 2 of this report. These categories are typically brought into the building by the occupants and can often be readily identified and removed or contained. Levels indicated as Elevated, High, or Severe should be addressed immediately, and those listed as Moderate are areas that can be improved over time.

Occupant Sources

Contamination Index Category	Estimated VOC Level (ng/L)	Severity	Source Prediction & Suggestions for VOC Reduction
HFCs and CFCs (FreonsTM)	6	**Normal**	Most often used as refrigerants for air conditioners and refrigerator/freezers and propellants for blown-in insulation, cushions, aerosol cans, etc. Many of these chemical compounds are being phased out because of the Montreal Protocol.
Personal Care and Cleaning Products	26	**Normal**	Personal care products such as soap, deodorant, lotions, perfumes, hair coloring supplies, nail care supplies, oral hygiene products, etc. Cleaning agents such as surface, window, and flooring products, also restroom and antibacterial products. These products contain many VOCs that will dissipate if use is discontinued or reduced.
Odorants and Fragrances	20	**Normal**	Air fresheners, scented cleaning products, and scented personal care products.
Dry Cleaning Solvents	0	**Normal**	Typical dry-cleaning methods employ the use of carcinogenic chemicals. Dry-cleaning should be allowed to vent outside, without plastics bags, before being placed inside.

Significant VOCs

Based upon your specific air analysis, the chemical compounds listed below are significant contributors to the TVOC level reported on page 2 of your IAQ Commercial Survey Report or are indicative of specific types of products or problems. Compounds from a variety of chemical classes are represented here, although only the most common or most notable are specifically listed. These chemical compounds may come from a variety of sources as shown in the Contamination Index section of this report.

Locating and removing the source of the chemical compound is the most effective way to reduce the concentration of that chemical compound. If removing the source is not possible, try to contain it in some way (e.g., placing the source in an air-tight container when not in use). In addition, the ventilation system in some locations may not be optimized so evaluate the ventilation system and make adjustments to increase the amount of fresh air. Filter or purify re-circulated inside air to help reduce the TVOC. Since VOCs may continue to off-gas even when the sources are stored, ventilation and air-purification methods will need to be employed continuously in order to keep the VOC levels low.

The Chemical Abstracts Service (CAS) registry number after the chemical compound name in the table below is a unique identifier for that chemical compound and is often the best means to search for additional information. The two VOC levels in the table below (ng/L and ppb) are different ways of describing the same concentration, in some cases exposure limits or other information may be described using one or both of these concentration units.

Compound	CAS	Estimated VOC Level (ng/L)	Estimated VOC Level (ppb)	Description

The notes below indicate any additional significant compounds present in this air sample or other noteworthy information.

No significant VOCs were detected in this air sample.

Supplemental Information: Odorants

Many chemical compounds have odors associated with them, some pleasant and some unpleasant. These odors can combine to create different odors, making odor identification more difficult. The odor descriptions for the compounds reported in this air sample are listed below as well as some of the more common sources.

Supplemental Information: EPA Hazardous Air Pollutants (HAPs)

Hazardous air pollutants, also known as toxic air pollutants or air toxics, are those pollutants that are known or suspected to cause cancer or other serious health effects, such as reproductive effects or birth defects, or adverse environmental effects. Listed below are those HAPs that were detected with the IAQ Commercial Survey VOC test. This list does not include all HAPs. The '<' (less than) symbol in the 'Estimated VOC Level' columns indicates the compound is below the reporting limit for this air sample and therefore can be considered absent from the air sample. For more information about HAPs visit the EPA Air Toxics website. The exposure limits listed below can also be found in the NIOSH Guide to Chemical Hazards. The HAPs in the table below may also be listed as Significant VOCs if the concentration of that chemical compound is greater than the threshold level for a Significant VOC.

Compound	CAS	Estimated VOC Level (ng/L)	Estimated VOC Level (ppb)	NIOSH Exposure Limit	Description
Carbonyl Sulfide	463-58-1	1	0.4	None Listed	Fumigant; contaminated drywall; fuel combustion byproduct; some foods; naturally occurring at low levels
Methylene Chloride	75-09-2	2	0.5	Carcinogen	Automotive products; degreasing solvent; paint stripper; adhesive remover; aerosol propellant; insecticide
Toluene	108-88-3	2	0.6	375,000 ng/L (100,000 ppb)	Gasoline; adhesives (building and arts/crafts); contact cement; solvent; heavy duty cleaner

These results pertain only to this sample as it was collected and to the items reported.
These results have been reviewed and approved by the Laboratory Director or approved representative.

ENTHALPY ANALYTICAL
formerly *Prism Analytical Technologies*

IAQ Commercial Survey™
Formaldehyde

Air Analysis For*: Cortlandt, NY 41340
Location Tested*: 2302 Catherine Street
-

Sampling Professional*: Thomas Taylor
RTK Environmental Group
29 Bank Street Suite 3
Stamford, CT 06901
United States

Client Sample ID*: Basement Center
Sample Volume (L)*: 4.0
Date Sampled*: 07/15/2025
Sample Type*: TDT AJ501
Sample Condition: On Hold

* Customer supplied information

Report Number: 119714
Laboratory ID: 119714-8

Thank you for using IAQ Commercial Survey!
If you have questions about your report, please contact your service provider who performed this test.

Order Date: 08/11/2025
Scan Date: 08/12/2025
Report Date: 08/13/2025

Formaldehyde Concentration: 28 ng/L or 23 ppb

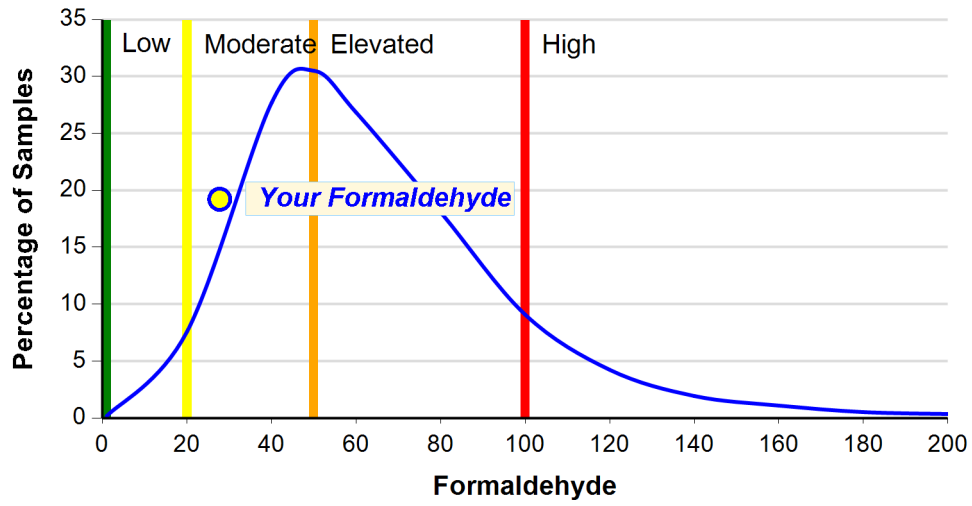
Report Limit: 15 ng/L
*Values** ± 21%*

Your Formaldehyde Level (Highlighted)

Low	Moderate	Elevated	High
< 20 ng/L < 16 ppb	20-50 ng/L 16-40 ppb	50-100 ng/L 40-80 ppb	> 100 ng/L > 80 ppb

Recommendation: Moderate formaldehyde level but improvements can be achieved by locating and removing sources. See formaldehyde sources section for more information.

All IAQ Survey Formaldehyde Results



This chart represents the Formaldehyde distribution of over 29,000 samples.

Approximately half the samples have concentrations in the 30-70 ng/L range.

The chart above shows the formaldehyde concentrations for all locations tested using IAQ Survey. Results for this air sample are displayed on the chart as a yellow circle. The blue curved line represents the relationship between the percentage of locations (indicated on the vertical y-axis) and the formaldehyde concentration (indicated on the horizontal x-axis). The green, yellow, orange, and red vertical bars represent divisions between Low, Moderate, Elevated, and High formaldehyde concentrations.

Formaldehyde concentrations can vary depending on environmental conditions such as temperature, humidity, and ventilation rate. As temperature and humidity increase, the formaldehyde concentration will increase and as the ventilation rate increases, the formaldehyde concentration will decrease.

*** Expanded measurement uncertainty*

Enthalpy Analytical, LLC (MTP), the creator of IAQ Commercial Survey, has been performing air quality assessments to industry and environmental consultants since 1995. Enthalpy Analytical, LLC (MTP) (ID 166272) is accredited by the AIHA Laboratory Accreditation Programs, LLC (AIHA-LAP, LLC) in the Unique Scope accreditation program for Formaldehyde as documented by the Scope of Accreditation Certificate and associated Scope. Reference internal SOP 523.

Formaldehyde Exposure Guidelines

The US Occupational Safety and Health Administration (OSHA) has set a workplace **permissible exposure limit** (PEL) of 940 ng/L (750 parts per billion). The National Institute for Occupational Safety and Health (NIOSH) has set a **recommended exposure limit** (REL) of 20 ng/L (16 ppb) with a 120 ng/L (100 ppb) 15 minute ceiling limit.

Although these formaldehyde concentration limits are applicable to all types of workplace environments, most office or retail locations without additional occupational exposure (e.g., industrial or manufacturing processes generating formaldehyde) typically have formaldehyde concentrations less than 100 ng/L (80 ppb). Most indoor environments measured by this air test have concentrations in the range of 30 to 70 ng/L.

The table below provides some of the limits applicable to workplace environments. In general, formaldehyde concentrations should be kept as low as reasonably achievable.

Organization	Concentration		Type
	ng/L	ppb	
OSHA	630	500	Action Level (8 hour)
	940	750	PEL (8 hour)
	2,500	2,000	STEL (15 min)
NIOSH	20	16	REL (8 hour)
	120	100	Ceiling (15 min)
ACGIH	125	100	TLV (8 hour)
LEED	32	27	Green Building (4 hour)
WHO	100	80	Short-Term (0.5 hour)

OSHA: Occupational Health and Safety Administration
NIOSH: National Institute for Occupational Safety and Health
ACGIH: American Conference of Governmental Industrial Hygienists
LEED: Leadership in Energy & Environmental Design (Green Building Council)
WHO: World Health Organization

PEL: Permissible Exposure Limit
REL: Recommended Exposure Limit
TLV: Threshold Limit Value
TWA: Time Weighted Average
STEL: Short Term Exposure Limit

Note: Concentration can be expressed in several ways and various organizations may use different units.
1 ng/L = 1 $\mu g/m^3$ = 0.001 mg/m^3
1 ppb = 0.001 ppm
To convert between the two sets of units listed above the molecular weight of formaldehyde must be used, which produces the conversion factors below:
ppb concentration = ng/L concentration * 0.8 or ng/L concentration= ppb concentration * 1.25

Major Health Effects of Formaldehyde Exposure

Health effects vary depending on the individual. Common symptoms of acute exposure include irritation of the throat, nose, eyes, and skin; this irritation can potentially exacerbate asthma symptoms and other respiratory illnesses. Long term, or chronic, exposure may also cause chronic runny nose, chronic bronchitis, and obstructive lung disease. In 2004, the International Agency for Research on Cancer (IARC) reclassified formaldehyde from "probably carcinogenic to humans" to "carcinogenic to humans" related to nasopharyngeal cancer. Since many factors are involved in the development of cancer, no definitive "safe level" of exposure has been established. The best way to reduce the risk of cancer is to limit exposure.

Formaldehyde Sources

There are many possible sources for formaldehyde in the indoor environment, although building products typically make up a large proportion of the concentration. Any recent renovation or new material brought into the building is likely to increase the formaldehyde levels. The concentration will decrease over time as the materials off gas, so increasing the ventilation as much as possible is typically the best way to quickly decrease formaldehyde after recent renovation or installation of new materials.

- Products that contain urea-formaldehyde (UF) resins
  - particleboard, hardwood plywood paneling, medium density fiberboard
- Products that contain phenol-formaldehyde (PF) resins (lower concentrations of formaldehyde than UF resins)
  - softwood plywood, flake or oriented strand board
- Pre-finished engineered flooring
- Insulation
- Glues and adhesives
- Paints and coatings
- Textiles
- Disinfectant cleaning products and soaps
- Preservatives
- Personal care products, especially certain hair products
- Cosmetics
- Pet care products
- Bactericides and fungicides
- Combustion byproduct (burning)
  - Tobacco smoke and fuel-burning appliances (gas stoves, kerosene space heaters and fireplaces)

Formaldehyde is also produced naturally in living systems, e.g., trees and other plant life, and during decay and combustion processes. Formaldehyde is also involved in atmospheric processes. Outdoor concentrations of formaldehyde from both natural and man-made sources can range from less than 1 ng/L in remote areas to 10-20 ng/L in urban environments.

Additional Resources

US OSHA Toxic and Hazardous Substances-Formaldehyde
US OSHA Fact Sheet-Formaldehyde
US NIOSH Formaldehyde
World Health Organization (WHO) Air Quality Guidelines for Europe, 2nd Edition (2000); pg 87-91
Europe: Report No. 7-Indoor Air Pollution by Formaldehyde in European Countries (1990)
US Consumer Product Safety Commission (CPSC) Update on Formaldehyde (2013)
US Environmental Protection Agency: Formaldehyde
US Agency for Toxic Substances and Disease Registry (ATSDR): Formaldehyde ToxFAQs™
US National Institutes of Health (NIH): ToxTown: Formaldehyde
Chemical Reviews (Journal): Formaldehyde in the Indoor Environment
Household Products Database: Formaldehyde

These results pertain only to this sample as it was collected and to the items reported.
These results have been reviewed and approved by the Laboratory Director or approved representative.

ENTHALPY ANALYTICAL
formerly *Prism Analytical Technologies*

IAQ Commercial Survey™
Formaldehyde

Air Analysis For*: Cortlandt, NY 41340
Location Tested*: 2302 Catherine Street
-

Sampling Professional*: Thomas Taylor
RTK Environmental Group
29 Bank Street Suite 3
Stamford, CT 06901
United States

Client Sample ID*: Floor 1 Left Hall
Sample Volume (L)*: 4.0
Date Sampled*: 07/15/2025
Sample Type*: TDT ZZ290
Sample Condition: On Hold

* Customer supplied information

Report Number: 119714
Laboratory ID: 119714-6

Thank you for using IAQ Commercial Survey!
If you have questions about your report, please contact your service provider who performed this test.

Order Date: 08/11/2025
Scan Date: 08/12/2025
Report Date: 08/13/2025

Formaldehyde Concentration: 45 ng/L or 36 ppb

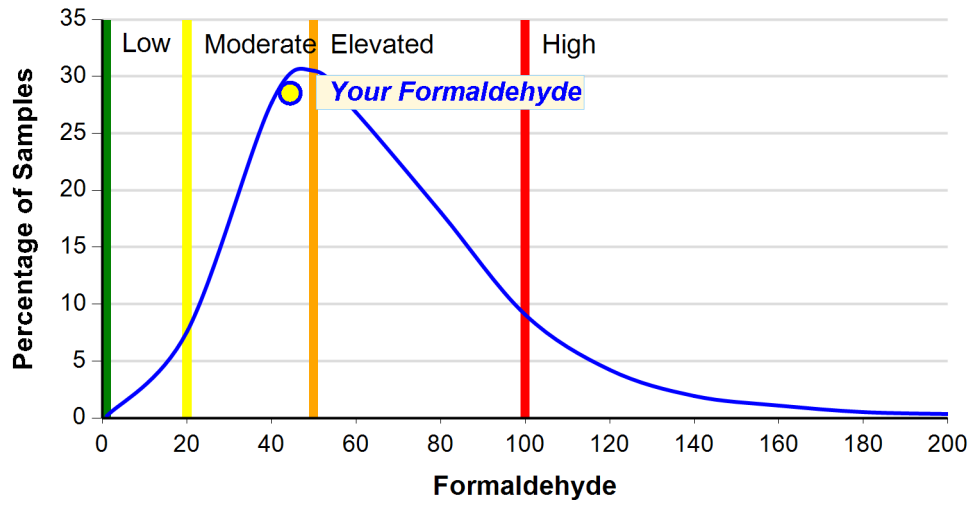
Report Limit: 15 ng/L
*Values** ± 21%*

Your Formaldehyde Level (Highlighted)

Low	Moderate	Elevated	High
< 20 ng/L < 16 ppb	20-50 ng/L 16-40 ppb	50-100 ng/L 40-80 ppb	> 100 ng/L > 80 ppb

Recommendation: Moderate formaldehyde level but improvements can be achieved by locating and removing sources. See formaldehyde sources section for more information.

All IAQ Survey Formaldehyde Results



This chart represents the Formaldehyde distribution of over 29,000 samples.

Approximately half the samples have concentrations in the 30-70 ng/L range.

The chart above shows the formaldehyde concentrations for all locations tested using IAQ Survey. Results for this air sample are displayed on the chart as a yellow circle. The blue curved line represents the relationship between the percentage of locations (indicated on the vertical y-axis) and the formaldehyde concentration (indicated on the horizontal x-axis). The green, yellow, orange, and red vertical bars represent divisions between Low, Moderate, Elevated, and High formaldehyde concentrations.

Formaldehyde concentrations can vary depending on environmental conditions such as temperature, humidity, and ventilation rate. As temperature and humidity increase, the formaldehyde concentration will increase and as the ventilation rate increases, the formaldehyde concentration will decrease.

*** Expanded measurement uncertainty*

Enthalpy Analytical, LLC (MTP), the creator of IAQ Commercial Survey, has been performing air quality assessments to industry and environmental consultants since 1995. Enthalpy Analytical, LLC (MTP) (ID 166272) is accredited by the AIHA Laboratory Accreditation Programs, LLC (AIHA-LAP, LLC) in the Unique Scope accreditation program for Formaldehyde as documented by the Scope of Accreditation Certificate and associated Scope. Reference internal SOP 523.

Formaldehyde Exposure Guidelines

The US Occupational Safety and Health Administration (OSHA) has set a workplace **permissible exposure limit** (PEL) of 940 ng/L (750 parts per billion). The National Institute for Occupational Safety and Health (NIOSH) has set a **recommended exposure limit** (REL) of 20 ng/L (16 ppb) with a 120 ng/L (100 ppb) 15 minute ceiling limit.

Although these formaldehyde concentration limits are applicable to all types of workplace environments, most office or retail locations without additional occupational exposure (e.g., industrial or manufacturing processes generating formaldehyde) typically have formaldehyde concentrations less than 100 ng/L (80 ppb). Most indoor environments measured by this air test have concentrations in the range of 30 to 70 ng/L.

The table below provides some of the limits applicable to workplace environments. In general, formaldehyde concentrations should be kept as low as reasonably achievable.

Organization	Concentration		Type
	ng/L	ppb	
OSHA	630	500	Action Level (8 hour)
	940	750	PEL (8 hour)
	2,500	2,000	STEL (15 min)
NIOSH	20	16	REL (8 hour)
	120	100	Ceiling (15 min)
ACGIH	125	100	TLV (8 hour)
LEED	32	27	Green Building (4 hour)
WHO	100	80	Short-Term (0.5 hour)

OSHA: Occupational Health and Safety Administration
NIOSH: National Institute for Occupational Safety and Health
ACGIH: American Conference of Governmental Industrial Hygienists
LEED: Leadership in Energy & Environmental Design (Green Building Council)
WHO: World Health Organization

PEL: Permissible Exposure Limit
REL: Recommended Exposure Limit
TLV: Threshold Limit Value
TWA: Time Weighted Average
STEL: Short Term Exposure Limit

Note: Concentration can be expressed in several ways and various organizations may use different units.
1 ng/L = 1 $\mu g/m^3$ = 0.001 mg/m^3
1 ppb = 0.001 ppm
To convert between the two sets of units listed above the molecular weight of formaldehyde must be used, which produces the conversion factors below:
ppb concentration = ng/L concentration * 0.8 or ng/L concentration= ppb concentration * 1.25

Major Health Effects of Formaldehyde Exposure

Health effects vary depending on the individual. Common symptoms of acute exposure include irritation of the throat, nose, eyes, and skin; this irritation can potentially exacerbate asthma symptoms and other respiratory illnesses. Long term, or chronic, exposure may also cause chronic runny nose, chronic bronchitis, and obstructive lung disease. In 2004, the International Agency for Research on Cancer (IARC) reclassified formaldehyde from "probably carcinogenic to humans" to "carcinogenic to humans" related to nasopharyngeal cancer. Since many factors are involved in the development of cancer, no definitive "safe level" of exposure has been established. The best way to reduce the risk of cancer is to limit exposure.

Formaldehyde Sources

There are many possible sources for formaldehyde in the indoor environment, although building products typically make up a large proportion of the concentration. Any recent renovation or new material brought into the building is likely to increase the formaldehyde levels. The concentration will decrease over time as the materials off gas, so increasing the ventilation as much as possible is typically the best way to quickly decrease formaldehyde after recent renovation or installation of new materials.

- Products that contain urea-formaldehyde (UF) resins
  - particleboard, hardwood plywood paneling, medium density fiberboard
- Products that contain phenol-formaldehyde (PF) resins (lower concentrations of formaldehyde than UF resins)
  - softwood plywood, flake or oriented strand board
- Pre-finished engineered flooring
- Insulation
- Glues and adhesives
- Paints and coatings
- Textiles
- Disinfectant cleaning products and soaps
- Preservatives
- Personal care products, especially certain hair products
- Cosmetics
- Pet care products
- Bactericides and fungicides
- Combustion byproduct (burning)
  - Tobacco smoke and fuel-burning appliances (gas stoves, kerosene space heaters and fireplaces)

Formaldehyde is also produced naturally in living systems, e.g., trees and other plant life, and during decay and combustion processes. Formaldehyde is also involved in atmospheric processes. Outdoor concentrations of formaldehyde from both natural and man-made sources can range from less than 1 ng/L in remote areas to 10-20 ng/L in urban environments.

Additional Resources

US OSHA Toxic and Hazardous Substances-Formaldehyde
US OSHA Fact Sheet-Formaldehyde
US NIOSH Formaldehyde
World Health Organization (WHO) Air Quality Guidelines for Europe, 2nd Edition (2000); pg 87-91
Europe: Report No. 7-Indoor Air Pollution by Formaldehyde in European Countries (1990)
US Consumer Product Safety Commission (CPSC) Update on Formaldehyde (2013)
US Environmental Protection Agency: Formaldehyde
US Agency for Toxic Substances and Disease Registry (ATSDR): Formaldehyde ToxFAQs™
US National Institutes of Health (NIH): ToxTown: Formaldehyde
Chemical Reviews (Journal): Formaldehyde in the Indoor Environment
Household Products Database: Formaldehyde

These results pertain only to this sample as it was collected and to the items reported.
These results have been reviewed and approved by the Laboratory Director or approved representative.

ENTHALPY ANALYTICAL
formerly *Prism Analytical Technologies*

IAQ Commercial Survey™ Basic™

Client Sample ID: Floor 1 Right Chapel
Laboratory ID: 119714-3

Client: RTK Environmental Group
29 Bank Street Suite 3
Stamford, CT 06901
United States

Sampled By: Thomas Taylor
Project: Cortlandt, NY 41340
Location: 2302 Catherine Street
-

Client Sample ID: Floor 1 Right Chapel
Sample Volume (L): 12.0
Date Sampled: 07/15/2025
Sample Type: TDT AM573
Sample Condition: On Hold

Report Number: 119714

Thank you for using IAQ Commercial Survey!
If you have questions about your report, please contact your service provider who performed this test.

Receive Date: 07/17/2025
Approve Date: 08/11/2025
Scan Date: 08/11/2025
Report Date: 08/13/2025

IAQ Commercial Survey™ is one of the most advanced, trusted air testing products on the market today for identifying chemical sources and active mold growth. Many indoor air quality (IAQ) issues identified by IAQ Commercial Survey can be easily remediated or eliminated. This test is an invaluable tool for improving air quality because it provides important information on potential contamination issues that cannot be detected by a visual inspection alone. Acting upon the information in this report will enable you to dramatically improve the air quality, creating a healthier environment.

Your Indoor Air Quality Report Summary

Your Indoor Air Quality Report has several sections describing different aspects of your air quality. A summary of this data is provided below, additional information and descriptions are included in the full report.

Total Volatile Organic Compounds (TVOC) Level

TVOC is a general indicator of the IAQ (see page 2).

Total VOCs **380 ng/L**

Contamination Index (CI) Level

The CI shows the types of air-contaminating products and materials that are present in the sampled area (see pages 4 and 5). These levels are estimates based on common products and activities.

Building Sources

See page 4 for more detail.

N	Coatings (Paints, Varnishes, etc.)
N	PVC Cement
N	Building Materials-Toluene Based
N	Gasoline
N	Fuel Oil, Diesel Fuel, Kerosene
N	Light Hydrocarbons
N	Light Solvents

Occupant Sources

See page 5 for more detail.

N	HFCs and CFCs (FreonsTM)
N	Personal Care and Cleaning Products
N	Odorants and Fragrances
N	Dry Cleaning Solvents

Note: Severity levels begin at Normal or Minimal and progress through Moderate, Elevated, High and/or Severe. The color progression from green to red indicates results that are increasingly atypical and suggest potentially higher risk.

All Severity classifications are based on empirical data and should not be taken as a pass/fail or conformance to a published specified limit.

Normal	Moderate	Elevated	High	Severe

Enthalpy Analytical, LLC (MTP), the creator of IAQ Home and Commercial Survey, has been performing air quality assessments to industry and environmental consultants since 1995. Enthalpy Analytical, LLC (MTP) (ID 166272) is accredited by the AIHA Laboratory Accreditation Programs (AIHA-LAP), LLC in the Industrial Hygiene accreditation program for GC-MS Field of Testing as documented by the Scope of Accreditation Certificate and associated Scope. This analysis references methods EPA TO-17 and ISO 16000-6, which fall within the Scope of Accreditation.

Client Sample ID: Floor 1 Right Chapel
Laboratory ID: 119714-3

Total Volatile Organic Compound (TVOC) Summary

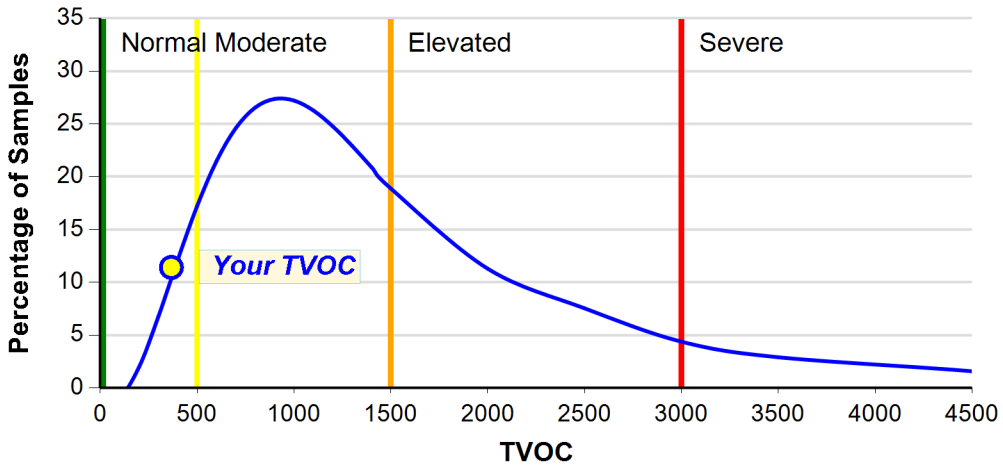
Your TVOC Level is: 380 ng/L

IAQ is acceptable for most individuals; chemically sensitive persons may require lower levels.

Your Indoor Air Quality Level (Highlighted)

Normal	Moderate	Elevated	Severe
< 500 ng/L	500 - 1500 ng/L	1500 - 3000 ng/L	> 3000 ng/L

All IAQ Survey TVOC
Air Quality Indicator



The average TVOC is 1900 ng/L

This chart represents the TVOC distribution of over 45,000 samples. Over 80% of these samples indicate improvements in IAQ are necessary to achieve the goal of TVOC less than 500 ng/L.

The chart above shows the TVOC levels for all locations tested using IAQ Survey. Results for this air sample are displayed on the chart as a yellow circle. The blue curved line represents the relationship between the percentage of locations (indicated on the vertical y-axis) and the TVOC level (indicated on the horizontal x-axis). The green, yellow, orange, and red vertical bars represent divisions between Normal, Moderate, Elevated, and Severe TVOC levels. As the TVOC value increases, individuals may experience aggravated health problems, and therefore, the need to address VOC issues becomes more critical. However, reductions in VOCs can be made at any level.

No government or organization has specified a TVOC limit for indoor air. However, the U.S. Green Building Council (USGBC) has set 500 ng/L as the recommended TVOC limit.

In general:

- < 500 ng/L IAQ is acceptable for most individuals; however, chemically sensitive persons may require lower levels.
- 500 - 1,500 ng/L some effects on the occupants is possible.
- > 1,500 ng/L IAQ should be improved.

Note: These levels are based on observed health effects and have been determined from a combination of published data and the statistical distribution of TVOC concentrations from the IAQ Survey methodology.

The presence of chemicals in your indoor environment can cause a wide range of problems, from an unpleasant odor to physical symptoms (burning and irritation in the eyes, nose, and throat; headaches; nausea; nervous system effects; severe illness; etc.). Anyone with respiratory issues like asthma or allergies, as well as children, the elderly, and pregnant women are more susceptible to poor indoor air quality than healthy individuals.

Click here for more information about VOCs.

The Contamination Index (CI) in the next pages of this report will help guide you through determining what types of products or materials could be problematic for your IAQ, and will provide some recommendations to help reduce or eliminate them.

Contamination Index™

The Contamination Index™ (CI) shows the types of air-contaminating products and materials that are present in the sampled area. Each CI category shows the approximate contribution of that category to the TVOC level, indicates how your location compares to thousands of other locations, and provides some suggestions about which products and materials might be the source for the VOCs. The CI is divided into two main source groups: Building Sources and Occupant Sources.

1. Building Sources are those that are typically part of the structure of the building and may be more difficult to reduce in the short term. Recent construction or renovation often increases the CI categories in this group to the Elevated, High, or Severe levels. VOCs from these activities often decrease substantially in the month following use or application of these products, especially if the area is flushed with air to dissipate the VOCs off gassed from the new products or materials.

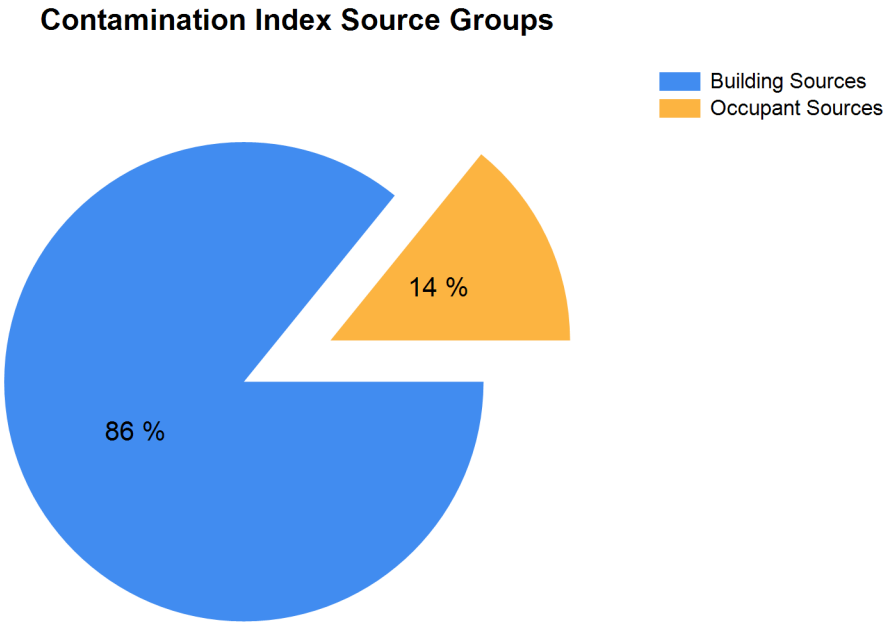
2. Occupant Sources are those that the occupants of the building bring into the building and can usually be more readily identified and remediated. Recent construction or renovation can often contribute to other source categories in addition to Building Sources.

It is possible for a category listed in one source group to belong to another source group. For example, the 'Coatings' category is in the Building Sources group because the largest contribution is typically the paint on the walls, but cans of paint stored in a basement or storage area could be considered part of the Occupant Sources group. Always consider all possible sources for a particular CI category.

The CI categories comprise the most common sources but other products or activities may be present that are not included in the CI. The values assigned to each category are approximations based on typical office and commercial spaces. Locations with additional or atypical sources may require additional investigation to determine the source of certain chemicals that are not accurately represented by the CI.

Since there are potentially many sources of VOCs, buildings can often be re-contaminated even after sources have been removed because new products are constantly being brought into the building. Occupants should take note of this fact, and view IAQ as a continuous improvement process.

The chart below depicts the distribution of the Contamination Index source groups. These source groups are estimates and may not indicate all of the VOCs in your air sample.



Contamination Index™ Building Sources

Use the Contamination Index (CI) below to help you find products and materials in the sampled area that may be affecting your indoor air quality. Removing or reducing these products will improve your air quality. The concentrations reported here are approximate and may not add up to the TVOC value on page 2 of this report. These categories are typically part of the structure of the building and may be more difficult to reduce in the short term. Recent construction or renovation will often cause these categories to be elevated. Increased ventilation will help to reduce VOCs from construction or renovation sources. Levels indicated as Elevated, High, or Severe should be addressed immediately, and those listed as Moderate are areas that can be improved over time.

Building Sources

Contamination Index Category	Estimated VOC Level (ng/L)	Severity	Source Prediction & Suggestions for VOC Reduction
Coatings (Paints, Varnishes, etc.)	95	**Normal**	Includes interior and exterior paints (including low- or no-VOC paints), varnishes, lacquers, some sealants, and other products that can be classified as a coating over a surface. Typically, VOCs from these products are in the 10 to 14 carbon size range and can linger for several months after application, sometimes longer. Ventilate as much as possible during and after application of any of these products. Dispose of opened but unused products and related supplies if possible or store in areas that will minimize off gassing. Additional sources include fuel oil or diesel fuel.
PVC Cement	0	**Normal**	PVC cement is used to join pieces of PVC pipe together, usually for plumbing.
Building Materials-Toluene Based	0	**Normal**	Adhesives and glues used in construction and maintenance, arts and crafts; adhesive removers; contact cement; sealants; coatings (paint, polyurethane , lacquer, thinner); automotive products, including parts cleaners. Additional sources include gasoline and other fuels.
Gasoline	17	**Normal**	VOCs from gasoline are typically a result of off-gassing from gas containers, small spills, and gas-powered equipment used in facilities maintenance in nearby garage or storage areas. Most vehicles in good operating condition do not emit gasoline vapors due to the tightly sealed gas tank. This category does not include exhaust emissions. Gasoline VOCs can linger on clothing after refueling at a gas station. Gasoline includes chemical compounds that are also included in the Light Solvents category.
Fuel Oil, Diesel Fuel, Kerosene	0	**Normal**	Typically found in garages and facilities maintenance areas. These fuels are not very volatile so they will not readily get into the air, but they can linger for a long time and produce a strong, unpleasant odor. This category does not include exhaust emissions. Additional sources include coatings such as paints, varnishes, sealants, waxes, etc.
Light Hydrocarbons	1	**Normal**	Building materials; aerosol cans; liquefied petroleum gas (LPG); refrigerant; natural gas; propellant; blowing agent. Includes chemical compounds such as propane, butane, and isobutane.
Light Solvents	44	**Normal**	Stoddard solvent; mineral spirits; some coatings (paints, varnish, enamels, etc.); wax remover; adhesives; automotive products; light oils. Typically, VOCs from these products are in the 6 to 9 carbon size range.

Client Sample ID: Floor 1 Right Chapel
Laboratory ID: 119714-3

Contamination Index™ Occupant Sources

Use the Contamination Index (CI) below to help you find products and materials in the sampled area that may be affecting your indoor air quality. Removing or reducing these products will improve your air quality. The concentrations reported here are approximate and may not add up to the TVOC value on page 2 of this report. These categories are typically brought into the building by the occupants and can often be readily identified and removed or contained. Levels indicated as Elevated, High, or Severe should be addressed immediately, and those listed as Moderate are areas that can be improved over time.

Occupant Sources

Contamination Index Category	Estimated VOC Level (ng/L)	Severity	Source Prediction & Suggestions for VOC Reduction
HFCs and CFCs (FreonsTM)	4	**Normal**	Most often used as refrigerants for air conditioners and refrigerator/freezers and propellants for blown-in insulation, cushions, aerosol cans, etc. Many of these chemical compounds are being phased out because of the Montreal Protocol.
Personal Care and Cleaning Products	5	**Normal**	Personal care products such as soap, deodorant, lotions, perfumes, hair coloring supplies, nail care supplies, oral hygiene products, etc. Cleaning agents such as surface, window, and flooring products, also restroom and antibacterial products. These products contain many VOCs that will dissipate if use is discontinued or reduced.
Odorants and Fragrances	17	**Normal**	Air fresheners, scented cleaning products, and scented personal care products.
Dry Cleaning Solvents	0	**Normal**	Typical dry-cleaning methods employ the use of carcinogenic chemicals. Dry-cleaning should be allowed to vent outside, without plastics bags, before being placed inside.

Significant VOCs

Based upon your specific air analysis, the chemical compounds listed below are significant contributors to the TVOC level reported on page 2 of your IAQ Commercial Survey Report or are indicative of specific types of products or problems. Compounds from a variety of chemical classes are represented here, although only the most common or most notable are specifically listed. These chemical compounds may come from a variety of sources as shown in the Contamination Index section of this report.

Locating and removing the source of the chemical compound is the most effective way to reduce the concentration of that chemical compound. If removing the source is not possible, try to contain it in some way (e.g., placing the source in an air-tight container when not in use). In addition, the ventilation system in some locations may not be optimized so evaluate the ventilation system and make adjustments to increase the amount of fresh air. Filter or purify re-circulated inside air to help reduce the TVOC. Since VOCs may continue to off-gas even when the sources are stored, ventilation and air-purification methods will need to be employed continuously in order to keep the VOC levels low.

The Chemical Abstracts Service (CAS) registry number after the chemical compound name in the table below is a unique identifier for that chemical compound and is often the best means to search for additional information. The two VOC levels in the table below (ng/L and ppb) are different ways of describing the same concentration, in some cases exposure limits or other information may be described using one or both of these concentration units.

Compound	CAS	Estimated VOC Level (ng/L)	Estimated VOC Level (ppb)	Description

The notes below indicate any additional significant compounds present in this air sample or other noteworthy information.

No significant VOCs were detected in this air sample.

Supplemental Information: Odorants

Many chemical compounds have odors associated with them, some pleasant and some unpleasant. These odors can combine to create different odors, making odor identification more difficult. The odor descriptions for the compounds reported in this air sample are listed below as well as some of the more common sources.

Supplemental Information: EPA Hazardous Air Pollutants (HAPs)

Hazardous air pollutants, also known as toxic air pollutants or air toxics, are those pollutants that are known or suspected to cause cancer or other serious health effects, such as reproductive effects or birth defects, or adverse environmental effects. Listed below are those HAPs that were detected with the IAQ Commercial Survey VOC test. This list does not include all HAPs. The '<' (less than) symbol in the 'Estimated VOC Level' columns indicates the compound is below the reporting limit for this air sample and therefore can be considered absent from the air sample. For more information about HAPs visit the EPA Air Toxics website. The exposure limits listed below can also be found in the NIOSH Guide to Chemical Hazards. The HAPs in the table below may also be listed as Significant VOCs if the concentration of that chemical compound is greater than the threshold level for a Significant VOC.

Compound	CAS	Estimated VOC Level (ng/L)	Estimated VOC Level (ppb)	NIOSH Exposure Limit	Description
Carbonyl Sulfide	463-58-1	3	1	None Listed	Fumigant; contaminated drywall; fuel combustion byproduct; some foods; naturally occurring at low levels
Toluene	108-88-3	1	0.3	375,000 ng/L (100,000 ppb)	Gasoline; adhesives (building and arts/crafts); contact cement; solvent; heavy duty cleaner

These results pertain only to this sample as it was collected and to the items reported.
These results have been reviewed and approved by the Laboratory Director or approved representative.

ENTHALPY ANALYTICAL
formerly *Prism Analytical Technologies*

IAQ Commercial Survey™
Formaldehyde

Air Analysis For*: Cortlandt, NY 41340
Location Tested*: 2302 Catherine Street
-

Sampling Professional*: Thomas Taylor
RTK Environmental Group
29 Bank Street Suite 3
Stamford, CT 06901
United States

Client Sample ID*: Floor 1 Right Chapel
Sample Volume (L)*: 4.0
Date Sampled*: 07/15/2025
Sample Type*: TDT AJ840
Sample Condition: On Hold

* Customer supplied information

Report Number: 119714
Laboratory ID: 119714-7

Thank you for using IAQ Commercial Survey!
If you have questions about your report, please contact your service provider who performed this test.

Order Date: 08/11/2025
Scan Date: 08/12/2025
Report Date: 08/13/2025

Formaldehyde Concentration: 32 ng/L or 26 ppb

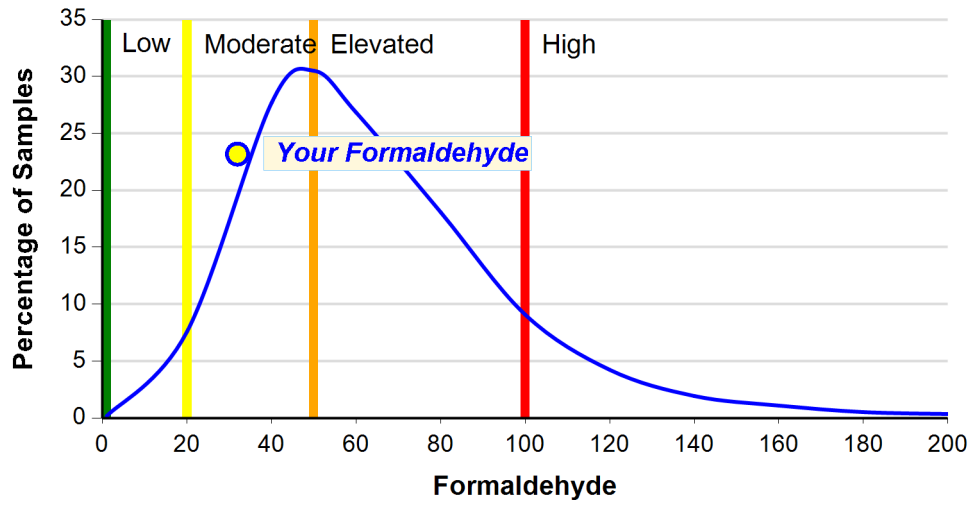
Report Limit: 15 ng/L
*Values** ± 21%*

Your Formaldehyde Level (Highlighted)

Low	Moderate	Elevated	High
< 20 ng/L < 16 ppb	20-50 ng/L 16-40 ppb	50-100 ng/L 40-80 ppb	> 100 ng/L > 80 ppb

Recommendation: Moderate formaldehyde level but improvements can be achieved by locating and removing sources. See formaldehyde sources section for more information.

All IAQ Survey Formaldehyde Results



This chart represents the Formaldehyde distribution of over 29,000 samples.

Approximately half the samples have concentrations in the 30-70 ng/L range.

The chart above shows the formaldehyde concentrations for all locations tested using IAQ Survey. Results for this air sample are displayed on the chart as a yellow circle. The blue curved line represents the relationship between the percentage of locations (indicated on the vertical y-axis) and the formaldehyde concentration (indicated on the horizontal x-axis). The green, yellow, orange, and red vertical bars represent divisions between Low, Moderate, Elevated, and High formaldehyde concentrations.

Formaldehyde concentrations can vary depending on environmental conditions such as temperature, humidity, and ventilation rate. As temperature and humidity increase, the formaldehyde concentration will increase and as the ventilation rate increases, the formaldehyde concentration will decrease.

*** Expanded measurement uncertainty*

Enthalpy Analytical, LLC (MTP), the creator of IAQ Commercial Survey, has been performing air quality assessments to industry and environmental consultants since 1995. Enthalpy Analytical, LLC (MTP) (ID 166272) is accredited by the AIHA Laboratory Accreditation Programs, LLC (AIHA-LAP, LLC) in the Unique Scope accreditation program for Formaldehyde as documented by the Scope of Accreditation Certificate and associated Scope. Reference internal SOP 523.

Formaldehyde Exposure Guidelines

The US Occupational Safety and Health Administration (OSHA) has set a workplace **permissible exposure limit** (PEL) of 940 ng/L (750 parts per billion). The National Institute for Occupational Safety and Health (NIOSH) has set a **recommended exposure limit** (REL) of 20 ng/L (16 ppb) with a 120 ng/L (100 ppb) 15 minute ceiling limit.

Although these formaldehyde concentration limits are applicable to all types of workplace environments, most office or retail locations without additional occupational exposure (e.g., industrial or manufacturing processes generating formaldehyde) typically have formaldehyde concentrations less than 100 ng/L (80 ppb). Most indoor environments measured by this air test have concentrations in the range of 30 to 70 ng/L.

The table below provides some of the limits applicable to workplace environments. In general, formaldehyde concentrations should be kept as low as reasonably achievable.

Organization	Concentration		Type
	ng/L	ppb	
OSHA	630	500	Action Level (8 hour)
	940	750	PEL (8 hour)
	2,500	2,000	STEL (15 min)
NIOSH	20	16	REL (8 hour)
	120	100	Ceiling (15 min)
ACGIH	125	100	TLV (8 hour)
LEED	32	27	Green Building (4 hour)
WHO	100	80	Short-Term (0.5 hour)

OSHA: Occupational Health and Safety Administration
NIOSH: National Institute for Occupational Safety and Health
ACGIH: American Conference of Governmental Industrial Hygienists
LEED: Leadership in Energy & Environmental Design (Green Building Council)
WHO: World Health Organization

PEL: Permissible Exposure Limit
REL: Recommended Exposure Limit
TLV: Threshold Limit Value
TWA: Time Weighted Average
STEL: Short Term Exposure Limit

Note: Concentration can be expressed in several ways and various organizations may use different units.
1 ng/L = 1 $\mu g/m^3$ = 0.001 mg/m^3
1 ppb = 0.001 ppm
To convert between the two sets of units listed above the molecular weight of formaldehyde must be used, which produces the conversion factors below:
ppb concentration = ng/L concentration * 0.8 or ng/L concentration= ppb concentration * 1.25

Major Health Effects of Formaldehyde Exposure

Health effects vary depending on the individual. Common symptoms of acute exposure include irritation of the throat, nose, eyes, and skin; this irritation can potentially exacerbate asthma symptoms and other respiratory illnesses. Long term, or chronic, exposure may also cause chronic runny nose, chronic bronchitis, and obstructive lung disease. In 2004, the International Agency for Research on Cancer (IARC) reclassified formaldehyde from "probably carcinogenic to humans" to "carcinogenic to humans" related to nasopharyngeal cancer. Since many factors are involved in the development of cancer, no definitive "safe level" of exposure has been established. The best way to reduce the risk of cancer is to limit exposure.

Formaldehyde Sources

There are many possible sources for formaldehyde in the indoor environment, although building products typically make up a large proportion of the concentration. Any recent renovation or new material brought into the building is likely to increase the formaldehyde levels. The concentration will decrease over time as the materials off gas, so increasing the ventilation as much as possible is typically the best way to quickly decrease formaldehyde after recent renovation or installation of new materials.

- Products that contain urea-formaldehyde (UF) resins
  - particleboard, hardwood plywood paneling, medium density fiberboard
- Products that contain phenol-formaldehyde (PF) resins (lower concentrations of formaldehyde than UF resins)
  - softwood plywood, flake or oriented strand board
- Pre-finished engineered flooring
- Insulation
- Glues and adhesives
- Paints and coatings
- Textiles
- Disinfectant cleaning products and soaps
- Preservatives
- Personal care products, especially certain hair products
- Cosmetics
- Pet care products
- Bactericides and fungicides
- Combustion byproduct (burning)
  - Tobacco smoke and fuel-burning appliances (gas stoves, kerosene space heaters and fireplaces)

Formaldehyde is also produced naturally in living systems, e.g., trees and other plant life, and during decay and combustion processes. Formaldehyde is also involved in atmospheric processes. Outdoor concentrations of formaldehyde from both natural and man-made sources can range from less than 1 ng/L in remote areas to 10-20 ng/L in urban environments.

Additional Resources

US OSHA Toxic and Hazardous Substances-Formaldehyde
US OSHA Fact Sheet-Formaldehyde
US NIOSH Formaldehyde
World Health Organization (WHO) Air Quality Guidelines for Europe, 2nd Edition (2000); pg 87-91
Europe: Report No. 7-Indoor Air Pollution by Formaldehyde in European Countries (1990)
US Consumer Product Safety Commission (CPSC) Update on Formaldehyde (2013)
US Environmental Protection Agency: Formaldehyde
US Agency for Toxic Substances and Disease Registry (ATSDR): Formaldehyde ToxFAQs™
US National Institutes of Health (NIH): ToxTown: Formaldehyde
Chemical Reviews (Journal): Formaldehyde in the Indoor Environment
Household Products Database: Formaldehyde

These results pertain only to this sample as it was collected and to the items reported.
These results have been reviewed and approved by the Laboratory Director or approved representative.

ENTHALPY ANALYTICAL
2625 Denison Drive, Suite D Mt. Pleasant, MI 48858
Tel: 989-772-5088
Fax: 989-772-5870
Email: mtpinfo@enthalpy.com
www.enthalpy.com

Air Analysis

CHAIN OF CUSTODY No. 119714

Contact Information	
Company: RTK Environmental Group	Contact: Thomas Taylor
Address: 29 Bank Street, Ste. 3	Phone: 646-599-0531
Stamford, CT 06901	Fax results? (Y / N) Fax: N
Send invoice to: sd@rtkenvironmental.com	Email results? (Y / N) Email: mt@rtkenvironmental.com

Project Information		Page ___ of ___
Project Name: CORTLANDT, NY	Project No. 41340	
Location: 2302 CATHERINE STREET		
Sampled By: TOM TAYLOR		

	Sample Information				Analysis Requested					Comments
Enthalpy Use Only	Sample Identification	Date Collected	Volume or Start/Stop Time	TAT (see below)	BASIC	Form.				
1	/ TUBE # AL116	7-15-25	10:44 11:44	STD	X					Floor 2 center HALL
2	/ TUBE # AJ630	"	10:51 11:51	"	X					Floor 1 left HALL
3	/ TUBE # ~~AM593~~ AM573 7/17/25 KN	"	10:53 11:53	"	X					Floor 1 Right Chapel
4	/ TUBE # AM396	"	10:58 11:58	"	X					Basement center
5	/ TUBE # RR944	"	10:45 11:05	"		X				Floor 2 center HALL
6	/ TUBE # 22290	"	10:50 11:10	"		X				Floor 1 left HALL
7	/ TUBE # ~~AJ841~~ AJ840 KN 7/17/25	"	11:10 11:30	"		X				Floor 1 Right Chapel
8	/ TUBE # AJ501	"	11:15 11:35	"		X				Basement center

Special Notes: Per Client, project put on hold pending their notice. KN 7/17/2025

Commercial per internet address search - KN 7/17/2025

* Peremail analyze samples ~~as~~ as attached KN 8/8/2025 3:43pm

Sample Condition: ✓ OK ___ See Notes
Box Condition: ✓ OK ___ See Notes
Carrier: FEDEX

Turn Around Time (TAT):
STD – Standard
SD – Same Day (3x $)
1 BD - 1 Business Day (2x $)
2 BD - 2 Business Days (1.5x $)
STD is default

Relinquished By:	Date:	Time:
TOM TAYLOR	7-15-25	18:00

Received By:	Date:	Time:
Sarah Mack	07/17/2025	3:10 pm

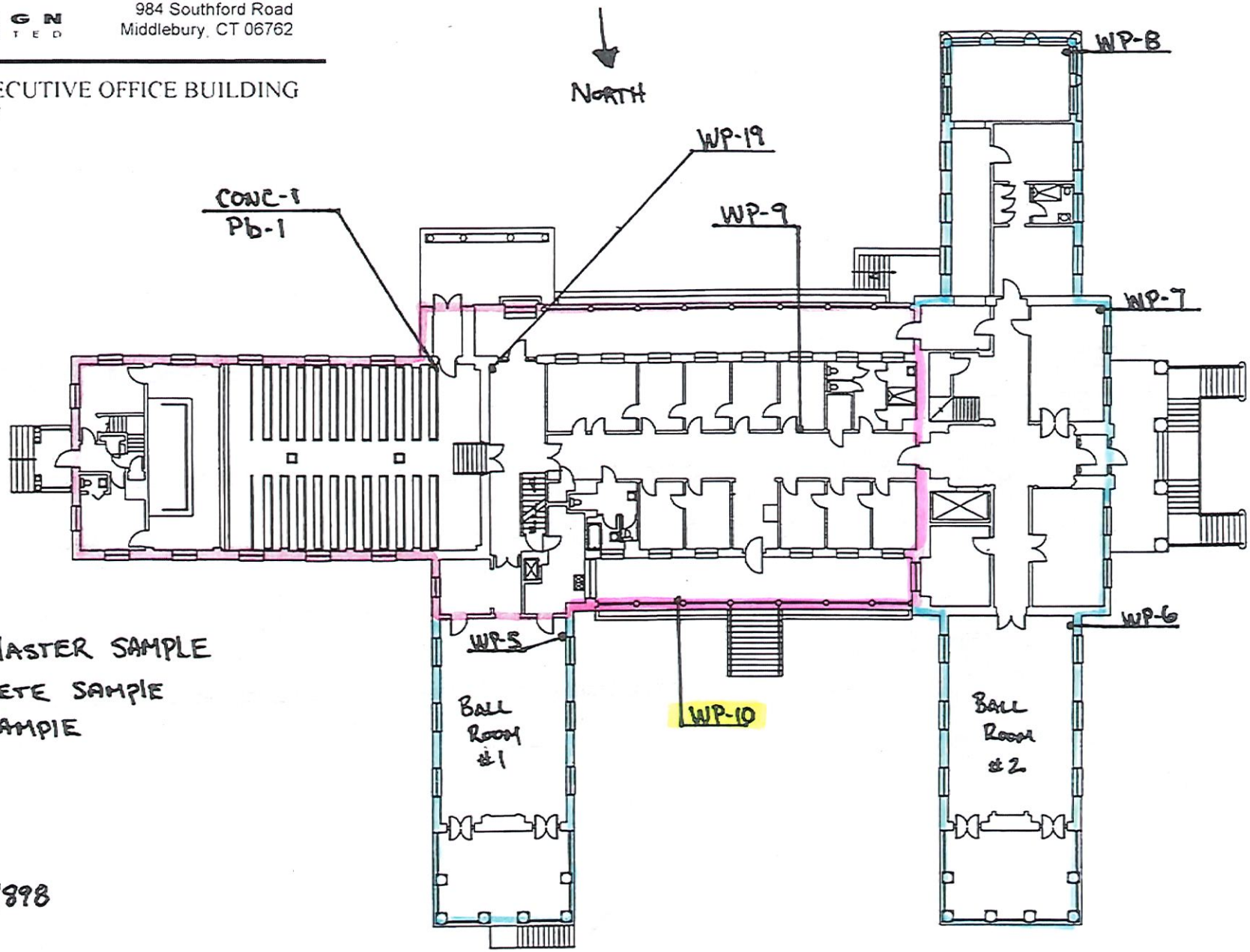
White-Lab, Canary-Field

Retention of records is seven years. Records older than seven years will be destroyed without notification.

[form Air COC-5.b15]

GEODESIGN INCORPORATED
984 Southford Road
Middlebury, CT 06762

FIELDHOME EXECUTIVE OFFICE BUILDING
YORKTOWN, NY
FIGURE 2
FIRST FLOOR



LEGEND

WP = WALL PLASTER SAMPLE
Conc = CONCRETE SAMPLE
Pb = LEAD SAMPLE

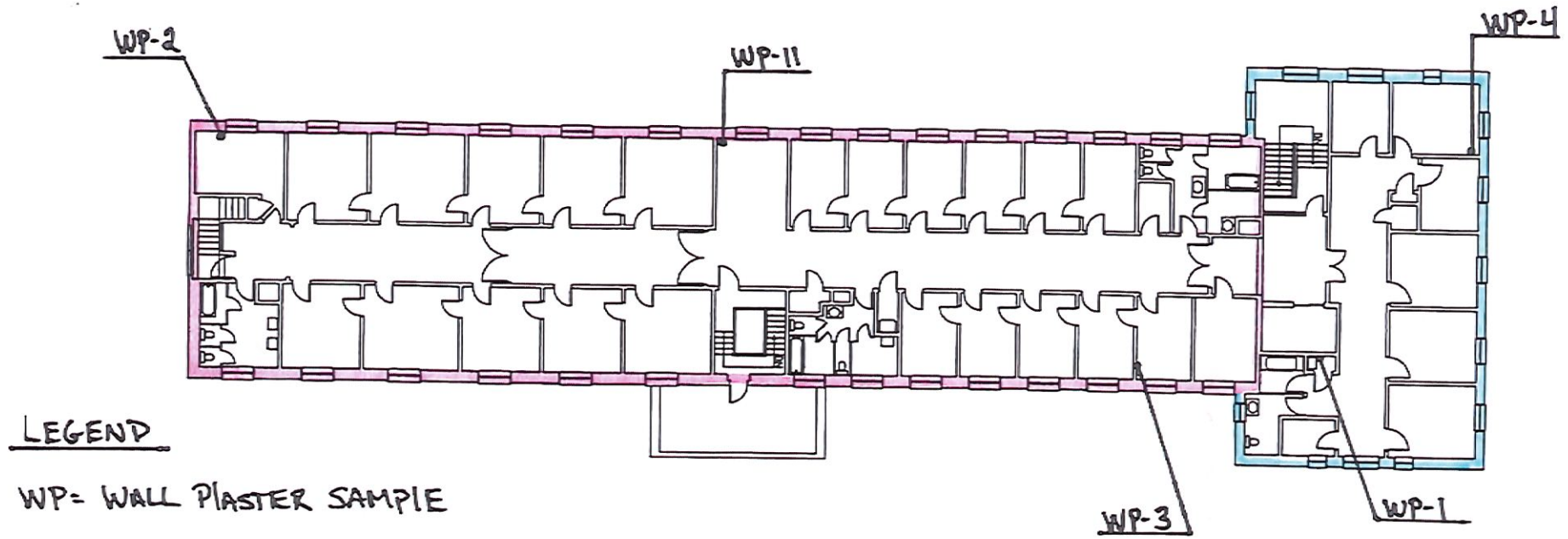
1896-1898

1920 ADDITION

- ASBESTOS IDENTIFIED

GEODESIGN INCORPORATED
984 Southford Road
Middlebury, CT 06762

FIELDHOME EXECUTIVE OFFICE BUILDING
YORKTOWN, NY
FIGURE 1
SECOND FLOOR



GEODESIGN INCORPORATED
984 Southford Road
Middlebury, CT 06762

FIELDHOME EXECUTIVE OFFICE BUILDING
YORKTOWN, NY
FIGURE 3
BASEMENT

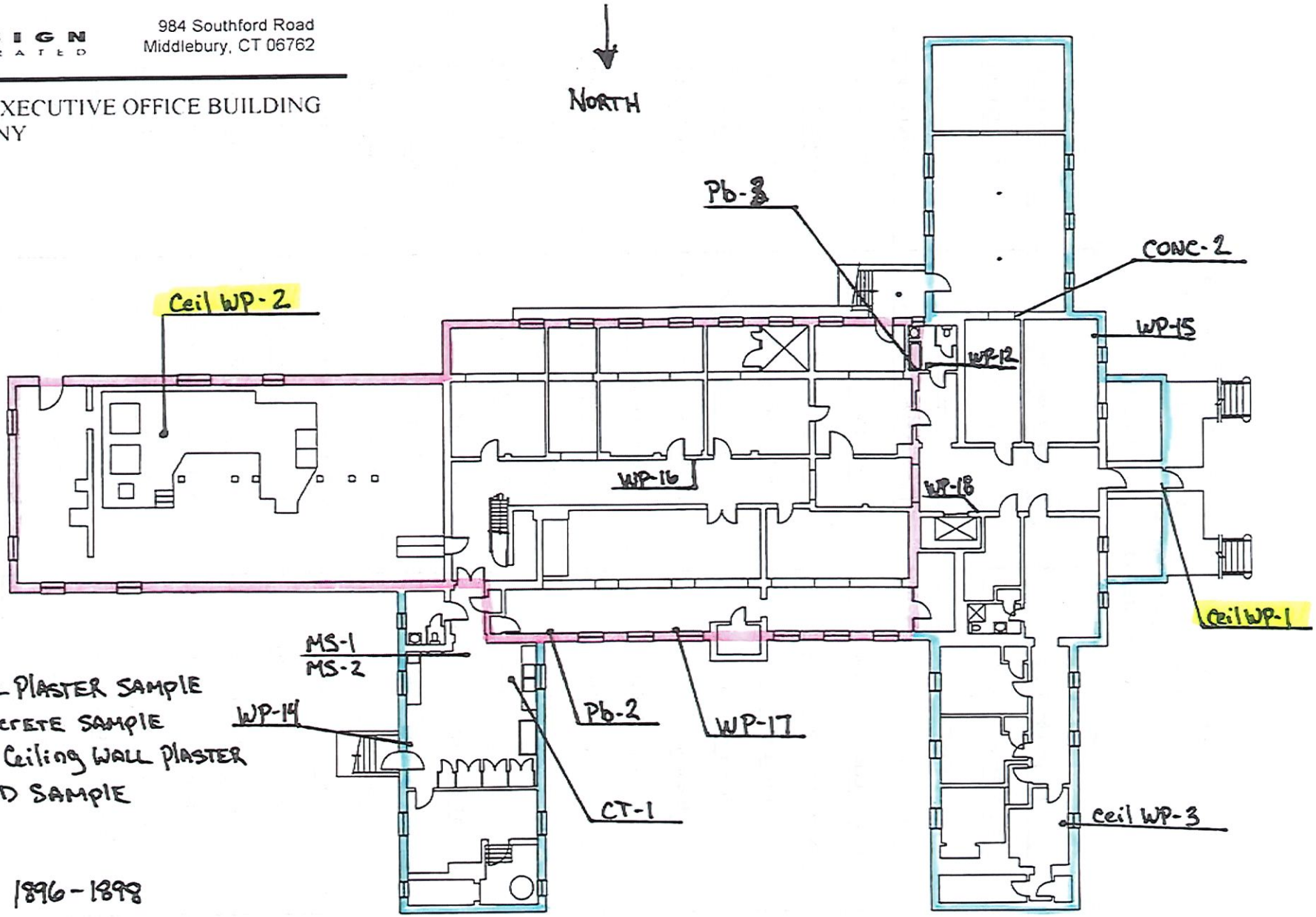


TABLE 1
ASBESTOS SAMPLING & ANALYSIS SUMMARY
FIELDHOME EXECUTIVE OFFICE BUILDING
2303 CATHERINE STREET
YORKTOWN, NEW YORK

Sample Designation	Sample Location	Material Description	Analytical Result
Conc-1	Second Floor - Chapel Wall	Concrete	None Detected
Conc-2	Basement	Concrete	None Detected
Ceil WP-1	Basement Ceiling - Front Entrance	Ceiling Wall Plaster - Skim Coat	1.80 % Chrysotile
Ceil WP-1	Basement Ceiling - Front Entrance	Ceiling Wall Plaster - Rough Coat	None Detected
Ceil WP-2*	Basement Ceiling - Near Boiler	Ceiling Wall Plaster	5.20 % Chrysotile
Ceil WP-3	Basement Ceiling	Ceiling Wall Plaster - Skim Coat	None Detected
Ceil WP-3	Basement Ceiling	Ceiling Wall Plaster - Rough Coat	< 1% Chrysotile
CT-1	Basement - Kitchen	2-foot by 2-foot Suspended Ceiling Tile	None Detected
MS-1	Basement - Kitchen	Beige Linoleum	2.4% Chrysotile
MS-2	Basement - Kitchen	Gray Mastic under Linoleum	8.9% Chrysotile
WP-1	Second Floor - Closet	Wall Plaster - Skim Coat	None Detected
WP-1	Second Floor - Closet	Wall Plaster - Rough Coat	< 1% Chrysotile
WP-2	Second Floor - Copy/Storage Room	Wall Plaster - Skim Coat	None Detected
WP-2	Second Floor - Copy/Storage Room	Wall Plaster - Rough Coat	None Detected
WP-3	Second Floor - Office	Wall Plaster - Skim Coat	None Detected
WP-3	Second Floor - Office	Wall Plaster - Rough Coat	None Detected
WP-4	Second Floor - Office/File Room	Wall Plaster - Skim Coat	None Detected
WP-4	Second Floor - Office/File Room	Wall Plaster - Rough Coat	None Detected
WP-5	First Floor - Ballroom # 1	Wall Plaster - Skim Coat	None Detected
WP-5	First Floor - Ballroom # 1	Wall Plaster - Rough Coat	< 1% Chrysotile
WP-6	First Floor - Ballroom # 2	Wall Plaster - Skim Coat	None Detected
WP-6	First Floor - Ballroom # 2	Wall Plaster - Rough Coat	< 1% Chrysotile
WP-7	First Floor - Front Entrance	Wall Plaster - Skim Coat	None Detected
WP-7	First Floor - Front Entrance	Wall Plaster - Rough Coat	< 1% Chrysotile
WP-8	First Floor - Front Office (CFO)	Wall Plaster - Skim Coat	None Detected

ASBESTOS SAMPLING & ANALYSIS SUMMARY
FIELDHOME EXECUTIVE OFFICE BUILDING
2303 CATHERINE STREET
YORKTOWN, NEW YORK

Sample Designation	Sample Location	Material Description	Analytical Result
WP-8	First Floor - Front Office (CFO)	Wall Plaster - Rough Coat	None Detected
WP-9	First Floor - Main Corridor Front Office	Wall Plaster - Skim Coat	None Detected
WP-9	First Floor - Main Corridor Front Office	Wall Plaster - Rough Coat	None Detected
WP-10	First Floor - Main Corridor (Rear)	Wall Plaster - Skim Coat	None Detected
WP-10	First Floor - Main Corridor (Rear)	Wall Plaster - Rough Coat	1.50 % Chrysotile
WP-11	Second Floor - Wall Opposite Stairwell	Wall Plaster - Skim Coat	None Detected
WP-11	Second Floor - Wall Opposite Stairwell	Wall Plaster - Rough Coat	None Detected
WP-12	Basement	Wall Plaster - Skim Coat	None Detected
WP-12	Basement	Wall Plaster - Rough Coat	< 1% Chrysotile
WP-14*	Basement	Wall Plaster	None Detected
WP-16	Basement	Wall Plaster - Skim Coat	None Detected
WP-16	Basement	Wall Plaster - Rough Coat	None Detected
WP-17	Basement	Wall Plaster - Skim Coat	None Detected
WP-17	Basement	Wall Plaster - Rough Coat	< 1 % Chrysotile
WP-18	Basement	Wall Plaster - Skim Coat Over Concrete	None Detected
WP-19	First Floor - Wall Outside Chapel Entrance	Wall Plaster - Skim Coat	None Detected
WP-19	First Floor - Wall Outside Chapel Entrance	Wall Plaster - Rough Coat	None Detected

Notes:

The samples were collected by GeoDesign, Inc. of Middlebury, CT and analyzed by EMSL Analytical of New York, NY.

* = Indicates that the laboratory could not separate layers for analysis.

EMSL Analytical, Inc.
307 West 38th Street, New York, NY 10018
Phone: (212) 290-0051

Attn: **Timothy Carr**
GeoDesign Inc
984 Southford Road
Middlebury, CT 06762

Fax: (203) 758-8842 Phone: (203) 758-8836
Project: **355-72.1/ FIELDHOME BLDG./ NY**

Customer ID: GDI50
Customer PO: 355-72.1
Received: 01/17/12 3:00 PM
EMSL Order: 031201533
EMSL Proj:

Test Report:Asbestos Analysis of Bulk Material

Sample Description	Test	Analyzed Date	Color	Non Asbestos Fibrous	Non-Fibrous	Asbestos	Comments
CONC-1	PLM NYS 198.1 Friable	1/19/2012	Brown/Gray		100%	None Detected	
031201533-0001	PLM NYS 198.6 NOB				N/A		Not Analyzed
SECOND FLOOR/ CHAPEL WALL CONCRETE	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-1-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0002	PLM NYS 198.6 NOB				N/A		Not Analyzed
SECOND FLOOR/ CLOSET WALL PLASTER	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-1-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Gray		100%	<1% Chrysotile	
031201533-0002A	PLM NYS 198.6 NOB				N/A		Not Analyzed
SECOND FLOOR/ CLOSET WALL PLASTER	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-2-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0003	PLM NYS 198.6 NOB				N/A		Not Analyzed
SECOND FLOOR/ COPY/STORAGE ROOM	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-2-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Brown		100%	None Detected	
031201533-0003A	PLM NYS 198.6 NOB				N/A		Not Analyzed
SECOND FLOOR/ COPY/STORAGE ROOM	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-3-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0004	PLM NYS 198.6 NOB				N/A		Not Analyzed
SECOND FLOOR/ OFFICE WALL PLASTER	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-3-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Gray		100%	None Detected	
031201533-0004A	PLM NYS 198.6 NOB				N/A		Not Analyzed
SECOND FLOOR/ OFFICE WALL PLASTER	TEM NYS 198.4 NOB				N/A		Not Analyzed

Initial Report From 01/20/2012 13:42:11

EMSL Analytical, Inc.
307 West 38th Street, New York, NY 10018
Phone: (212) 290-0051

Attn: **Timothy Carr**
GeoDesign Inc
984 Southford Road
Middlebury, CT 06762

Fax: (203) 758-8842 Phone: (203) 758-8836
Project: **355-72.1/ FIELDHOME BLDG./ NY**

Customer ID: GDI50
Customer PO: 355-72.1
Received: 01/17/12 3:00 PM
EMSL Order: 031201533
EMSL Proj:

Test Report:Asbestos Analysis of Bulk Material

Sample Description	Test	Analyzed Date	Color	Non Asbestos Fibrous	Non-Fibrous	Asbestos	Comments
WP-4-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0005	PLM NYS 198.6 NOB				N/A		Not Analyzed
SECOND FLOOR/ OFFICE/FILE ROOM	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-4-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Gray		100%	None Detected	
031201533-0005A	PLM NYS 198.6 NOB				N/A		Not Analyzed
SECOND FLOOR/ OFFICE/FILE ROOM	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-5-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0006	PLM NYS 198.6 NOB				N/A		Not Analyzed
FIRST FLOOR/ BALLROOM #1 WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-5-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Brown		100%	<1% Chrysotile	
031201533-0006A	PLM NYS 198.6 NOB				N/A		Not Analyzed
FIRST FLOOR/ BALLROOM #1 WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-6-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0007	PLM NYS 198.6 NOB				N/A		Not Analyzed
FIRST FLOOR/ BALLROOM #2	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-6-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Brown	<1% Hair	100%	<1% Chrysotile	
031201533-0007A	PLM NYS 198.6 NOB				N/A		Not Analyzed
FIRST FLOOR/ BALLROOM #2	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-7-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0008	PLM NYS 198.6 NOB				N/A		Not Analyzed
FIRST FLOOR/ FRONT ENTRANCE WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-7-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Brown	<1% Hair	100%	<1% Chrysotile	
031201533-0008A	PLM NYS 198.6 NOB				N/A		Not Analyzed
FIRST FLOOR/ FRONT ENTRANCE WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed

Initial Report From 01/20/2012 13:42:11

EMSL Analytical, Inc.
307 West 38th Street, New York, NY 10018
Phone: (212) 290-0051

Attn: **Timothy Carr**
GeoDesign Inc
984 Southford Road
Middlebury, CT 06762

Fax: (203) 758-8842 Phone: (203) 758-8836
Project: **355-72.1/ FIELDHOME BLDG./ NY**

Customer ID: GDI50
Customer PO: 355-72.1
Received: 01/17/12 3:00 PM
EMSL Order: 031201533
EMSL Proj:

Test Report:Asbestos Analysis of Bulk Material

Sample Description	Test	Analyzed Date	Color	Non Asbestos Fibrous	Non-Fibrous	Asbestos	Comments
WP-8-Skim Coat *031201533-0009* FIRST FLOOR/ FRONT OFFICE WALL	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
	PLM NYS 198.6 NOB				N/A		Not Analyzed
	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-8-Rough Coat *031201533-0009A* FIRST FLOOR/ FRONT OFFICE WALL	PLM NYS 198.1 Friable	1/19/2012	Gray		100%	None Detected	
	PLM NYS 198.6 NOB				N/A		Not Analyzed
	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-9-Skim Coat *031201533-0010* FIRST FLOOR/ MAIN CORRIDOR (FRONT)	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
	PLM NYS 198.6 NOB				N/A		Not Analyzed
	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-9-Rough Coat *031201533-0010A* FIRST FLOOR/ MAIN CORRIDOR (FRONT)	PLM NYS 198.1 Friable	1/19/2012	Brown		100%	None Detected	
	PLM NYS 198.6 NOB				N/A		Not Analyzed
	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-10-Skim Coat *031201533-0011* FIRST FLOOR/ MAIN CORRIDOR (REAR)	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
	PLM NYS 198.6 NOB				N/A		Not Analyzed
	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-10-Rough Coat *031201533-0011A* FIRST FLOOR/ MAIN CORRIDOR (REAR)	PLM NYS 198.1 Friable	1/19/2012	Brown		98.5%	1.50% Chrysotile	
	PLM NYS 198.6 NOB				N/A		Not Analyzed
	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-11-Skim Coat *031201533-0012* SECOND FLOOR/ WALL OPPOSITE STAIRS	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
	PLM NYS 198.6 NOB				N/A		Not Analyzed
	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-11-Rough Coat *031201533-0012A* SECOND FLOOR/ WALL OPPOSITE STAIRS	PLM NYS 198.1 Friable	1/19/2012	Brown		100%	None Detected	
	PLM NYS 198.6 NOB				N/A		Not Analyzed
	TEM NYS 198.4 NOB				N/A		Not Analyzed

Initial Report From 01/20/2012 13:42:11

EMSL Analytical, Inc.
307 West 38th Street, New York, NY 10018
Phone: (212) 290-0051

Attn: **Timothy Carr**
GeoDesign Inc
984 Southford Road
Middlebury, CT 06762
Fax: (203) 758-8842 Phone: (203) 758-8836
Project: **355-72.1/ FIELDHOME BLDG./ NY**

Customer ID: GDI50
Customer PO: 355-72.1
Received: 01/17/12 3:00 PM
EMSL Order: 031201533
EMSL Proj:

Test Report:Asbestos Analysis of Bulk Material

Sample Description	Test	Analyzed Date	Color	Non Asbestos Fibrous	Non Asbestos Non-Fibrous	Asbestos	Comments
CONC-2	PLM NYS 198.1 Friable	1/19/2012				Not Submitted	
031201533-0013	PLM NYS 198.6 NOB				N/A		Not Analyzed
CHAPEL WALL CONCRETE	TEM NYS 198.4 NOB				N/A		Not Analyzed
CEIL WP-1-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		98.2%	1.80% Chrysotile	
031201533-0014	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ CEILING PLASTER/ FRONT ENTRANCE	TEM NYS 198.4 NOB				N/A		Not Analyzed
CEIL WP-1-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Gray		100%	None Detected	
031201533-0014A	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ CEILING PLASTER/ FRONT ENTRANCE	TEM NYS 198.4 NOB				N/A		Not Analyzed
CEIL WP-2	PLM NYS 198.1 Friable	1/19/2012	Gray		94.8%	5.20% Chrysotile	Note: Inseperable paint layer.
031201533-0015	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ CEILING PLASTER/ NEAR BOILER	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-12-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0016	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ CEILING PLASTER	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-12-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Brown		100%	<1% Chrysotile	
031201533-0016A	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ CEILING PLASTER	TEM NYS 198.4 NOB				N/A		Not Analyzed
CEIL WP-3-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0017	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed
CEIL WP-3-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Brown		100%	<1% Chrysotile	
031201533-0017A	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed

Initial Report From 01/20/2012 13:42:11

EMSL Analytical, Inc.
307 West 38th Street, New York, NY 10018
Phone: (212) 290-0051

Attn: **Timothy Carr**
GeoDesign Inc
984 Southford Road
Middlebury, CT 06762
Fax: (203) 758-8842 Phone: (203) 758-8836
Project: **355-72.1/ FIELDHOME BLDG./ NY**

Customer ID: GDI50
Customer PO: 355-72.1
Received: 01/17/12 3:00 PM
EMSL Order: 031201533
EMSL Proj:

Test Report:Asbestos Analysis of Bulk Material

Sample Description	Test	Analyzed Date	Color	Non Asbestos Fibrous	Non Asbestos Non-Fibrous	Asbestos	Comments
WP-14	PLM NYS 198.1 Friable	1/19/2012	Tan/White		100%	None Detected	Layers inseparable
031201533-0018	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed
CONC-2	PLM NYS 198.1 Friable	1/19/2012	Brown		100%	None Detected	
031201533-0019	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ WALL CONCRETE	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-16-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0020	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-16-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Brown		100%	None Detected	
031201533-0020A	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-17-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0021	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-17-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Brown		100%	<1% Chrysotile	
031201533-0021A	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-18	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0022	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ WALL CONCRETE	TEM NYS 198.4 NOB				N/A		Not Analyzed
MS-1	PLM NYS 198.1 Friable						Not Analyzed
031201533-0023	PLM NYS 198.6 NOB	1/19/2012	Yellow		N/A	2.4% Chrysotile 2.4% Total	
BASEMENT/ BEIGE LINOLEUM	TEM NYS 198.4 NOB				N/A		Not Analyzed

Initial Report From 01/20/2012 13:42:11

EMSL Analytical, Inc.
307 West 38th Street, New York, NY 10018
Phone: (212) 290-0051

Attn: **Timothy Carr**
GeoDesign Inc
984 Southford Road
Middlebury, CT 06762

Fax: (203) 758-8842 Phone: (203) 758-8836
Project: **355-72.1/ FIELDHOME BLDG./ NY**

Customer ID: GDI50
Customer PO: 355-72.1
Received: 01/17/12 3:00 PM
EMSL Order: 031201533
EMSL Proj:

Test Report:Asbestos Analysis of Bulk Material

Sample Description	Test	Analyzed Date	Color	Non Asbestos Fibrous	Non Asbestos Non-Fibrous	Asbestos	Comments
MS-2	**PLM NYS 198.1 Friable**						Not Analyzed
031201533-0024	**PLM NYS 198.6 NOB**	1/19/2012	Gray		N/A	**8.9% Chrysotile** **8.9% Total**	
BASEMENT/ BEIGE LINOLEUM MASTIC	**TEM NYS 198.4 NOB**				N/A		Not Analyzed
WP-19-Skim Coat	**PLM NYS 198.1 Friable**	1/19/2012	White		100%	**None Detected**	
031201533-0025	**PLM NYS 198.6 NOB**				N/A		Not Analyzed
FIRST FLOOR/ WALL OUTSIDE CHAPEL ENTRANCE	**TEM NYS 198.4 NOB**				N/A		Not Analyzed
WP-19-Rough Coat	**PLM NYS 198.1 Friable**	1/19/2012	Gray		100%	**None Detected**	
031201533-0025A	**PLM NYS 198.6 NOB**				N/A		Not Analyzed
FIRST FLOOR/ WALL OUTSIDE CHAPEL ENTRANCE	**TEM NYS 198.4 NOB**				N/A		Not Analyzed
CT-1	**PLM NYS 198.1 Friable**						Not Analyzed
031201533-0026	**PLM NYS 198.6 NOB**	1/20/2012	White /Beige		N/A	**Inconclusive: None Detected**	
FIELD HOME BASEMENT/ BASEMENT KITCHEN	**TEM NYS 198.4 NOB**	1/20/2012	White /Beige		N/A	**None Detected**	

NOB = Non Friable Organically Bound
N/A = Not Applicable

Analyst(s)

Alexander Balter *Emily Myint*
Alicia Folgar
Albert Grohmann

James Hall, Laboratory Manager
or other approved signatory

Samples analyzed by EMSL Analytical, Inc. New York, NY NYS ELAP 11506

Initial Report From 01/20/2012 13:42:11

THIS IS THE LAST PAGE OF THE REPORT.

031201533

Asbestos Lab Services Chain of Custody

EMSL Order Number *(Lab Use Only)*:

New York, NY
307 West 38th Street
New York, NY 10018
PHONE (212) 290-0051
FAX (212) 290-0058

Company: GeoDesign, Inc	EMSL-Bill to: ☑ Same ☐ Different If Bill to is Different note instructions in Comments** *Third Party Billing requires written authorization from third party*
Street: 984 Southford Road	
City/State/Zip: Middlebury, CT 06762	
Report To (Name): Tim Carr	Fax: 203-758-8842
Telephone: 203-758-8836 x 106	Email Address: tim@geodesign.net
Project Name/Number: FieldHome BLDG	
Please Provide Results: Email / Purchase Order: 355-72.1	State Samples Taken: NY

Turnaround Time (TAT) Options* – Please Check

☐ 3 Hour ☐ 6 Hour ☐ 24 Hour ☐ 48 Hour ☑ 72 Hour ☐ 96 Hour ☐ 1 Week ☐ 2 Week

**For TEM Air 3 hr through 6 hr, please call ahead to schedule. *There is a premium charge for 3 Hour TEM AHERA or EPA Level II TAT. You will be asked to sign an authorization form for this service. Analysis completed in accordance with EMSL's Terms and Conditions located in the Analytical Price Guide.*

PCM - Air ☐ Check if samples are from NY
- ☐ NIOSH 7400
- ☐ w/ OSHA 8hr. TWA

PLM - Bulk (reporting limit)
- ☐ PLM EPA 600/R-93/116 (<1%)
- ☐ PLM EPA NOB (<1%)

Point Count
- ☐ 400 (<0.25%) ☐ 1000 (<0.1%)

Point Count w/Gravimetric
- ☐ 400 (<0.25%) ☐ 1000 (<0.1%)
- ☑ NYS 198.1 (friable in NY)
- ☑ NYS 198.6 NOB (non-friable-NY)
- ☐ NIOSH 9002 (<1%)

TEM – Air ☐ 4-4.5hr TAT (AHERA only)
- ☐ AHERA 40 CFR, Part 763
- ☐ NIOSH 7402
- ☐ EPA Level II
- ☐ ISO 10312

TEM - Bulk
- ☐ TEM EPA NOB
- ☐ NYS NOB 198.4 (non-friable-NY)
- ☐ Chatfield SOP
- ☐ TEM Mass Analysis-EPA 600 sec. 2.5

TEM – Water: EPA 100.2
- Fibers >10µm ☐ Waste ☐ Drinking
- All Fiber Sizes ☐ Waste ☐ Drinking

TEM- Dust
- ☐ Microvac - ASTM D 5755
- ☐ Wipe - ASTM D6480
- ☐ Carpet Sonication (EPA 600/J-93/167)

Soil/Rock/Vermiculite
- ☐ PLM CARB 435 - A (0.25% sensitivity)
- ☐ PLM CARB 435 - B (0.1% sensitivity)
- ☐ TEM CARB 435 - B (0.1% sensitivity)
- ☐ TEM CARB 435 - C (0.01% sensitivity)
- ☐ EPA Protocol (Semi-Quantitative)
- ☐ EPA Protocol (Quantitative)

Other:
- ☐

☐ Check For Positive Stop – Clearly Identify Homogenous Group | Filter Pore Size (Air Samples): ☐ 0.8µm ☐ 0.45µm

Samplers Name: | Samplers Signature:

Sample #	Sample Description	Volume/Area (Air) HA # (Bulk)	Date/Time Sampled
Conc-1	CHAPEL WALL concrete		1/13/12
* WP-1	Second Flor closet wall plaster		
* WP-2	Second Floor copy/storage Room		
* WP-3	Second Floor OFFICE wall plaster		
* WP-4	Second Floor OFFICE / File Room		
* WP-5	First Ball Room #1 Wall		
* WP-6	First Ball Room # 2		
* WP-7	First Floor Front Entrance wall		

Second Floor *

Client Sample # (s): | Total # of Samples: 25

Relinquished (Client): Gerald Mishler Date: 1/13/12 Time: 3:00pm

Received (Lab): Evasione Date: 1/17 Time:

Comments/Special Instructions: Also send results to Gerald Mishler @ gmishler@geodesign.net
* LAB to seperate wall plaster layers (skim + base coat)

031201533

EMSL

EMSL ANALYTICAL, INC.

Asbestos Lab Services Chain of Custody

EMSL Order Number (Lab Use Only):

New York, NY
307 West 38th Street
New York, NY 10018
PHONE: (212) 290-0051
FAX: (212) 290-0058

	Sample #		Sample Description	Volume/Area (Air) HA # (Bulk)	Date/Time Sampled
*	WP-8		First Floor Front office wall		1/13/12
*	WP-9		First Floor main corridor (front)		
*	WP-10		First Floor main corridor (Rear)		
*	WP-11		Second Floor wall opsite stairs		
	Conc-2		chapel wall concrete	Not submitted	
*	Ceil WP-1		Basement Ceiling plaster (front entrance)		
*	Ceil WP-2		Basement Ceiling plaster (near boiler)		
*	WP-12		Basement ~~Conc~~ Ceiling plaster		
*	Ceil WP-3 ~~WP-13~~		Basement wall		
*	WP-14		Basement wall		
	Conc-2 ~~WP-15~~		Basement wall concrete		
*	WP-16		Basement wall		
*	WP-17		Basement wall		
	WP-18		Basement wall skim coat over concrete		
	MS-1		Basement Beige Linoleum		
•	MS-2		Basement Beige Linoleum mastic		↓

Comments/Special Instructions: Also send results to Gerald Mishler @ gmishler@geodesign.net

* LAB to seperate wall plaster layers (skim + base coat)

• LAB to scrap mastic off linoleum.

(8)

031201533

031201533

Asbestos Lab Services Chain of Custody

EMSL Order Number *(Lab Use Only)*:

New York, NY
307 West 38th Street
New York, NY 10018
PHONE: (212) 290-0051
FAX: (212) 290-0058

Sample #		Sample Description	Volume/Area (Air) HA # (Bulk)		Date/Time Sampled
* WP-19		FIRST FLOOR wall outside CHAPEL entrance			1/13/12

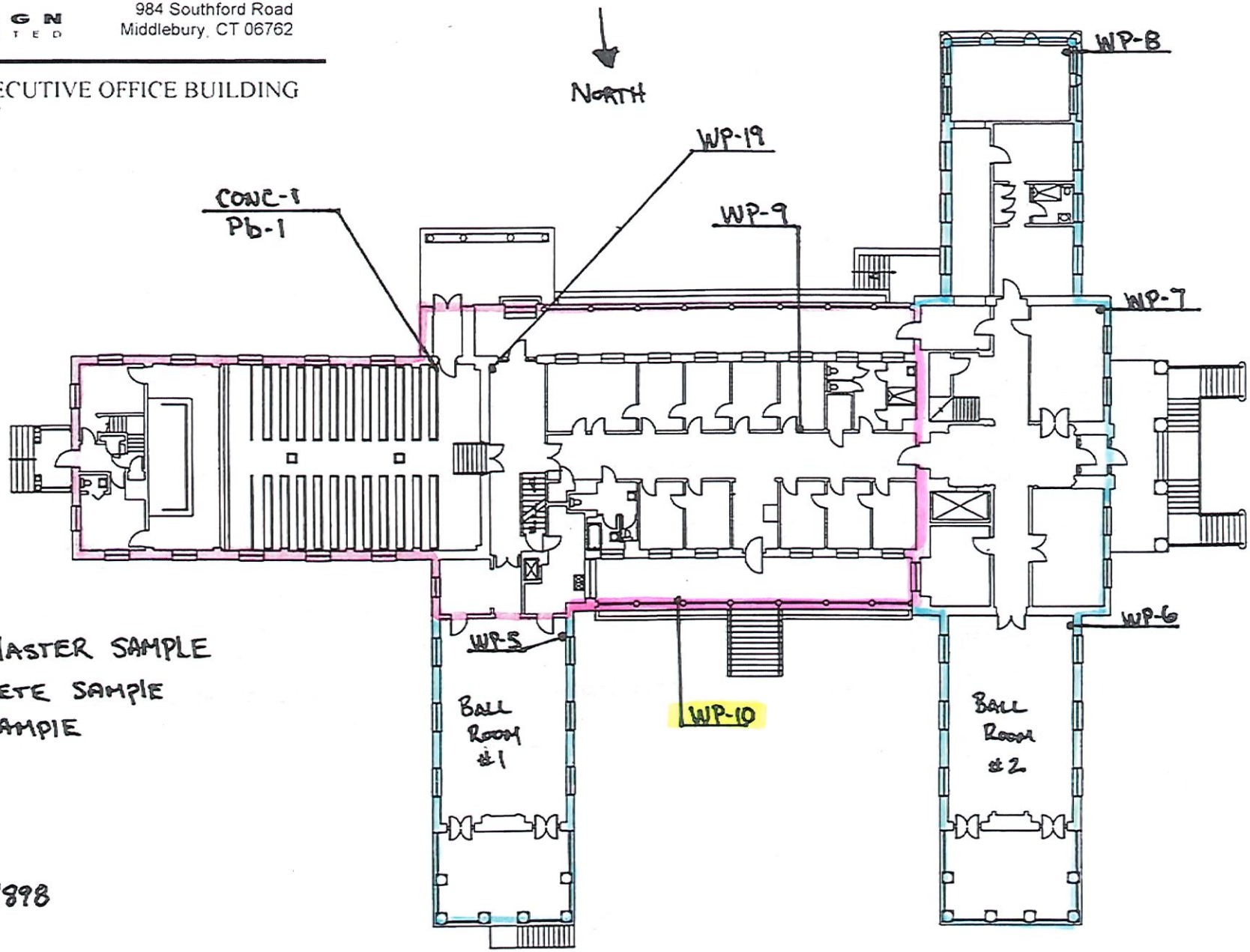
Comments/Special Instructions: Also send results to Gerald Mishler @ gmishler@geodesign.net

** LAB to seperate layers (SKIM + BASE COAT)

03120153

GEODESIGN INCORPORATED
984 Southford Road
Middlebury, CT 06762

FIELDHOME EXECUTIVE OFFICE BUILDING
YORKTOWN, NY
FIGURE 2
FIRST FLOOR



LEGEND

WP = WALL PLASTER SAMPLE
Conc = CONCRETE SAMPLE
Pb = LEAD SAMPLE

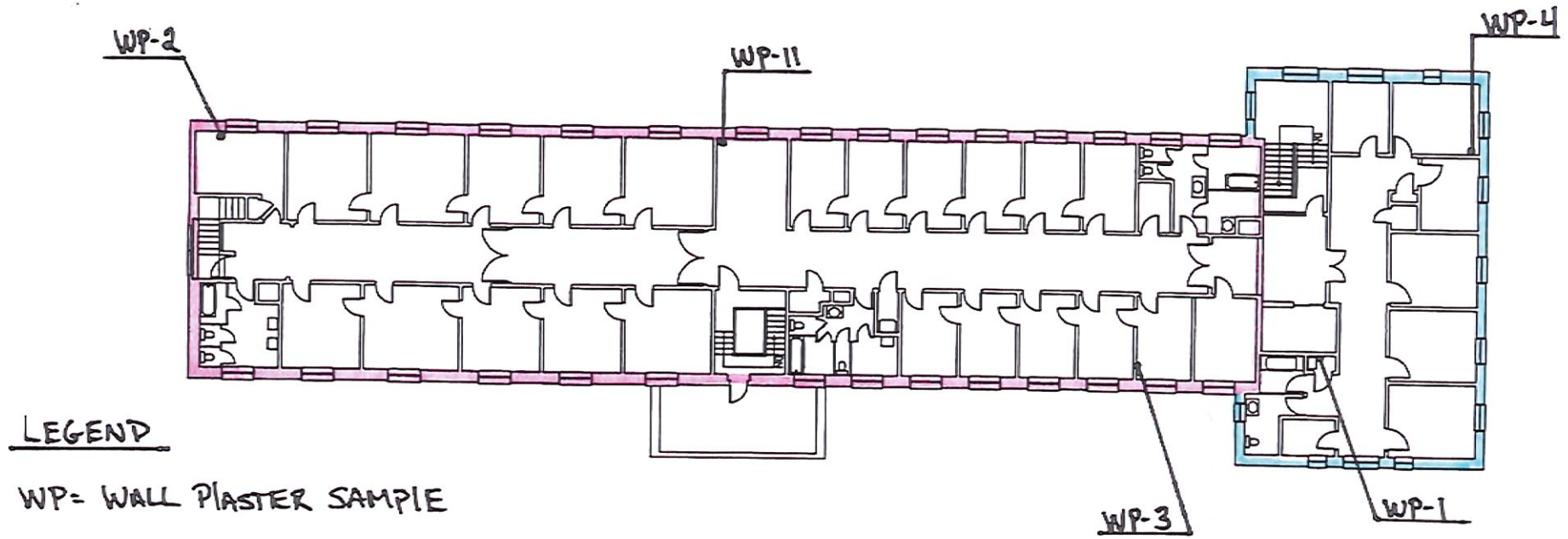
1896-1898

1920 ADDITION

- ASBESTOS IDENTIFIED

GEODESIGN INCORPORATED
984 Southford Road
Middlebury, CT 06762

FIELDHOME EXECUTIVE OFFICE BUILDING
YORKTOWN, NY
FIGURE 1
SECOND FLOOR



GEODESIGN INCORPORATED
984 Southford Road
Middlebury, CT 06762

FIELDHOME EXECUTIVE OFFICE BUILDING
YORKTOWN, NY
FIGURE 3
BASEMENT

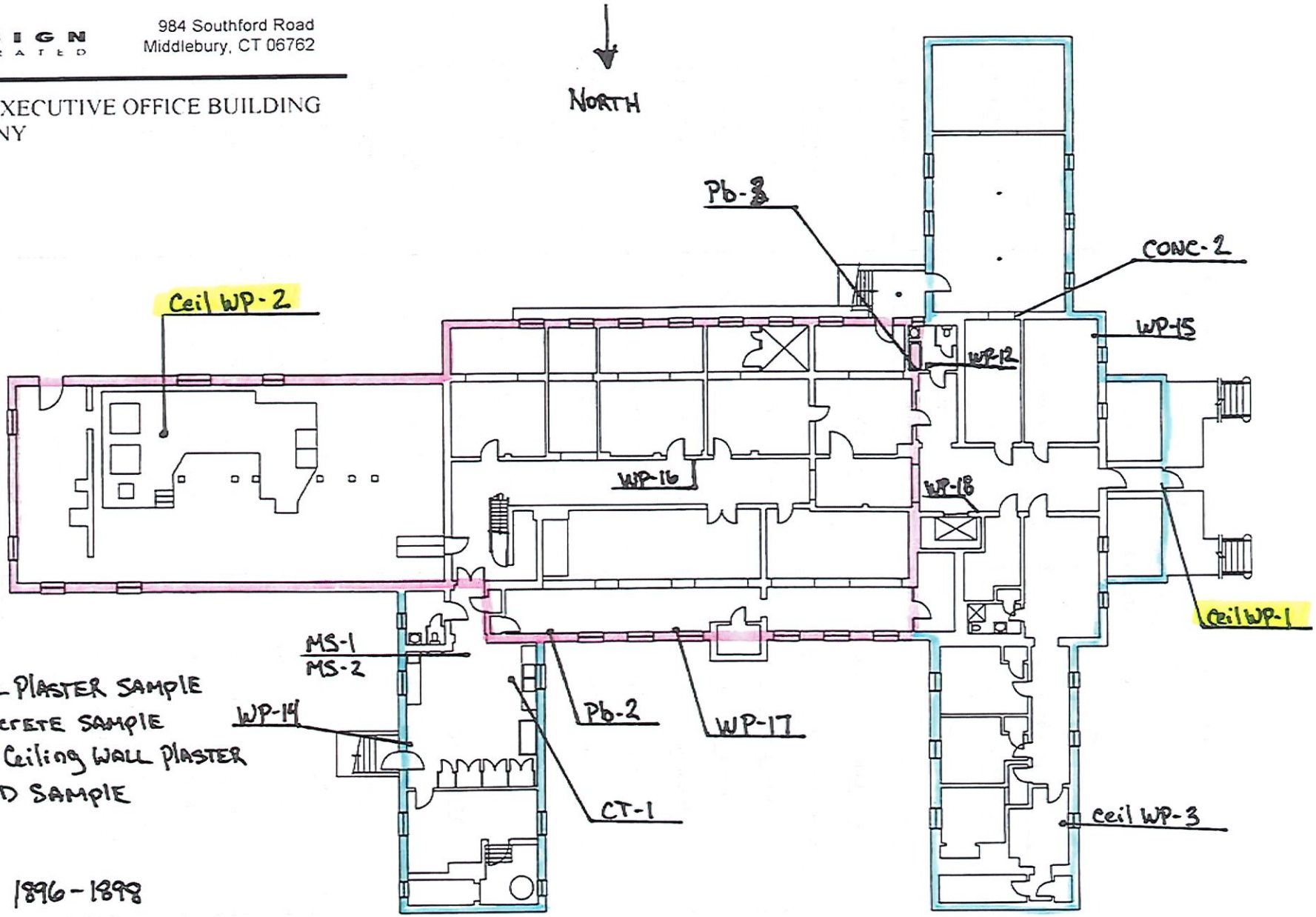


TABLE 1
ASBESTOS SAMPLING & ANALYSIS SUMMARY
FIELDHOME EXECUTIVE OFFICE BUILDING
2303 CATHERINE STREET
YORKTOWN, NEW YORK

Sample Designation	Sample Location	Material Description	Analytical Result
Conc-1	Second Floor - Chapel Wall	Concrete	None Detected
Conc-2	Basement	Concrete	None Detected
Ceil WP-1	Basement Ceiling - Front Entrance	Ceiling Wall Plaster - Skim Coat	1.80 % Chrysotile
Ceil WP-1	Basement Ceiling - Front Entrance	Ceiling Wall Plaster - Rough Coat	None Detected
Ceil WP-2*	Basement Ceiling - Near Boiler	Ceiling Wall Plaster	5.20 % Chrysotile
Ceil WP-3	Basement Ceiling	Ceiling Wall Plaster - Skim Coat	None Detected
Ceil WP-3	Basement Ceiling	Ceiling Wall Plaster - Rough Coat	< 1% Chrysotile
CT-1	Basement - Kitchen	2-foot by 2-foot Suspended Ceiling Tile	None Detected
MS-1	Basement - Kitchen	Beige Linoleum	2.4% Chrysotile
MS-2	Basement - Kitchen	Gray Mastic under Linoleum	8.9% Chrysotile
WP-1	Second Floor - Closet	Wall Plaster - Skim Coat	None Detected
WP-1	Second Floor - Closet	Wall Plaster - Rough Coat	< 1% Chrysotile
WP-2	Second Floor - Copy/Storage Room	Wall Plaster - Skim Coat	None Detected
WP-2	Second Floor - Copy/Storage Room	Wall Plaster - Rough Coat	None Detected
WP-3	Second Floor - Office	Wall Plaster - Skim Coat	None Detected
WP-3	Second Floor - Office	Wall Plaster - Rough Coat	None Detected
WP-4	Second Floor - Office/File Room	Wall Plaster - Skim Coat	None Detected
WP-4	Second Floor - Office/File Room	Wall Plaster - Rough Coat	None Detected
WP-5	First Floor - Ballroom # 1	Wall Plaster - Skim Coat	None Detected
WP-5	First Floor - Ballroom # 1	Wall Plaster - Rough Coat	< 1% Chrysotile
WP-6	First Floor - Ballroom # 2	Wall Plaster - Skim Coat	None Detected
WP-6	First Floor - Ballroom # 2	Wall Plaster - Rough Coat	< 1% Chrysotile
WP-7	First Floor - Front Entrance	Wall Plaster - Skim Coat	None Detected
WP-7	First Floor - Front Entrance	Wall Plaster - Rough Coat	< 1% Chrysotile
WP-8	First Floor - Front Office (CFO)	Wall Plaster - Skim Coat	None Detected

ASBESTOS SAMPLING & ANALYSIS SUMMARY
FIELDHOME EXECUTIVE OFFICE BUILDING
2303 CATHERINE STREET
YORKTOWN, NEW YORK

Sample Designation	Sample Location	Material Description	Analytical Result
WP-8	First Floor - Front Office (CFO)	Wall Plaster - Rough Coat	None Detected
WP-9	First Floor - Main Corridor Front Office	Wall Plaster - Skim Coat	None Detected
WP-9	First Floor - Main Corridor Front Office	Wall Plaster - Rough Coat	None Detected
WP-10	First Floor - Main Corridor (Rear)	Wall Plaster - Skim Coat	None Detected
WP-10	First Floor - Main Corridor (Rear)	Wall Plaster - Rough Coat	1.50 % Chrysotile
WP-11	Second Floor - Wall Opposite Stairwell	Wall Plaster - Skim Coat	None Detected
WP-11	Second Floor - Wall Opposite Stairwell	Wall Plaster - Rough Coat	None Detected
WP-12	Basement	Wall Plaster - Skim Coat	None Detected
WP-12	Basement	Wall Plaster - Rough Coat	< 1% Chrysotile
WP-14*	Basement	Wall Plaster	None Detected
WP-16	Basement	Wall Plaster - Skim Coat	None Detected
WP-16	Basement	Wall Plaster - Rough Coat	None Detected
WP-17	Basement	Wall Plaster - Skim Coat	None Detected
WP-17	Basement	Wall Plaster - Rough Coat	< 1 % Chrysotile
WP-18	Basement	Wall Plaster - Skim Coat Over Concrete	None Detected
WP-19	First Floor - Wall Outside Chapel Entrance	Wall Plaster - Skim Coat	None Detected
WP-19	First Floor - Wall Outside Chapel Entrance	Wall Plaster - Rough Coat	None Detected

Notes:

The samples were collected by GeoDesign, Inc. of Middlebury, CT and analyzed by EMSL Analytical of New York, NY.

* = Indicates that the laboratory could not separate layers for analysis.

EMSL Analytical, Inc.
307 West 38th Street, New York, NY 10018
Phone: (212) 290-0051

Attn: **Timothy Carr**
GeoDesign Inc
984 Southford Road
Middlebury, CT 06762

Fax: (203) 758-8842 Phone: (203) 758-8836
Project: **355-72.1/ FIELDHOME BLDG./ NY**

Customer ID: GDI50
Customer PO: 355-72.1
Received: 01/17/12 3:00 PM
EMSL Order: 031201533
EMSL Proj:

Test Report:Asbestos Analysis of Bulk Material

Sample Description	Test	Analyzed Date	Color	Non Asbestos Fibrous	Non-Fibrous	Asbestos	Comments
CONC-1	PLM NYS 198.1 Friable	1/19/2012	Brown/Gray		100%	None Detected	
031201533-0001	PLM NYS 198.6 NOB				N/A		Not Analyzed
SECOND FLOOR/ CHAPEL WALL CONCRETE	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-1-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0002	PLM NYS 198.6 NOB				N/A		Not Analyzed
SECOND FLOOR/ CLOSET WALL PLASTER	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-1-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Gray		100%	<1% Chrysotile	
031201533-0002A	PLM NYS 198.6 NOB				N/A		Not Analyzed
SECOND FLOOR/ CLOSET WALL PLASTER	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-2-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0003	PLM NYS 198.6 NOB				N/A		Not Analyzed
SECOND FLOOR/ COPY/STORAGE ROOM	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-2-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Brown		100%	None Detected	
031201533-0003A	PLM NYS 198.6 NOB				N/A		Not Analyzed
SECOND FLOOR/ COPY/STORAGE ROOM	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-3-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0004	PLM NYS 198.6 NOB				N/A		Not Analyzed
SECOND FLOOR/ OFFICE WALL PLASTER	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-3-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Gray		100%	None Detected	
031201533-0004A	PLM NYS 198.6 NOB				N/A		Not Analyzed
SECOND FLOOR/ OFFICE WALL PLASTER	TEM NYS 198.4 NOB				N/A		Not Analyzed

Initial Report From 01/20/2012 13:42:11

EMSL Analytical, Inc.
307 West 38th Street, New York, NY 10018
Phone: (212) 290-0051

Attn: **Timothy Carr**
GeoDesign Inc
984 Southford Road
Middlebury, CT 06762

Fax: (203) 758-8842 Phone: (203) 758-8836
Project: **355-72.1/ FIELDHOME BLDG./ NY**

Customer ID: GDI50
Customer PO: 355-72.1
Received: 01/17/12 3:00 PM
EMSL Order: 031201533
EMSL Proj:

Test Report:Asbestos Analysis of Bulk Material

Sample Description	Test	Analyzed Date	Color	Non Asbestos Fibrous	Non-Fibrous	Asbestos	Comments
WP-4-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0005	PLM NYS 198.6 NOB				N/A		Not Analyzed
SECOND FLOOR/ OFFICE/FILE ROOM	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-4-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Gray		100%	None Detected	
031201533-0005A	PLM NYS 198.6 NOB				N/A		Not Analyzed
SECOND FLOOR/ OFFICE/FILE ROOM	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-5-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0006	PLM NYS 198.6 NOB				N/A		Not Analyzed
FIRST FLOOR/ BALLROOM #1 WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-5-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Brown		100%	<1% Chrysotile	
031201533-0006A	PLM NYS 198.6 NOB				N/A		Not Analyzed
FIRST FLOOR/ BALLROOM #1 WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-6-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0007	PLM NYS 198.6 NOB				N/A		Not Analyzed
FIRST FLOOR/ BALLROOM #2	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-6-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Brown	<1% Hair	100%	<1% Chrysotile	
031201533-0007A	PLM NYS 198.6 NOB				N/A		Not Analyzed
FIRST FLOOR/ BALLROOM #2	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-7-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0008	PLM NYS 198.6 NOB				N/A		Not Analyzed
FIRST FLOOR/ FRONT ENTRANCE WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-7-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Brown	<1% Hair	100%	<1% Chrysotile	
031201533-0008A	PLM NYS 198.6 NOB				N/A		Not Analyzed
FIRST FLOOR/ FRONT ENTRANCE WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed

Initial Report From 01/20/2012 13:42:11

EMSL Analytical, Inc.
307 West 38th Street, New York, NY 10018
Phone: (212) 290-0051

Attn: **Timothy Carr**
GeoDesign Inc
984 Southford Road
Middlebury, CT 06762

Fax: (203) 758-8842 Phone: (203) 758-8836
Project: **355-72.1/ FIELDHOME BLDG./ NY**

Customer ID: GDI50
Customer PO: 355-72.1
Received: 01/17/12 3:00 PM
EMSL Order: 031201533
EMSL Proj:

Test Report:Asbestos Analysis of Bulk Material

Sample Description	Test	Analyzed Date	Color	Non Asbestos Fibrous	Non-Fibrous	Asbestos	Comments
WP-8-Skim Coat *031201533-0009* FIRST FLOOR/ FRONT OFFICE WALL	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
	PLM NYS 198.6 NOB				N/A		Not Analyzed
	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-8-Rough Coat *031201533-0009A* FIRST FLOOR/ FRONT OFFICE WALL	PLM NYS 198.1 Friable	1/19/2012	Gray		100%	None Detected	
	PLM NYS 198.6 NOB				N/A		Not Analyzed
	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-9-Skim Coat *031201533-0010* FIRST FLOOR/ MAIN CORRIDOR (FRONT)	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
	PLM NYS 198.6 NOB				N/A		Not Analyzed
	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-9-Rough Coat *031201533-0010A* FIRST FLOOR/ MAIN CORRIDOR (FRONT)	PLM NYS 198.1 Friable	1/19/2012	Brown		100%	None Detected	
	PLM NYS 198.6 NOB				N/A		Not Analyzed
	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-10-Skim Coat *031201533-0011* FIRST FLOOR/ MAIN CORRIDOR (REAR)	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
	PLM NYS 198.6 NOB				N/A		Not Analyzed
	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-10-Rough Coat *031201533-0011A* FIRST FLOOR/ MAIN CORRIDOR (REAR)	PLM NYS 198.1 Friable	1/19/2012	Brown		98.5%	1.50% Chrysotile	
	PLM NYS 198.6 NOB				N/A		Not Analyzed
	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-11-Skim Coat *031201533-0012* SECOND FLOOR/ WALL OPPOSITE STAIRS	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
	PLM NYS 198.6 NOB				N/A		Not Analyzed
	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-11-Rough Coat *031201533-0012A* SECOND FLOOR/ WALL OPPOSITE STAIRS	PLM NYS 198.1 Friable	1/19/2012	Brown		100%	None Detected	
	PLM NYS 198.6 NOB				N/A		Not Analyzed
	TEM NYS 198.4 NOB				N/A		Not Analyzed

Initial Report From 01/20/2012 13:42:11

EMSL Analytical, Inc.
307 West 38th Street, New York, NY 10018
Phone: (212) 290-0051

Attn: **Timothy Carr**
GeoDesign Inc
984 Southford Road
Middlebury, CT 06762
Fax: (203) 758-8842 Phone: (203) 758-8836
Project: **355-72.1/ FIELDHOME BLDG./ NY**

Customer ID: GDI50
Customer PO: 355-72.1
Received: 01/17/12 3:00 PM
EMSL Order: 031201533
EMSL Proj:

Test Report:Asbestos Analysis of Bulk Material

Sample Description	Test	Analyzed Date	Color	Non Asbestos Fibrous	Non Asbestos Non-Fibrous	Asbestos	Comments
CONC-2	PLM NYS 198.1 Friable	1/19/2012				Not Submitted	
031201533-0013	PLM NYS 198.6 NOB				N/A		Not Analyzed
CHAPEL WALL CONCRETE	TEM NYS 198.4 NOB				N/A		Not Analyzed
CEIL WP-1-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		98.2%	1.80% Chrysotile	
031201533-0014	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ CEILING PLASTER/ FRONT ENTRANCE	TEM NYS 198.4 NOB				N/A		Not Analyzed
CEIL WP-1-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Gray		100%	None Detected	
031201533-0014A	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ CEILING PLASTER/ FRONT ENTRANCE	TEM NYS 198.4 NOB				N/A		Not Analyzed
CEIL WP-2	PLM NYS 198.1 Friable	1/19/2012	Gray		94.8%	5.20% Chrysotile	Note: Inseperable paint layer.
031201533-0015	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ CEILING PLASTER/ NEAR BOILER	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-12-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0016	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ CEILING PLASTER	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-12-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Brown		100%	<1% Chrysotile	
031201533-0016A	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ CEILING PLASTER	TEM NYS 198.4 NOB				N/A		Not Analyzed
CEIL WP-3-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0017	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed
CEIL WP-3-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Brown		100%	<1% Chrysotile	
031201533-0017A	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed

Initial Report From 01/20/2012 13:42:11

EMSL Analytical, Inc.
307 West 38th Street, New York, NY 10018
Phone: (212) 290-0051

Attn: **Timothy Carr**
GeoDesign Inc
984 Southford Road
Middlebury, CT 06762
Fax: (203) 758-8842 Phone: (203) 758-8836
Project: **355-72.1/ FIELDHOME BLDG./ NY**

Customer ID: GDI50
Customer PO: 355-72.1
Received: 01/17/12 3:00 PM
EMSL Order: 031201533
EMSL Proj:

Test Report:Asbestos Analysis of Bulk Material

Sample Description	Test	Analyzed Date	Color	Non Asbestos Fibrous	Non Asbestos Non-Fibrous	Asbestos	Comments
WP-14	PLM NYS 198.1 Friable	1/19/2012	Tan/White		100%	None Detected	Layers inseparable
031201533-0018	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed
CONC-2	PLM NYS 198.1 Friable	1/19/2012	Brown		100%	None Detected	
031201533-0019	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ WALL CONCRETE	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-16-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0020	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-16-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Brown		100%	None Detected	
031201533-0020A	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-17-Skim Coat	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0021	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-17-Rough Coat	PLM NYS 198.1 Friable	1/19/2012	Brown		100%	<1% Chrysotile	
031201533-0021A	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ WALL	TEM NYS 198.4 NOB				N/A		Not Analyzed
WP-18	PLM NYS 198.1 Friable	1/19/2012	White		100%	None Detected	
031201533-0022	PLM NYS 198.6 NOB				N/A		Not Analyzed
BASEMENT/ WALL CONCRETE	TEM NYS 198.4 NOB				N/A		Not Analyzed
MS-1	PLM NYS 198.1 Friable						Not Analyzed
031201533-0023	PLM NYS 198.6 NOB	1/19/2012	Yellow		N/A	2.4% Chrysotile 2.4% Total	
BASEMENT/ BEIGE LINOLEUM	TEM NYS 198.4 NOB				N/A		Not Analyzed

Initial Report From 01/20/2012 13:42:11

EMSL Analytical, Inc.
307 West 38th Street, New York, NY 10018
Phone: (212) 290-0051

Attn: **Timothy Carr**
GeoDesign Inc
984 Southford Road
Middlebury, CT 06762

Fax: (203) 758-8842 Phone: (203) 758-8836
Project: **355-72.1/ FIELDHOME BLDG./ NY**

Customer ID: GDI50
Customer PO: 355-72.1
Received: 01/17/12 3:00 PM
EMSL Order: 031201533
EMSL Proj:

Test Report:Asbestos Analysis of Bulk Material

Sample Description	Test	Analyzed Date	Color	Non Asbestos Fibrous	Non Asbestos Non-Fibrous	Asbestos	Comments
MS-2	**PLM NYS 198.1 Friable**						Not Analyzed
031201533-0024	**PLM NYS 198.6 NOB**	1/19/2012	Gray		N/A	**8.9% Chrysotile** **8.9% Total**	
BASEMENT/ BEIGE LINOLEUM MASTIC	**TEM NYS 198.4 NOB**				N/A		Not Analyzed
WP-19-Skim Coat	**PLM NYS 198.1 Friable**	1/19/2012	White		100%	**None Detected**	
031201533-0025	**PLM NYS 198.6 NOB**				N/A		Not Analyzed
FIRST FLOOR/ WALL OUTSIDE CHAPEL ENTRANCE	**TEM NYS 198.4 NOB**				N/A		Not Analyzed
WP-19-Rough Coat	**PLM NYS 198.1 Friable**	1/19/2012	Gray		100%	**None Detected**	
031201533-0025A	**PLM NYS 198.6 NOB**				N/A		Not Analyzed
FIRST FLOOR/ WALL OUTSIDE CHAPEL ENTRANCE	**TEM NYS 198.4 NOB**				N/A		Not Analyzed
CT-1	**PLM NYS 198.1 Friable**						Not Analyzed
031201533-0026	**PLM NYS 198.6 NOB**	1/20/2012	White /Beige		N/A	**Inconclusive: None Detected**	
FIELD HOME BASEMENT/ BASEMENT KITCHEN	**TEM NYS 198.4 NOB**	1/20/2012	White /Beige		N/A	**None Detected**	

NOB = Non Friable Organically Bound
N/A = Not Applicable

Analyst(s)

Alexander Balter *Emily Myint*
Alicia Folgar
Albert Grohmann

James Hall, Laboratory Manager
or other approved signatory

Samples analyzed by EMSL Analytical, Inc. New York, NY NYS ELAP 11506

Initial Report From 01/20/2012 13:42:11

THIS IS THE LAST PAGE OF THE REPORT.

031201533

Asbestos Lab Services Chain of Custody

EMSL Order Number *(Lab Use Only)*:

New York, NY
307 West 38th Street
New York, NY 10018
PHONE (212) 290-0051
FAX (212) 290-0058

Company: GeoDesign, Inc	EMSL-Bill to: ☑ Same ☐ Different If Bill to is Different note instructions in Comments** *Third Party Billing requires written authorization from third party*
Street: 984 Southford Road	
City/State/Zip: Middlebury, CT 06762	
Report To (Name): Tim Carr	Fax: 203-758-8842
Telephone: 203-758-8836 x 106	Email Address: tim@geodesign.net
Project Name/Number: FieldHome BLDG	
Please Provide Results: Email / Purchase Order: 355-72.1	State Samples Taken: NY

Turnaround Time (TAT) Options* – Please Check

☐ 3 Hour ☐ 6 Hour ☐ 24 Hour ☐ 48 Hour ☑ 72 Hour ☐ 96 Hour ☐ 1 Week ☐ 2 Week

**For TEM Air 3 hr through 6 hr, please call ahead to schedule. *There is a premium charge for 3 Hour TEM AHERA or EPA Level II TAT. You will be asked to sign an authorization form for this service. Analysis completed in accordance with EMSL's Terms and Conditions located in the Analytical Price Guide.*

PCM - Air ☐ Check if samples are from NY
- ☐ NIOSH 7400
- ☐ w/ OSHA 8hr. TWA

PLM - Bulk (reporting limit)
- ☐ PLM EPA 600/R-93/116 (<1%)
- ☐ PLM EPA NOB (<1%)

Point Count
- ☐ 400 (<0.25%) ☐ 1000 (<0.1%)

Point Count w/Gravimetric
- ☐ 400 (<0.25%) ☐ 1000 (<0.1%)
- ☑ NYS 198.1 (friable in NY)
- ☑ NYS 198.6 NOB (non-friable-NY)
- ☐ NIOSH 9002 (<1%)

TEM – Air ☐ 4-4.5hr TAT (AHERA only)
- ☐ AHERA 40 CFR, Part 763
- ☐ NIOSH 7402
- ☐ EPA Level II
- ☐ ISO 10312

TEM - Bulk
- ☐ TEM EPA NOB
- ☐ NYS NOB 198.4 (non-friable-NY)
- ☐ Chatfield SOP
- ☐ TEM Mass Analysis-EPA 600 sec. 2.5

TEM – Water: EPA 100.2
- Fibers >10µm ☐ Waste ☐ Drinking
- All Fiber Sizes ☐ Waste ☐ Drinking

TEM- Dust
- ☐ Microvac - ASTM D 5755
- ☐ Wipe - ASTM D6480
- ☐ Carpet Sonication (EPA 600/J-93/167)

Soil/Rock/Vermiculite
- ☐ PLM CARB 435 - A (0.25% sensitivity)
- ☐ PLM CARB 435 - B (0.1% sensitivity)
- ☐ TEM CARB 435 - B (0.1% sensitivity)
- ☐ TEM CARB 435 - C (0.01% sensitivity)
- ☐ EPA Protocol (Semi-Quantitative)
- ☐ EPA Protocol (Quantitative)

Other:
- ☐

☐ Check For Positive Stop – Clearly Identify Homogenous Group | Filter Pore Size (Air Samples): ☐ 0.8µm ☐ 0.45µm

Samplers Name: | Samplers Signature:

Sample #	Sample Description	Volume/Area (Air) HA # (Bulk)	Date/Time Sampled
Conc-1	CHAPEL WALL concrete		1/13/12
* WP-1	Second Flor closet wall plaster		
* WP-2	Second Floor copy/storage Room		
* WP-3	Second Floor OFFICE wall plaster		
* WP-4	Second Floor OFFICE / File Room		
* WP-5	First Ball Room #1 Wall		
* WP-6	First Ball Room # 2		
* WP-7	First Floor Front Entrance wall		

Second Floor *

Client Sample # (s): | Total # of Samples: 25

Relinquished (Client): Gerald Mishler Date: 1/13/12 Time: 3:00pm

Received (Lab): Evasione Date: 1/17 Time:

Comments/Special Instructions: Also send results to Gerald Mishler @ gmishler@geodesign.net
* LAB to seperate wall plaster layers (skim + base coat)

031201533

EMSL

EMSL ANALYTICAL, INC.

Asbestos Lab Services Chain of Custody

EMSL Order Number (Lab Use Only):

New York, NY
307 West 38th Street
New York, NY 10018
PHONE: (212) 290-0051
FAX: (212) 290-0058

	Sample #		Sample Description	Volume/Area (Air) HA # (Bulk)	Date/Time Sampled
*	WP-8		First Floor Front office wall		1/13/12
*	WP-9		First Floor main corridor (front)		
*	WP-10		First Floor main corridor (Rear)		
*	WP-11		Second Floor wall opsite stairs		
	Conc-2		chapel wall concrete	Not submitted	
*	Ceil WP-1		Basement Ceiling plaster (front entrance)		
*	Ceil WP-2		Basement Ceiling plaster (near boiler)		
*	WP-12		Basement ~~Conc~~ Ceiling plaster		
*	Ceil WP-3 ~~WP-13~~		Basement wall		
*	WP-14		Basement wall		
	Conc-2 ~~WP-15~~		Basement wall concrete		
*	WP-16		Basement wall		
*	WP-17		Basement wall		
	WP-18		Basement wall skim coat over concrete		
	MS-1		Basement Beige Linoleum		
•	MS-2		Basement Beige Linoleum mastic		↓

Comments/Special Instructions: Also send results to Gerald Mishler @ gmishler@geodesign.net

* LAB to seperate wall plaster layers (skim + base coat)

• LAB to scrap mastic off linoleum.

(8)

031201533

031201533

Asbestos Lab Services Chain of Custody

EMSL Order Number *(Lab Use Only)*:

New York, NY
307 West 38th Street
New York, NY 10018
PHONE: (212) 290-0051
FAX: (212) 290-0058

Sample #		Sample Description	Volume/Area (Air) HA # (Bulk)		Date/Time Sampled
* WP-19		FIRST FLOOR wall outside CHAPEL entrance			1/13/12

Comments/Special Instructions: Also send results to Gerald Mishler @ gmishler@geodesign.net

** LAB to seperate layers (SKIM + BASE COAT)

03120153