



**LEGEND**

---	EXISTING PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING EASEMENT LINE
---	EXISTING BUILDING OVERHANG
---	EXISTING BUILDING LINE
---	EXISTING PAVEMENT EDGE
---	EXISTING CURB LINE
---	EXISTING CONTOUR
---	EXISTING INDEX CONTOUR
---	EXISTING STONE WALL
---	EXISTING RETAINING WALL
---	EXISTING FENCE
---	EXISTING STORM DRAIN LINE AND SIZE
---	EXISTING SANITARY LINE AND SIZE
---	EXISTING WATER LINE
---	EXISTING GAS LINE
---	EXISTING OVERHEAD WIRES
---	EXISTING DRAIN INLET
---	EXISTING MANHOLE
---	EXISTING FIRE HYDRANT
---	EXISTING GAS VALVE
---	EXISTING WATER VALVE
---	EXISTING UTILITY POLE
---	EXISTING LIGHT POLE
---	EXISTING SIGN
---	PROPOSED BUILDING LINE
---	PROPOSED CURB
---	PROPOSED CONCRETE SIDEWALK
---	PROPOSED DROP CURB AND RAMP
---	PROPOSED SANITARY SEWER MANHOLE
---	PROPOSED STORM DRAIN MANHOLE
---	PROPOSED BYPASS MANHOLE
---	PROPOSED TYPE C DRAIN INLET
---	PROPOSED TYPE D DRAIN INLET
---	PROPOSED TYPE U DRAIN INLET
---	PROPOSED END SECTION
---	PROPOSED HEADWALL
---	PROPOSED WATER QUALITY STRUCTURE
---	PROPOSED SUBSURFACE DRAINAGE
---	PROPOSED OUTLET CONTROL STRUCTURE
---	PROPOSED CLEANOUT
---	PROPOSED HYDRANT
---	PROPOSED STORM DRAIN LINE & SIZE
---	PROPOSED SANITARY SEWER LINE & SIZE
---	PROPOSED WATER LINE & SIZE
---	PROPOSED CONCRETE ENCASMENT
---	PROPOSED SANITARY SERVICE LINE
---	PROPOSED WATER SERVICE LINE
---	PROPOSED GAS VALVE
---	PROPOSED WATER VALVE
---	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
---	PROPOSED DOUBLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
---	PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)

- NOTES**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "SURVEY OF PROPERTY," PREPARED BY WARD CAMPBELL ENGINEERS, INC., DATED 01/21/2022.
  - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER, DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
  - UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS IN ACCORDANCE WITH ASTM F-2648. JOINTS SHALL BE WATER-TIGHT IN ACCORDANCE WITH ASTM D-3202.
  - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC) SDR-35, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3012.
  - UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CEMENT-LINED DUCTILE IRON PIPE (DIP), CLASS 52, WITH PUSH-ON JOINTS IN ACCORDANCE WITH AWWA C-150, C-151, C-154 AND C-111.

APPLICANT	
No.	Date
Revision	
By	

**TOLL BROS. INC.**  
470 CANTON ROAD  
DANBURY, CT 06810

JMC Planning, Engineering, Architecture & Land Surveying, PLLC  
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**JMC**

**OVERALL PRELIMINARY  
SITE UTILITIES PLAN**  
**FIELDHOME AT CATHERINE STREET**  
TOWN OF YORKTOWN, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn:	BMS	Approved:	DV
Scale:	1" = 60'		
Date:	04/23/2025		
Project No:	23109		
100-REL	C-300	VILLAGE	

**C-300**





**LEGEND**

EXISTING PROPERTY LINE  
ADJACENT PROPERTY LINE  
EXISTING EASEMENT LINE  
EXISTING BUILDING OVERHANG  
EXISTING BUILDING LINE  
EXISTING PAVEMENT EDGE  
EXISTING CURB LINE  
EXISTING CONTOUR  
EXISTING INDEX CONTOUR  
EXISTING STONE WALL  
EXISTING RETAINING WALL  
EXISTING FENCE  
EXISTING STORM DRAIN LINE AND SIZE  
EXISTING SANITARY LINE AND SIZE  
EXISTING WATER LINE  
EXISTING GAS LINE  
EXISTING OVERHEAD WIRES  
EXISTING DRAIN INLET  
EXISTING MANHOLE  
EXISTING FIRE HYDRANT  
EXISTING GAS VALVE  
EXISTING WATER VALVE  
EXISTING UTILITY POLE  
EXISTING LIGHT POLE  
EXISTING SIGN  
PROPOSED BUILDING LINE  
PROPOSED CURB  
PROPOSED CONCRETE SIDEWALK  
PROPOSED DROP CURB AND RAMP  
PROPOSED SANITARY SEWER MANHOLE  
PROPOSED STORM DRAIN MANHOLE  
PROPOSED BYPASS MANHOLE  
PROPOSED TYPE C DRAIN INLET  
PROPOSED TYPE D DRAIN INLET  
PROPOSED TYPE U DRAIN INLET  
PROPOSED END SECTION  
PROPOSED HEADWALL  
PROPOSED WATER QUALITY STRUCTURE  
PROPOSED SUBSURFACE DRAINAGE  
OUTLET CONTROL STRUCTURE  
PROPOSED CLEANOUT  
PROPOSED HEADWALL  
PROPOSED STORM DRAIN LINE & SIZE  
PROPOSED SANITARY SEWER LINE & SIZE  
PROPOSED WATER LINE & SIZE  
PROPOSED CONCRETE ENCASUREMENT  
PROPOSED SANITARY SERVICE LINE  
PROPOSED WATER SERVICE LINE  
PROPOSED GAS VALVE  
PROPOSED RETAINING WALL  
(DESIGN BY OTHERS)  
PROPOSED DOUBLE ARM LIGHTING STANDARD  
(DESIGN BY OTHERS)  
PROPOSED SINGLE ARM LIGHTING STANDARD  
(DESIGN BY OTHERS)

- NOTES**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLED, "SURVEY OF PROPERTY, PREPARED BY WARD CARPENTER ENGINEERS, INC., DATED 01/25/2022."
  - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND BE PROTECTED FROM HEAVY MACHINERY TRAFFIC DURING CONSTRUCTION. HOWEVER, DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND AVOID HEAVY MACHINERY TRAFFIC TO THE MAXIMUM EXTENT PRACTICABLE. THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION FENCE AROUND THE PRACTICE TO DISCOURAGE VEHICLE TRAFFIC.
  - UNLESS OTHERWISE SPECIFIED, PIPE FOR STORM DRAINS SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORROSION RESISTANCE IN ACCORDANCE WITH ASTM F-2648. JOINTS SHALL BE WATER-TIGHT IN ACCORDANCE WITH ASTM D-3201.
  - UNLESS OTHERWISE SPECIFIED, PIPE FOR SANITARY SEWER GRAVITY LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC), CLASS 25, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM D-3034 AND D-3022.
  - UNLESS OTHERWISE SPECIFIED, PIPE FOR WATER LINES SHALL BE DOUBLE CEMENT-LEADED DUCTILE IRON PIPE (DIP), CLASS 52, WITH PUSH-ON JOINTS IN ACCORDANCE WITH ASTM A-153, C-153, C-154, C-155 AND C-111.

**PRELIMINARY SITE UTILITIES PLAN (NORTH)**  
FIELDHOME AT CATHERINE STREET  
TOWN OF YORKTOWN, NEW YORK

**TOLL BROS. INC.**  
420 BEECHWOOD ROAD  
DANBURY, CT 06810

**JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC**  
John Meyer Consulting, Inc.  
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Drawn: BMS Approved: DV  
Scale: 1" = 40'  
Date: 04/23/2025  
Project No: 23109  
100-RR C-301 VIL.Lat  
Drawing No: C-301



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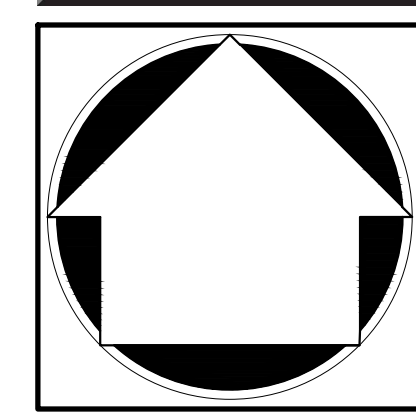


- NOTES**
- EXISTING CONDITIONS DEPICTED ON THIS PLAN HAVE BEEN TAKEN FROM SURVEY TITLE, "SURVEY OF PROPERTY," PREPARED BY WARD ENGINEERS, INC., DATED 03/31/2022.
  - ALL STORMWATER MANAGEMENT PRACTICES SHALL REMAIN UNDISTURBED AND SHALL BE KEPT NEARLY MAINTAINED THROUGHOUT CONSTRUCTION. HOWEVER, DURING CONSTRUCTION OF THE PRACTICE THE CONTRACTOR SHALL MINIMIZE AND MAINTAIN THE EXISTING VEGETATION AND SOILS. THE CONTRACTOR SHALL ENSURE THERE SHALL BE NO STORAGE OF MATERIALS WITHIN AREAS TO BE USED FOR STORMWATER MANAGEMENT PRACTICES. THE CONTRACTOR SHALL INSTALL CONSTRUCTION EROSION CONTROL MEASURES TO PREVENT EROSION. THE TRAFFIC SHALL BE LIMITED TO THE EXISTING DRIVEWAY AND SHALL BE KEPT OFF THE TRAFFIC PAVEMENT.
  - UNLESS OTHERWISE SPECIFIED, PORE FOR STORM DRAINS SHALL BE HIGHEST DENSITY POLYETHYLENE PIPE (HDPE) WITH A SMOOTH INTERIOR AND ANNUAL EROSION RESISTANCE OF 100% ACCORDANCE WITH ASTM D-3212.
  - UNLESS OTHERWISE SPECIFIED, PORE FOR SAND/SERV GRASS GRADUITY SHALL BE 1/2" TO 3/4" CHALKLINE PIPE WITH A SMOOTH INTERIOR AND ANNUAL EROSION RESISTANCE OF 100% ACCORDANCE WITH ASTM D-3034 AND D-3212.
  - UNLESS OTHERWISE SPECIFIED, PORE FOR WATER LINES SHALL BE DOUBLE

[illegible]

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PRELIMINARY SITE  
UTILITIES PLAN (SOUTH)

FIELDHOME AT CATHERINE STREET  
CATHERINE STREET  
TOWN OF YORKTOWN, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.


Drawn: BMS		Approved: DV	
Scale: 1" = 40'			
Date: 04/23/2025			
Project No: 23109			
2309-UTL	C-302	UTL scr	
Drawing No:			
C-302			



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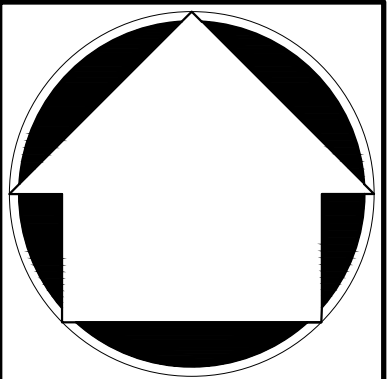
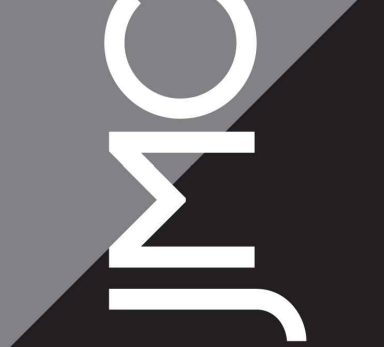
PHASING LEGEND	
	PHASE 1A
	PHASE 1B
	PHASE 2
	PHASE 3

LEGEND	
	PROPOSED DIVIDING LINES AND PHASE NUMBER
	PROPOSED INLET PROTECTION
	PROPOSED CONSTRUCTION FENCE
	PROPOSED SILT FENCE
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED STOCKPILE AREA
	PROPOSED TEMPORARY SWALE
	PROPOSED TEMPORARY SEDIMENT BASIN
	TEMPORARY RISER & ANTI-VORTEX DEVICE
	PROPOSED CONCRETE TRUCK WASHOUT

No.	Revisions	Date	By

APPLICANT:  
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42 CANTERBURY ROAD  
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**PRELIMINARY CONSTRUCTION PHASING PLAN**  
**FIELDHOME AT CATHERINE STREET**  
TOWN OF YORKTOWN, NEW YORK

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Drawn: CDF	Approved: DV
Scale: 1" = 60'	
Date: 04/23/2025	
Project No: 23109	
2309-PHASE PHASING	SEAL

**C-400**



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1. ALL CABLES AND WIRING SHALL BE INSTALLED UNDERGROUND IN CONDUIT. CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT INSTALLED WITH TWO (2) FEET OF COVER. MINIMUM SIZE OF CONDUIT SHALL BE TWO (2) INCH DIAMETER.

2. CIRCUIT WIRING SHALL BE #  COPPER CONDUCTORS, TYPE XHHW. CIRCUITRY SHALL BE AS SHOWN ON THE DRAWINGS.

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Drawn:	NB	Approved:	DV
Scale:	1" = 60'		
Date:	04/23/2025		
Project No:	23109		
3309-LIGHTING	LIGHTING	LAY.scd	

C-600

**JMC Planning, Engineering, Landscape  
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**JMC Site Development Consultants, LLC**

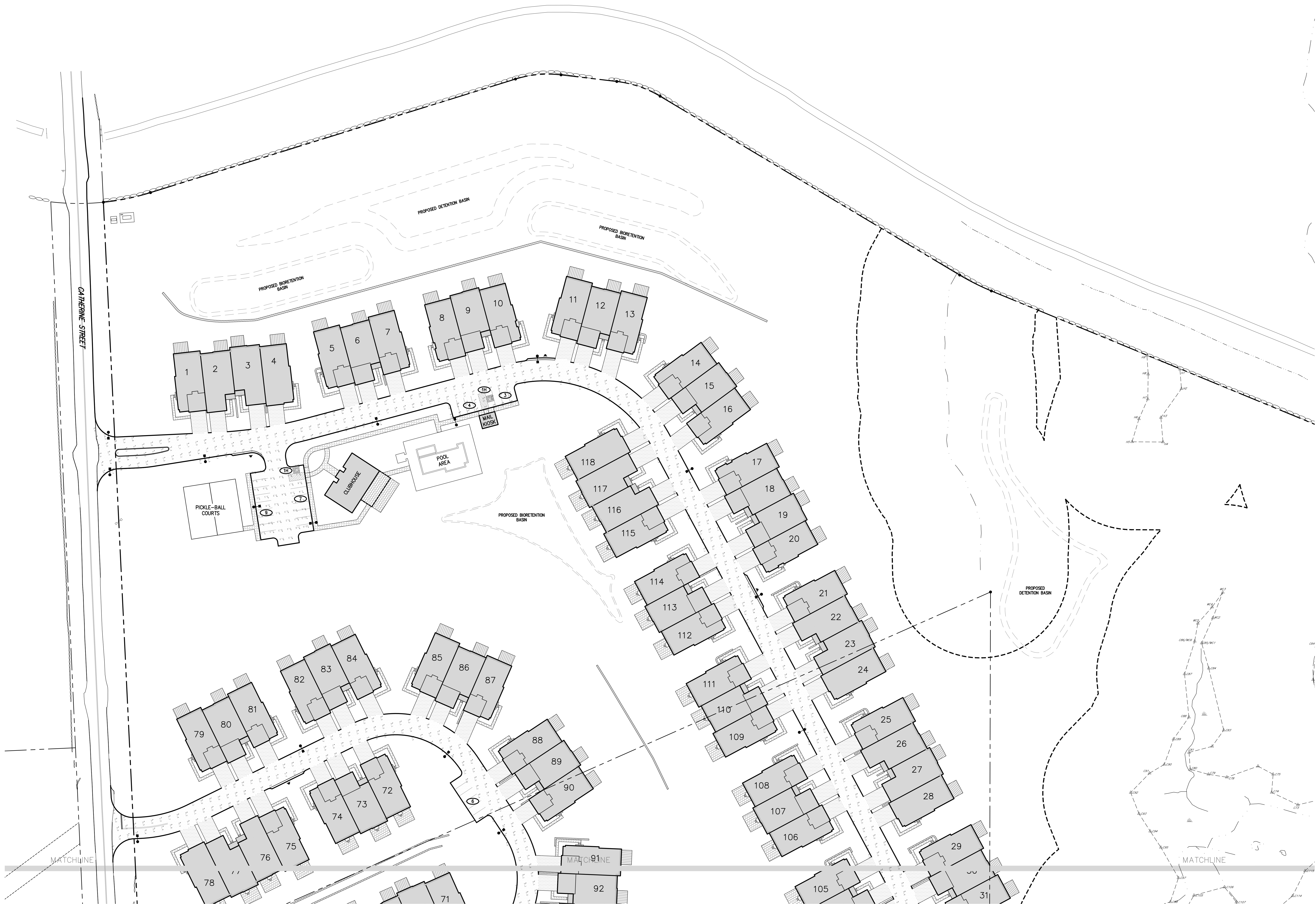
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**TOLL BROS, INC.**  
42 OLD RIDGEBURY ROAD  
DALLAS, TEXAS 75244

[illegible]





LEGEND	
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
	PROPOSED ILLUMINANCE IN FOOT-CANDLES
	EXISTING FEATURE TO BE REMOVED

NOTES:

1. ALL CABLES AND WIRING SHALL BE INSTALLED UNDERGROUND IN CONDUIT. CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT INSTALLED WITH TWO (2) FEET OF COVER. MINIMUM SIZE OF CONDUIT SHALL BE TWO (2) INCH DIAMETER.
2. CIRCUIT WIRING SHALL BE # ☐ COPPER CONDUCTORS, TYPE XHHW. CIRCUITRY SHALL BE AS SHOWN ON THE DRAWINGS.

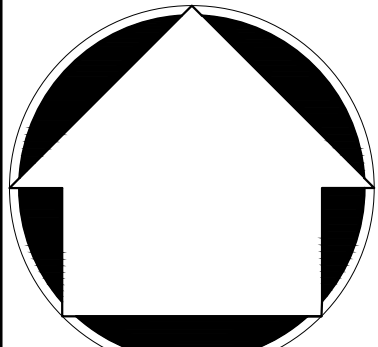
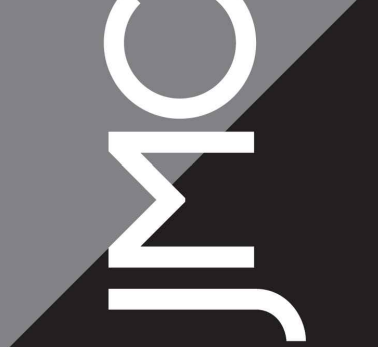
No.	Revision	Date	By

No.	Revision	Date	By

APPLICANT:

**TOLL BROS. INC.**  
42 OAK RIDGE ROAD  
DANBURY, CT 06810

JMC Planning & Engineering, LLC  
Architecture & Land Surveying, PLLC  
JMC Site Development Consultants, LLC  
John Meyer Consulting, Inc.  
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**PRELIMINARY SITE LIGHTING  
PLAN (NORTH)**  
**FIELDHOME AT CATHERINE STREET**  
TOWN OF YORKTOWN, NEW YORK

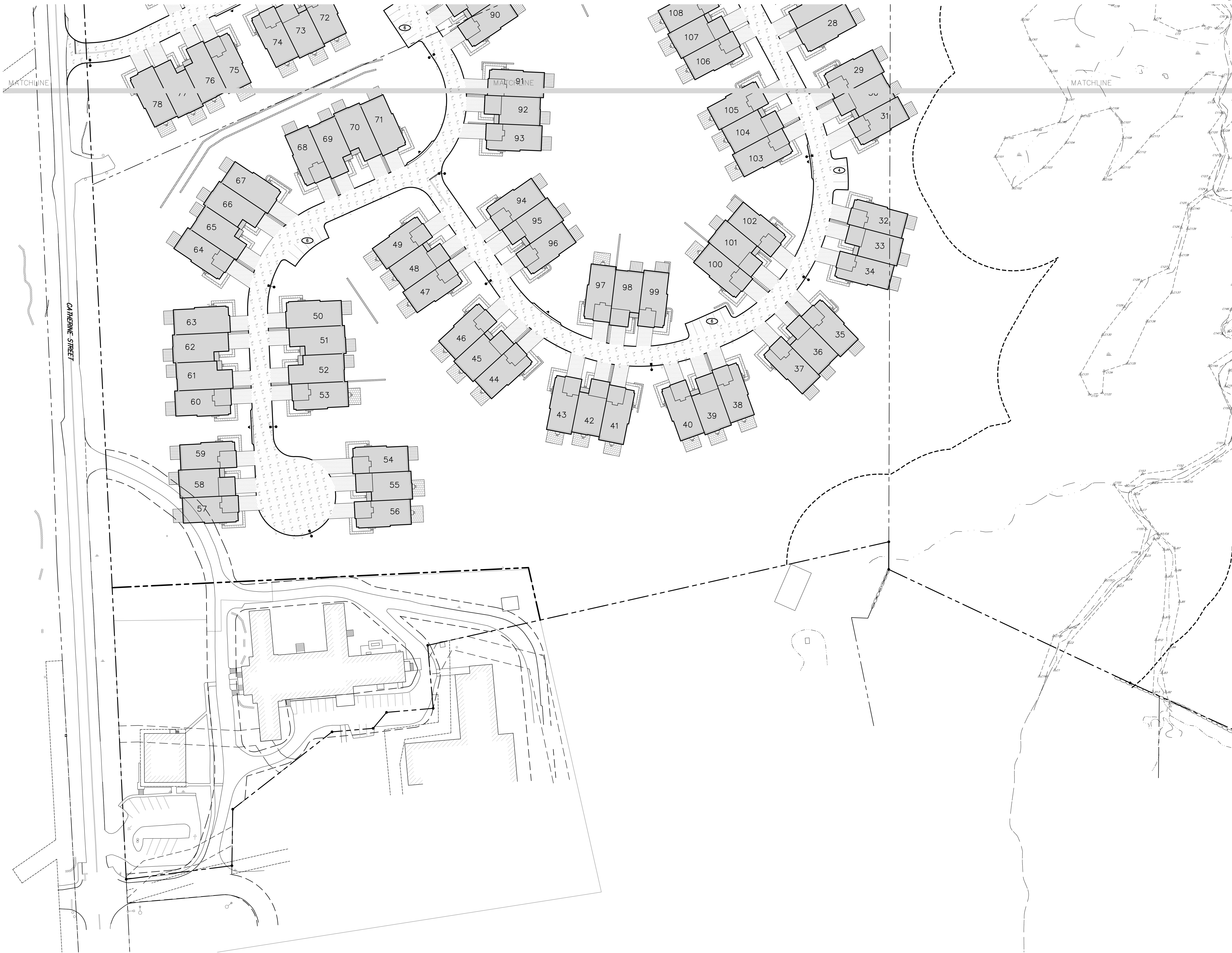
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Drawn: NB	Approved: DV
Scale: 1" = 40'	
Date: 04/23/2025	
Project No: 23109	
2309-04096: LIGHTING - 01	LAT
Drawing No:	



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LEGEND	
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
	PROPOSED ILLUMINANCE IN FOOT-CANDLES
	EXISTING FEATURE TO BE REMOVED

- NOTES:**
1. ALL CABLES AND WIRING SHALL BE INSTALLED UNDERGROUND IN CONDUIT. CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT INSTALLED WITH TWO (2) FEET OF COVER. MINIMUM SIZE OF CONDUIT SHALL BE TWO (2) INCH DIAMETER.
  2. CIRCUIT WIRING SHALL BE #12 COPPER CONDUCTORS, TYPE XHHW. CIRCUITRY SHALL BE AS SHOWN ON THE DRAWINGS.

**PRELIMINARY SITE LIGHTING PLAN (SOUTH)**  
**FIELDHOME AT CATHERINE STREET**  
TOWN OF YORKTOWN, NEW YORK

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW, EXCEPT AS PROVIDED FOR BY SECTION 7209, SUBSECTION 2.

Drawn: NB Approved: DV  
Scale: 1" = 40'  
Date: 04/23/2023  
Project No: 23109  
2309-LIGHTING - LIGHTING - 02 LAYOUT  
Drawing No:

**C-602**

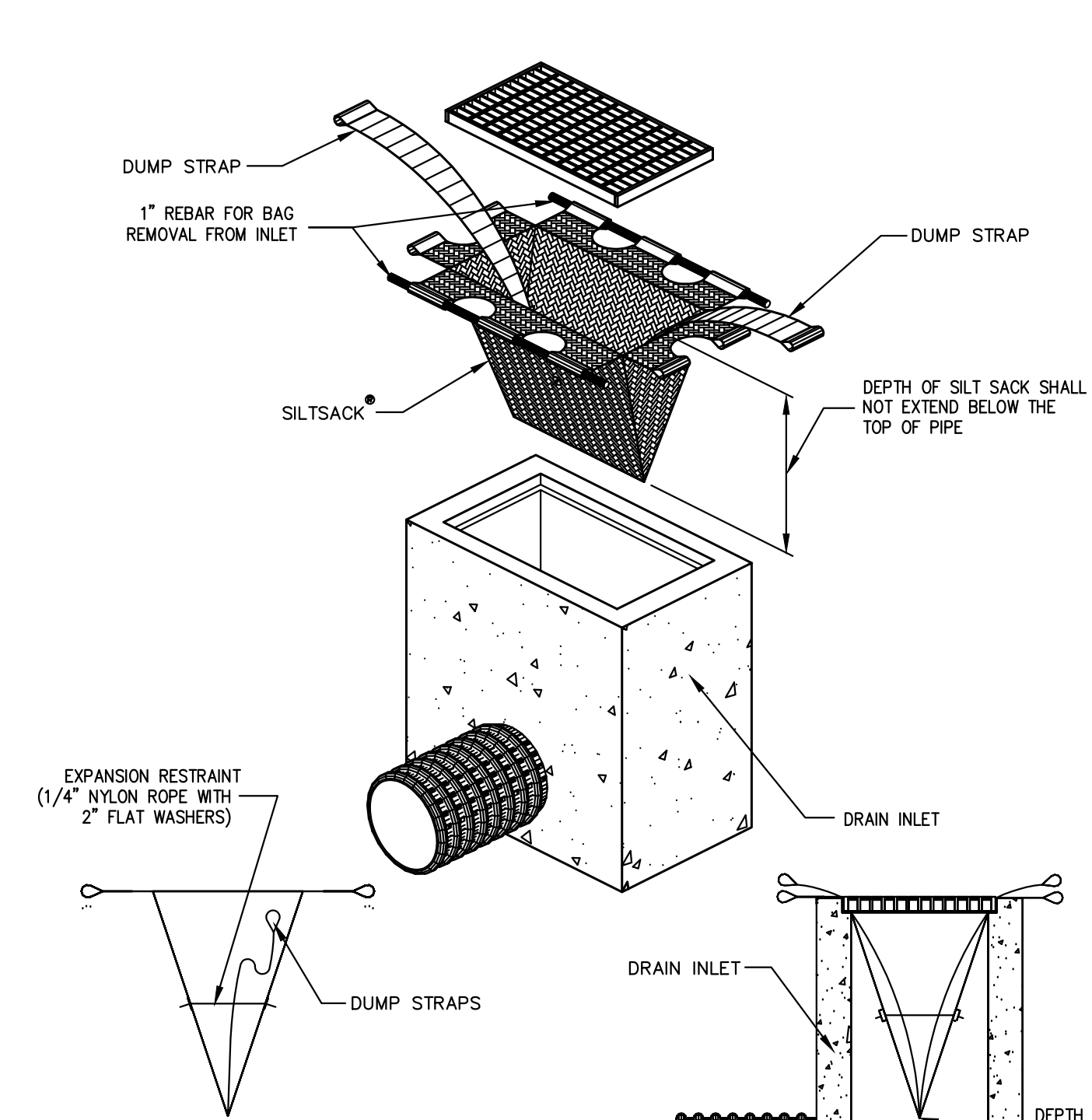
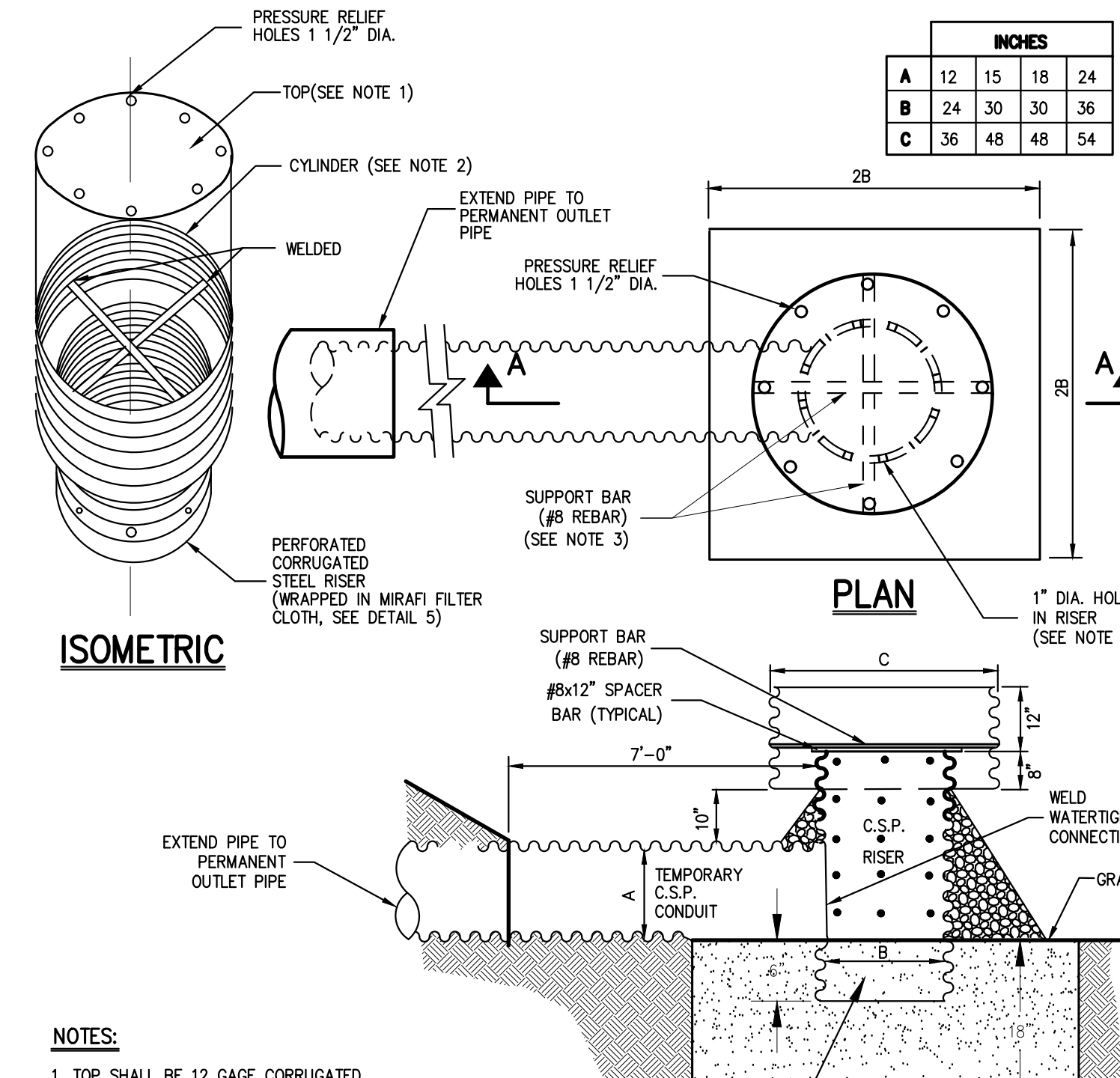
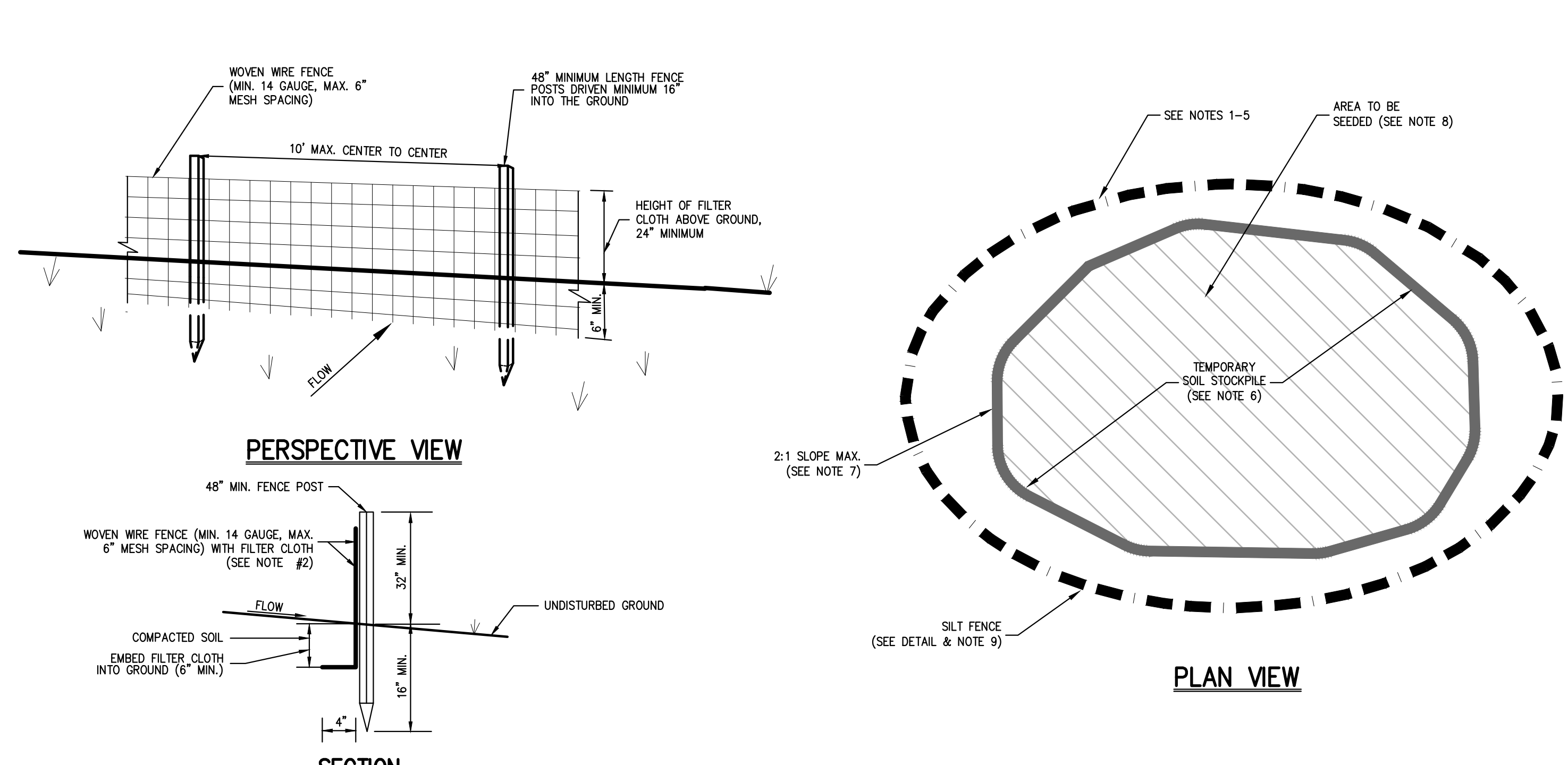
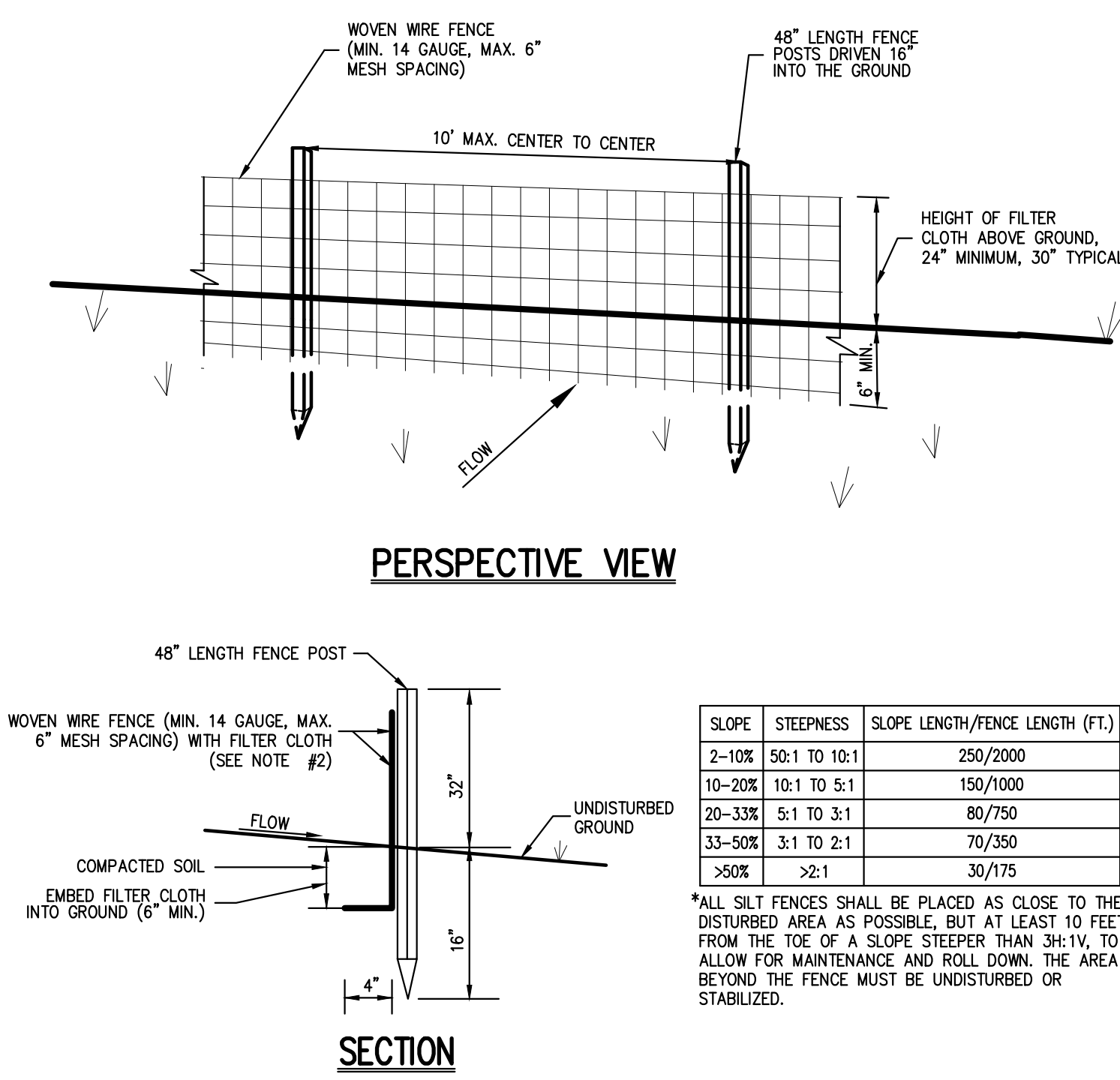
**JMC**

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APPLICANT:  
No. \_\_\_\_\_ Date: \_\_\_\_\_  
Revision: \_\_\_\_\_  
By: \_\_\_\_\_



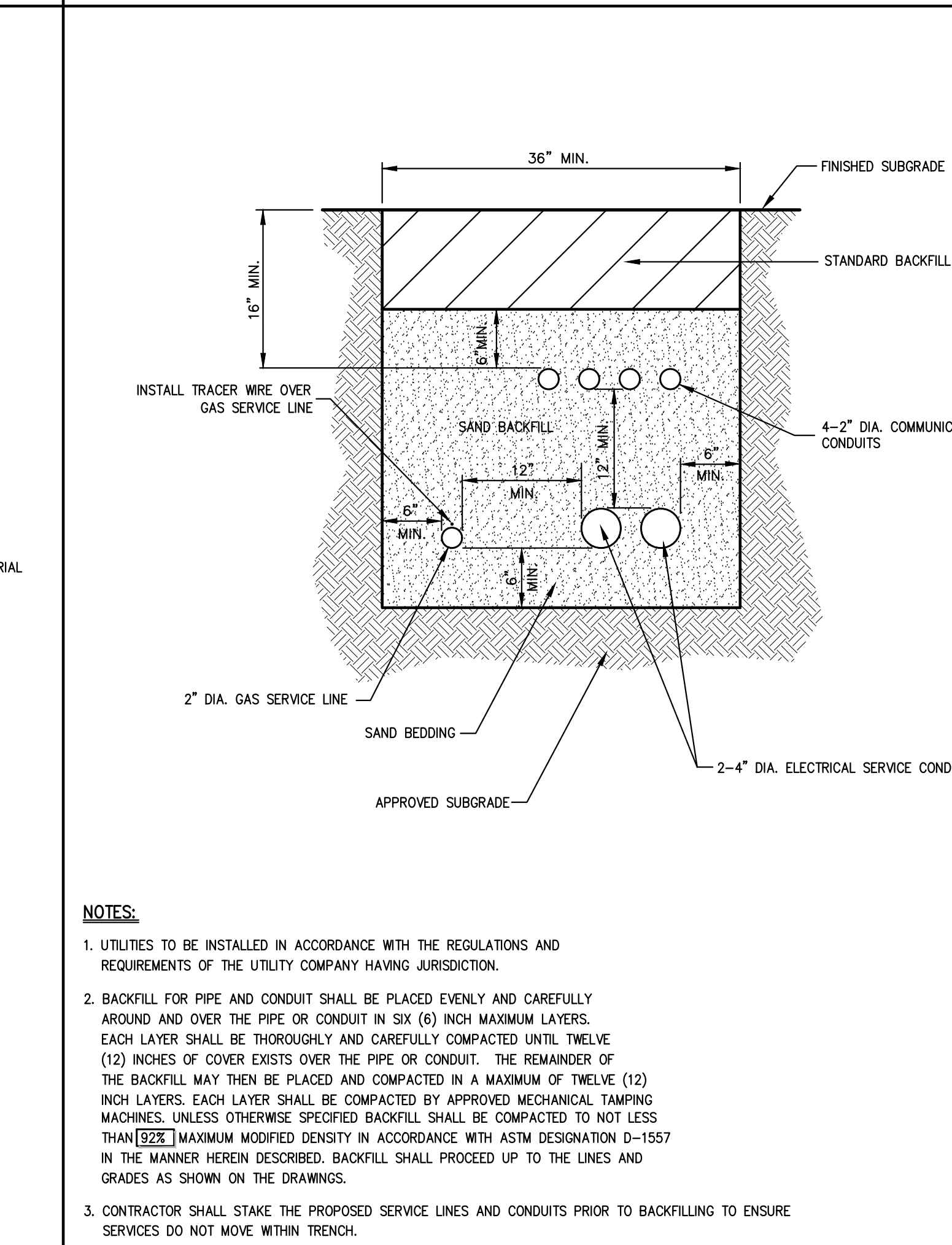
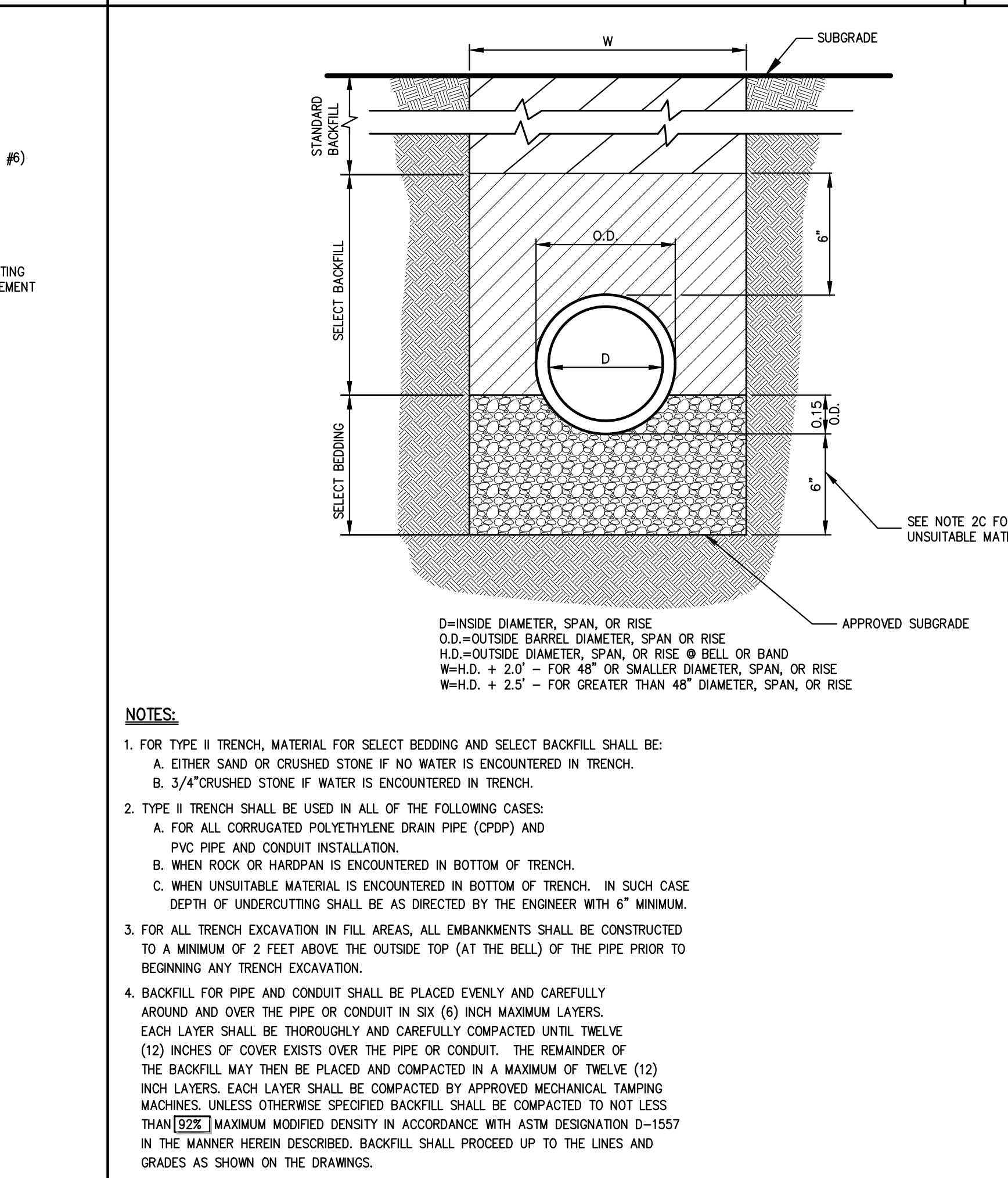
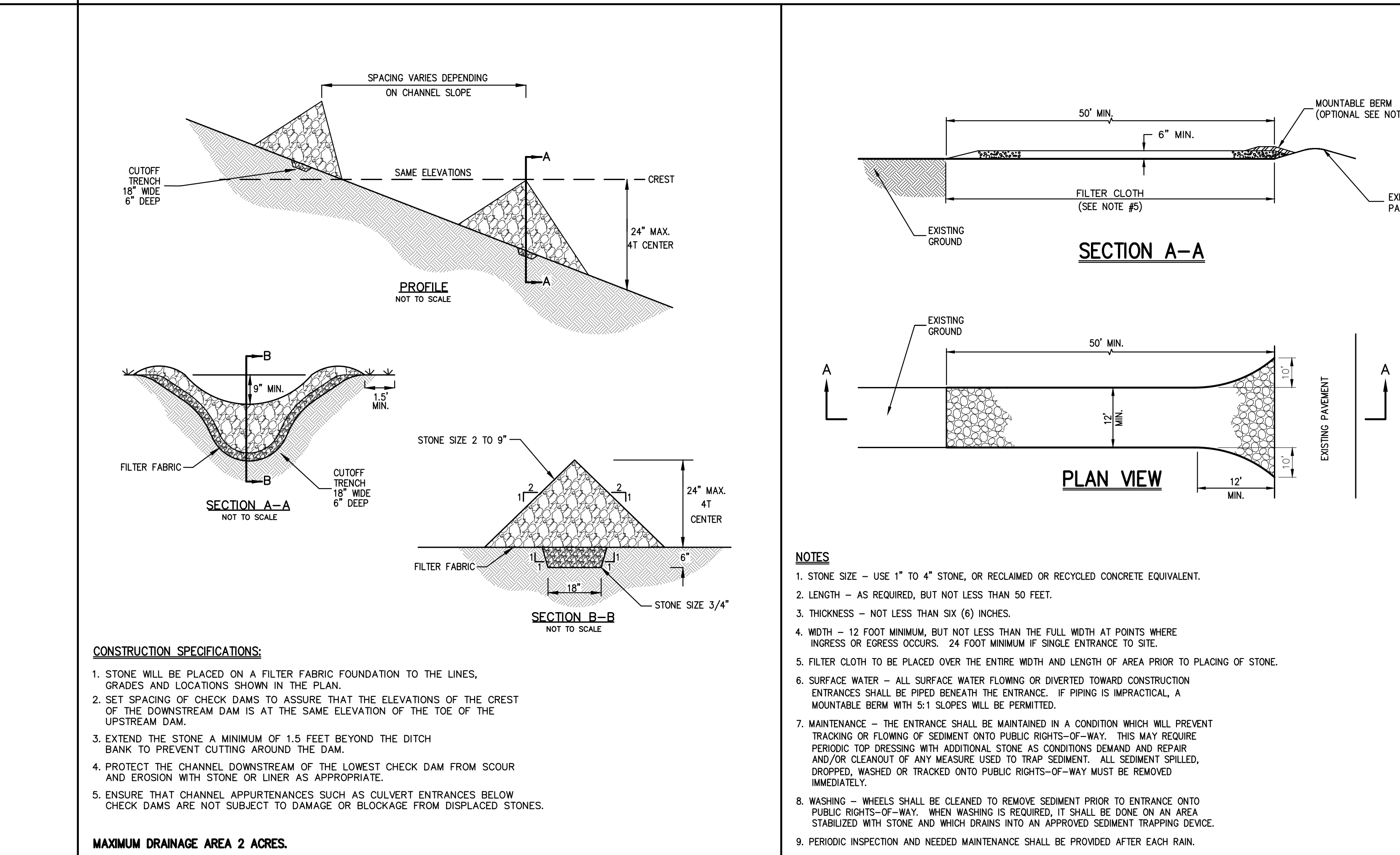
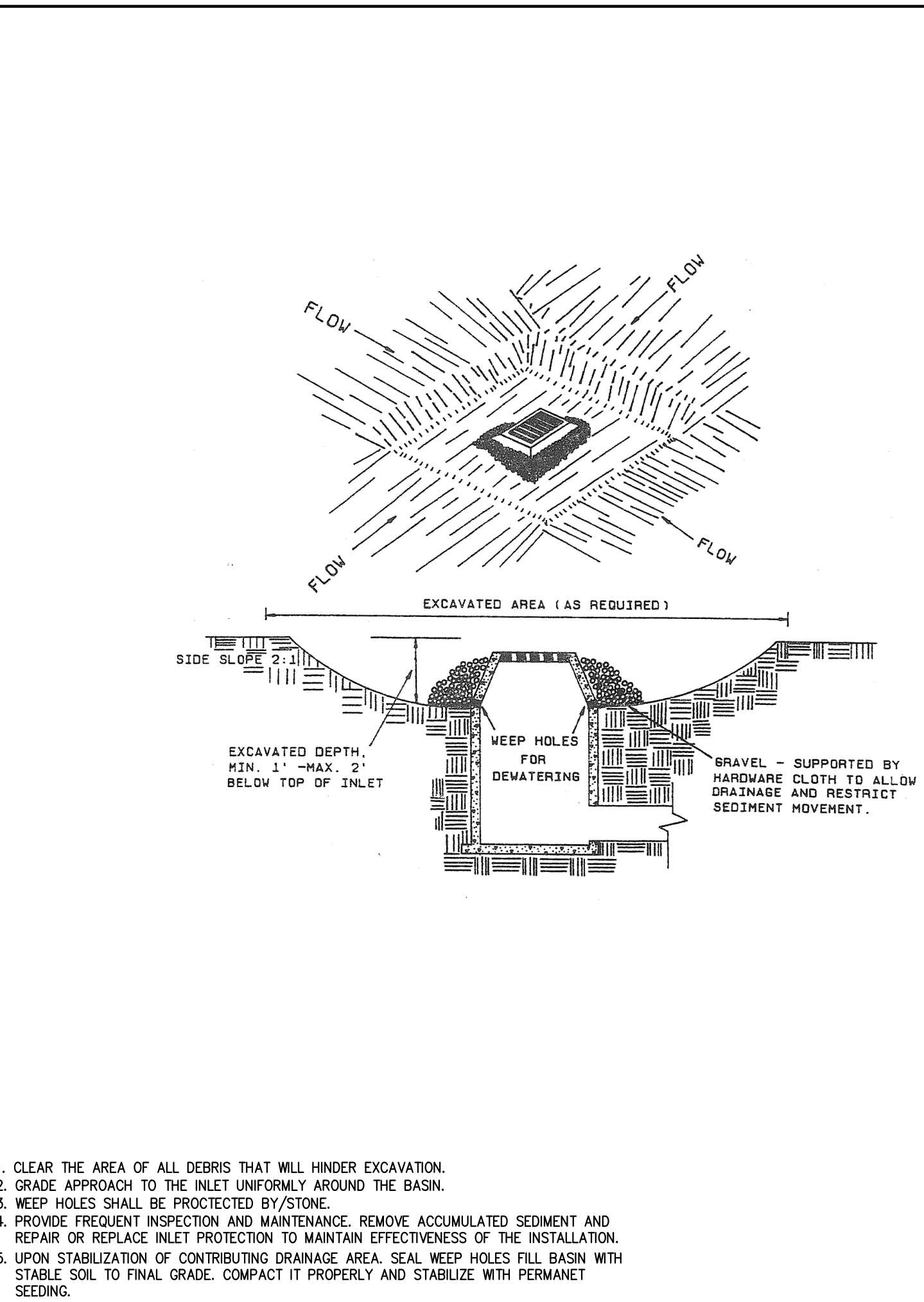


## SILT FENCE

## TEMPORARY SOIL STOCKPILE WITH SILT FENCE

## TEMPORARY RISER & ANTI-VORTEX DEVICE

## MANUFACTURED INSERT INLET PROTECTION

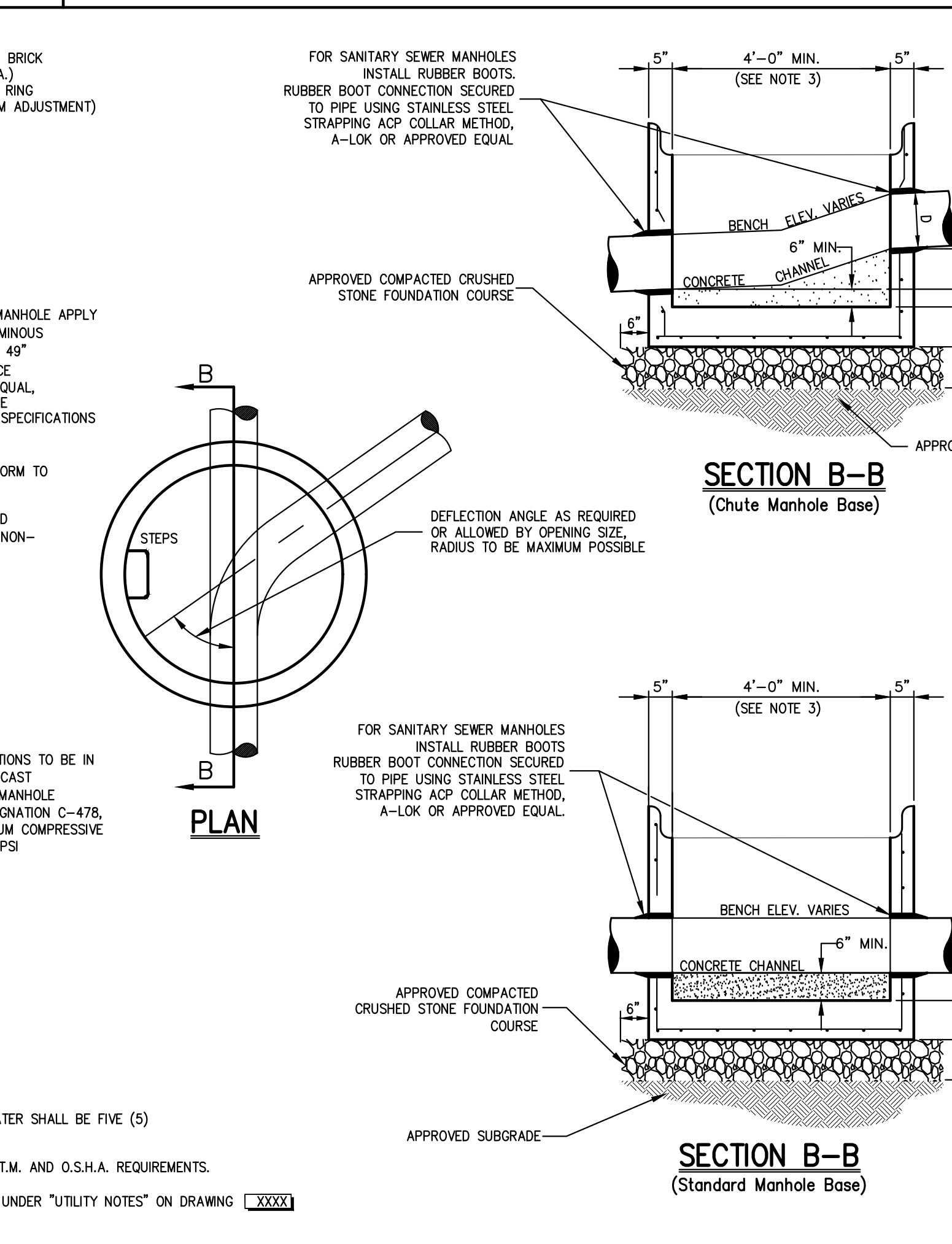
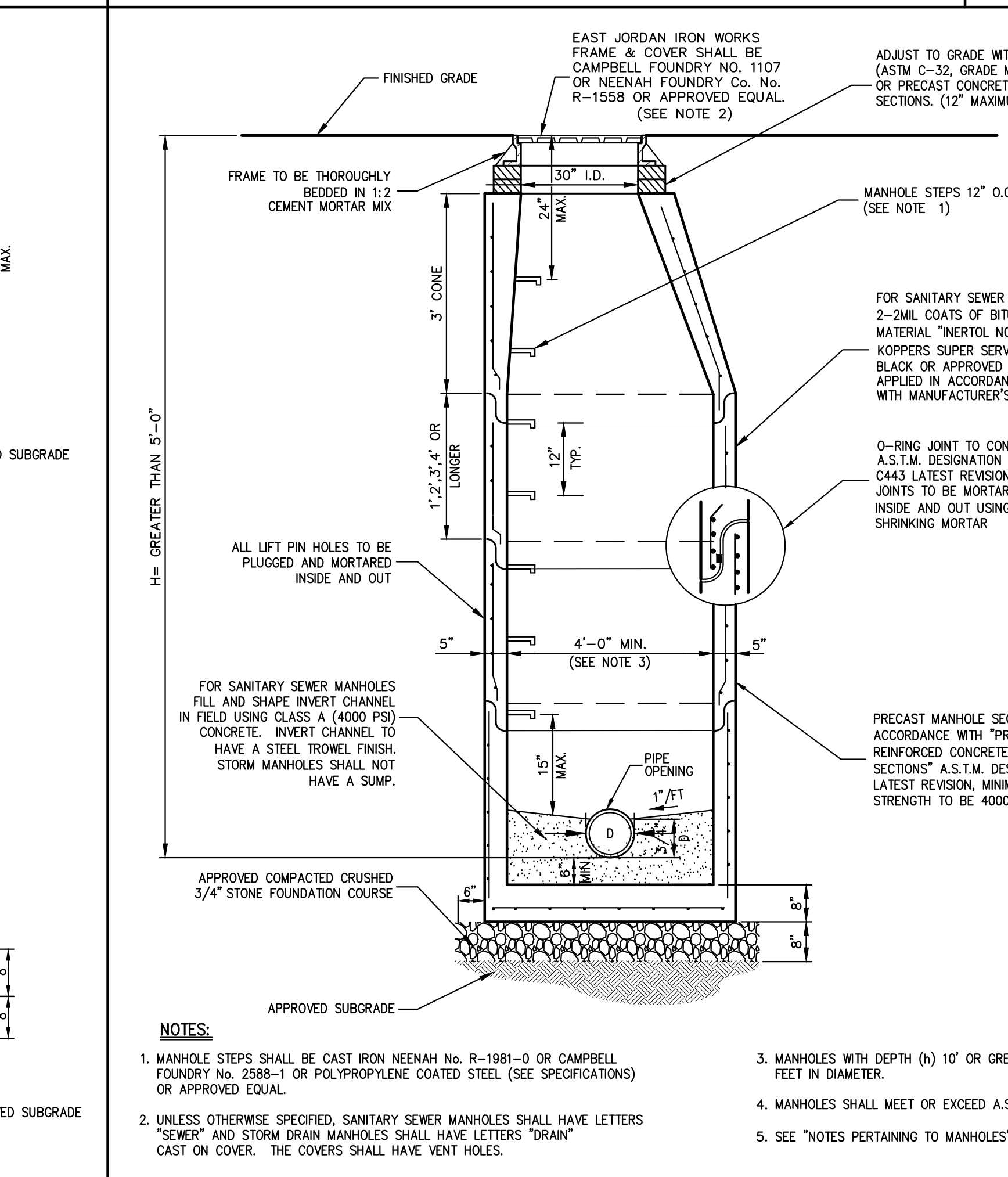
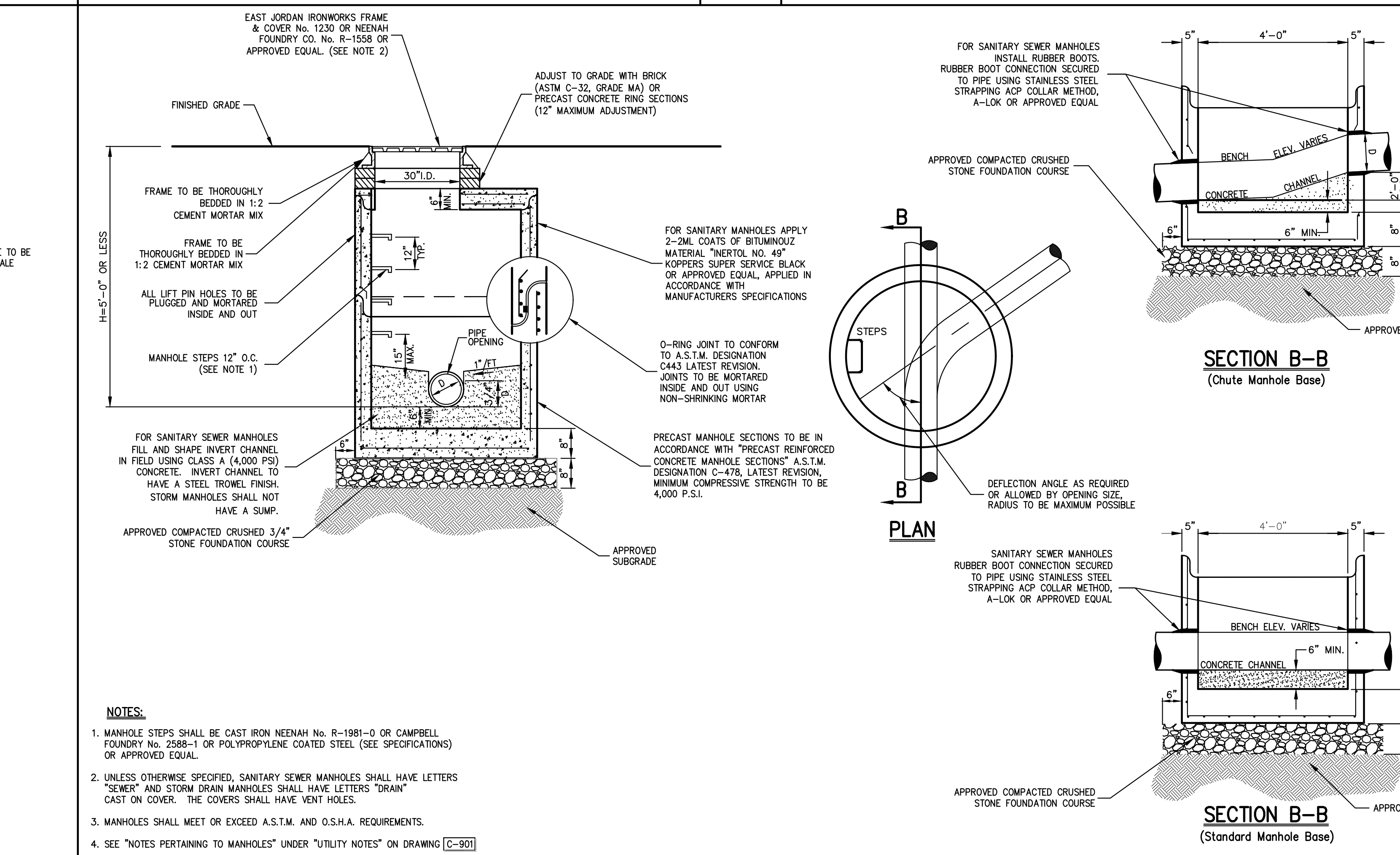
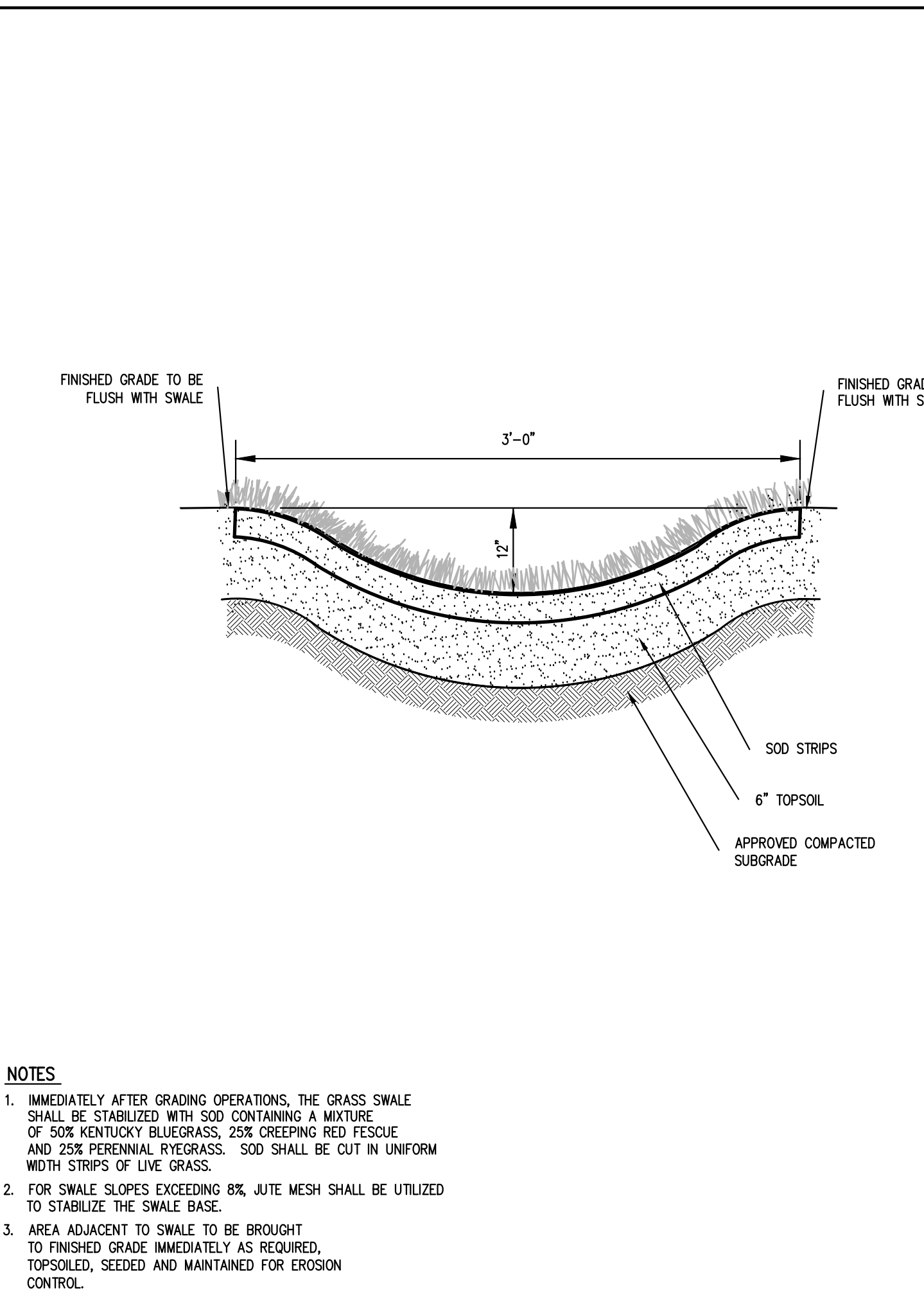


## EXCAVATED DROP INLET PROTECTION

## STONE CHECK DAM

## TYPE II TRENCH

## UTILITY TRENCH DETAIL



## GRASS SWALE

## MANHOLE (TYPE A)

## MANHOLE (TYPE B)

## MANHOLE (TYPE B)

Drawn: NB

Scale: NOT TO SCALE

Date: 04/23/2025

Project No: 23109

Sheet No: C-900

Approved: DV

Fieldwork at Catherine Street

Manhole Details

CONSTRUCTION DETAILS

ANY ALTERATION OF PLANS, SPECIFICATIONS, PLATS AND REPORTS BEARING THE SEAL OF A LICENSED PROFESSIONAL ENGINEER OR LICENSED LAND SURVEYOR IS A VIOLATION OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW EXCEPT AS PROVIDED FOR BY SECTION 2209, SUBSECTION 2.

TOLL BROS., INC.

42 OLD ROEBURY ROAD

DANBURY, CT 06810

APPLICANT

JMC Planning, Engineering, Landscape Architects & Land Surveyors, LLC

JMC Site Development Consulting, Inc.

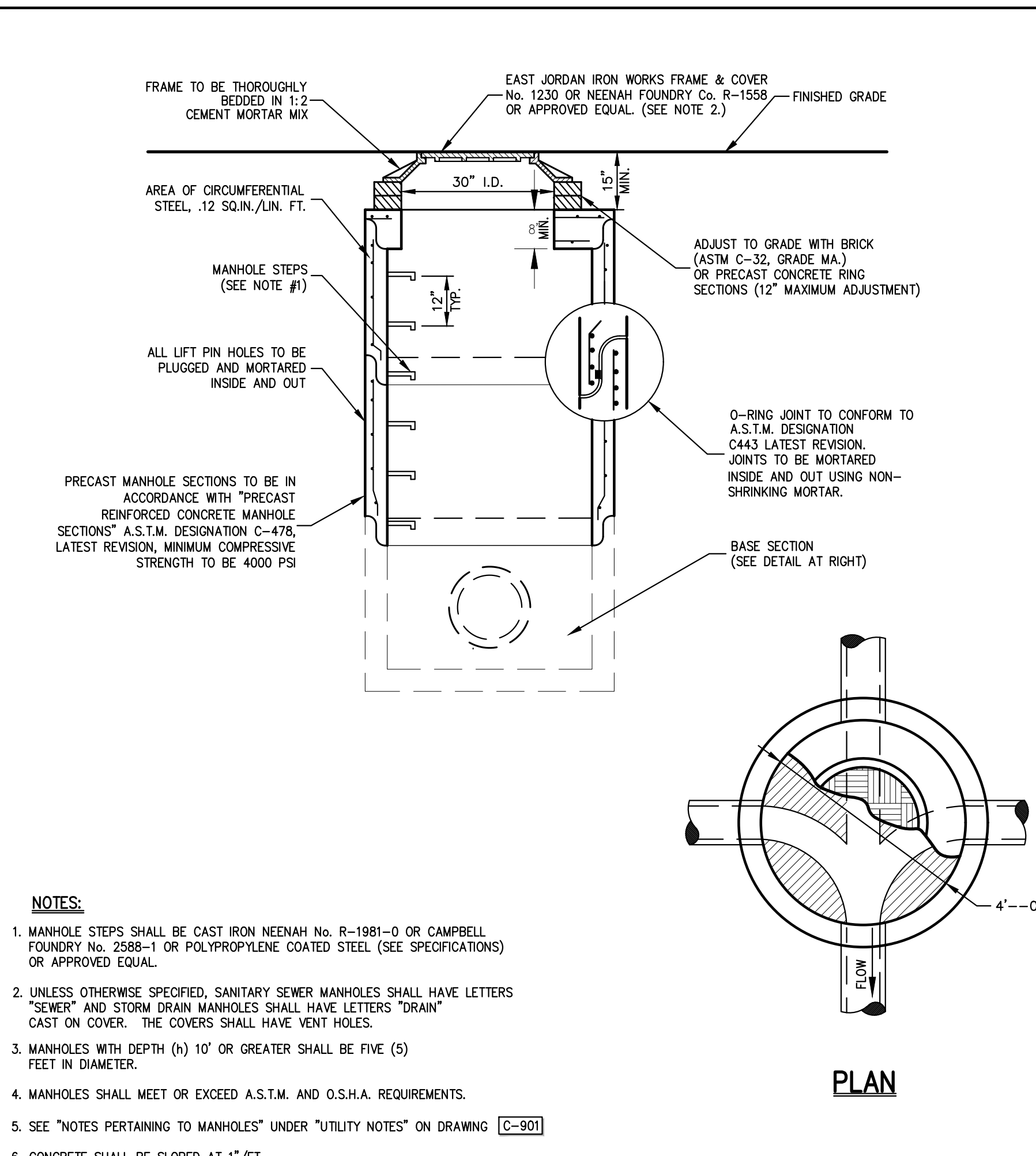
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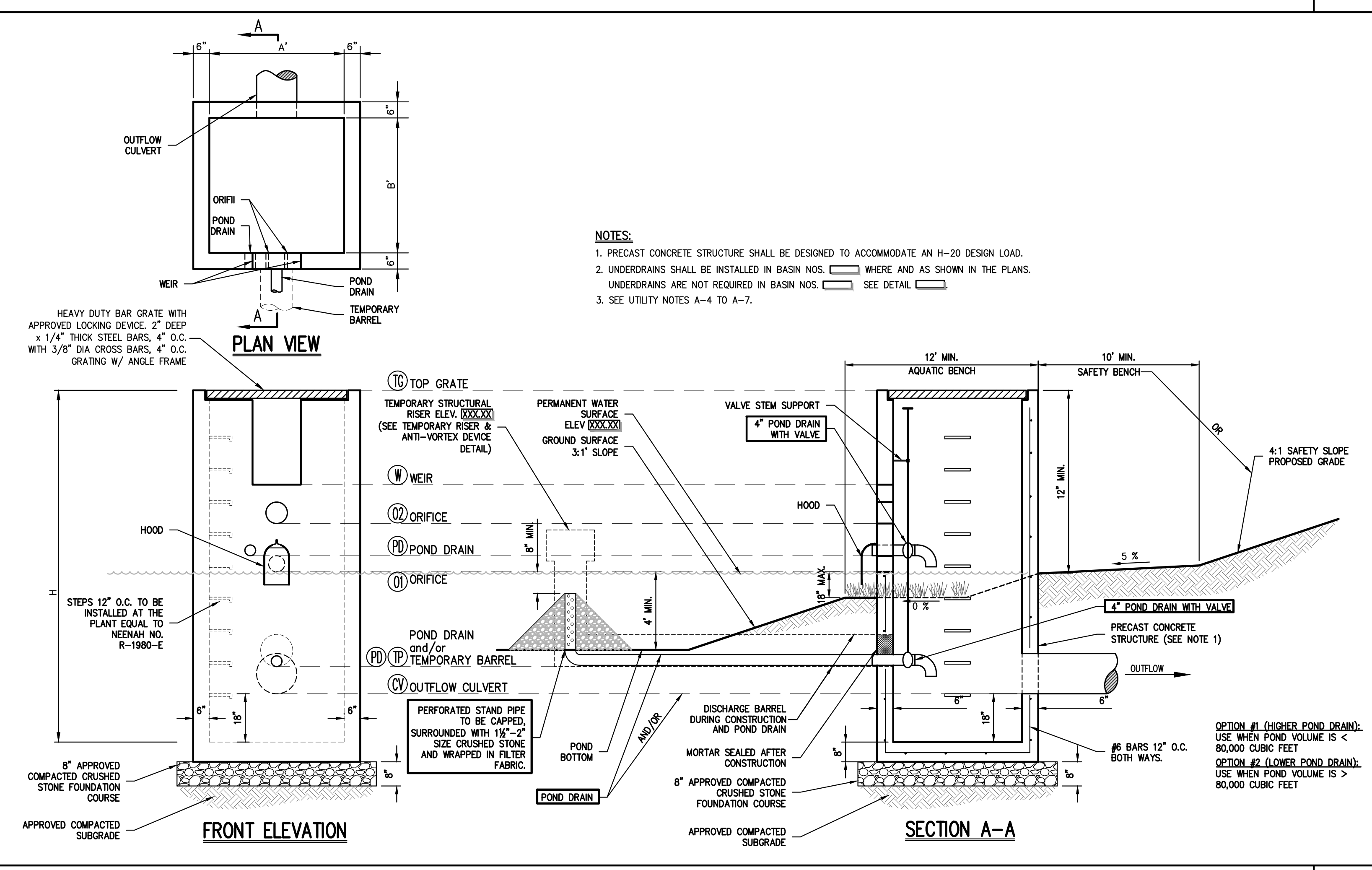
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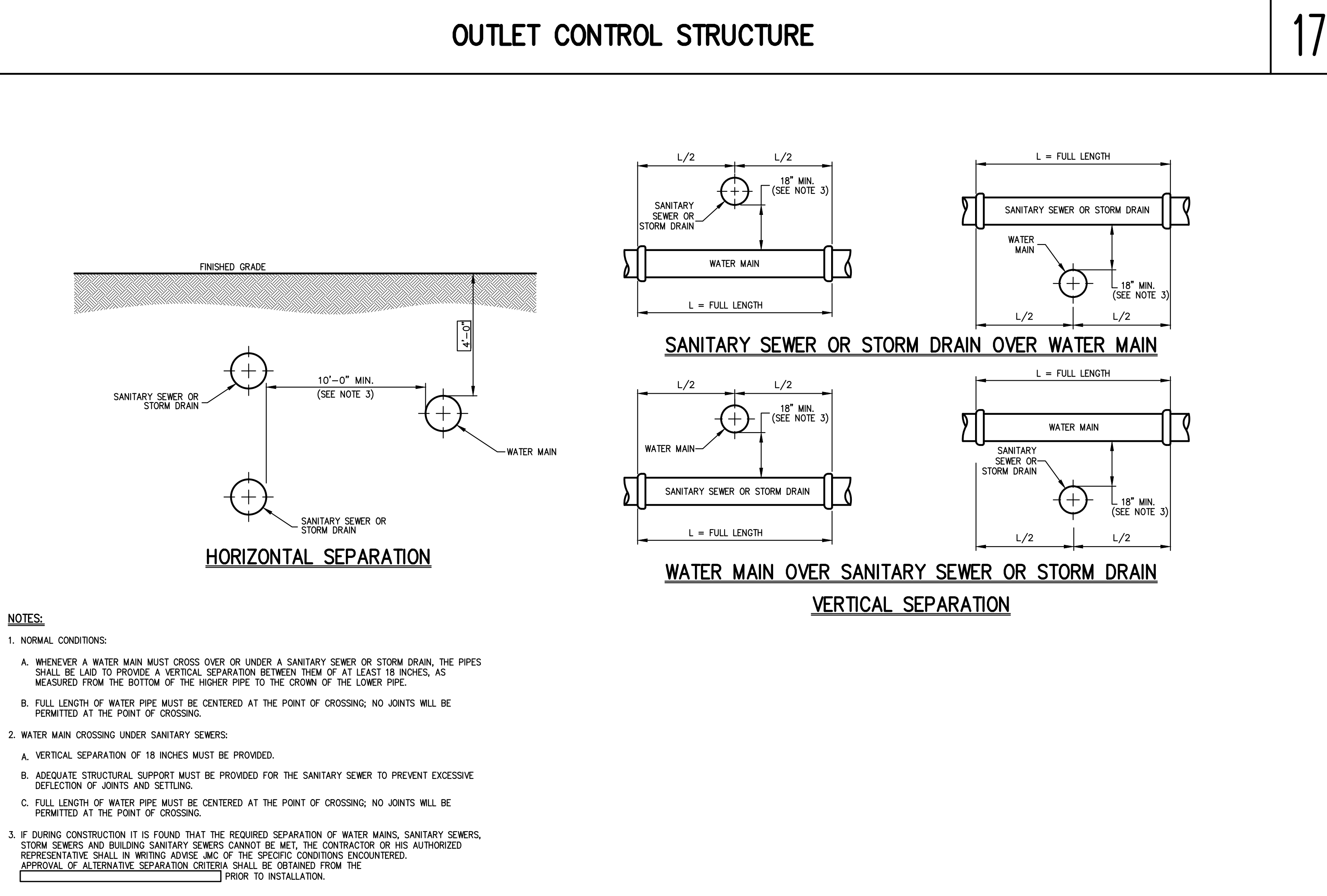
DOGHOUSE MANHOLE

13



DRAIN INLET (TYPE CI)

14



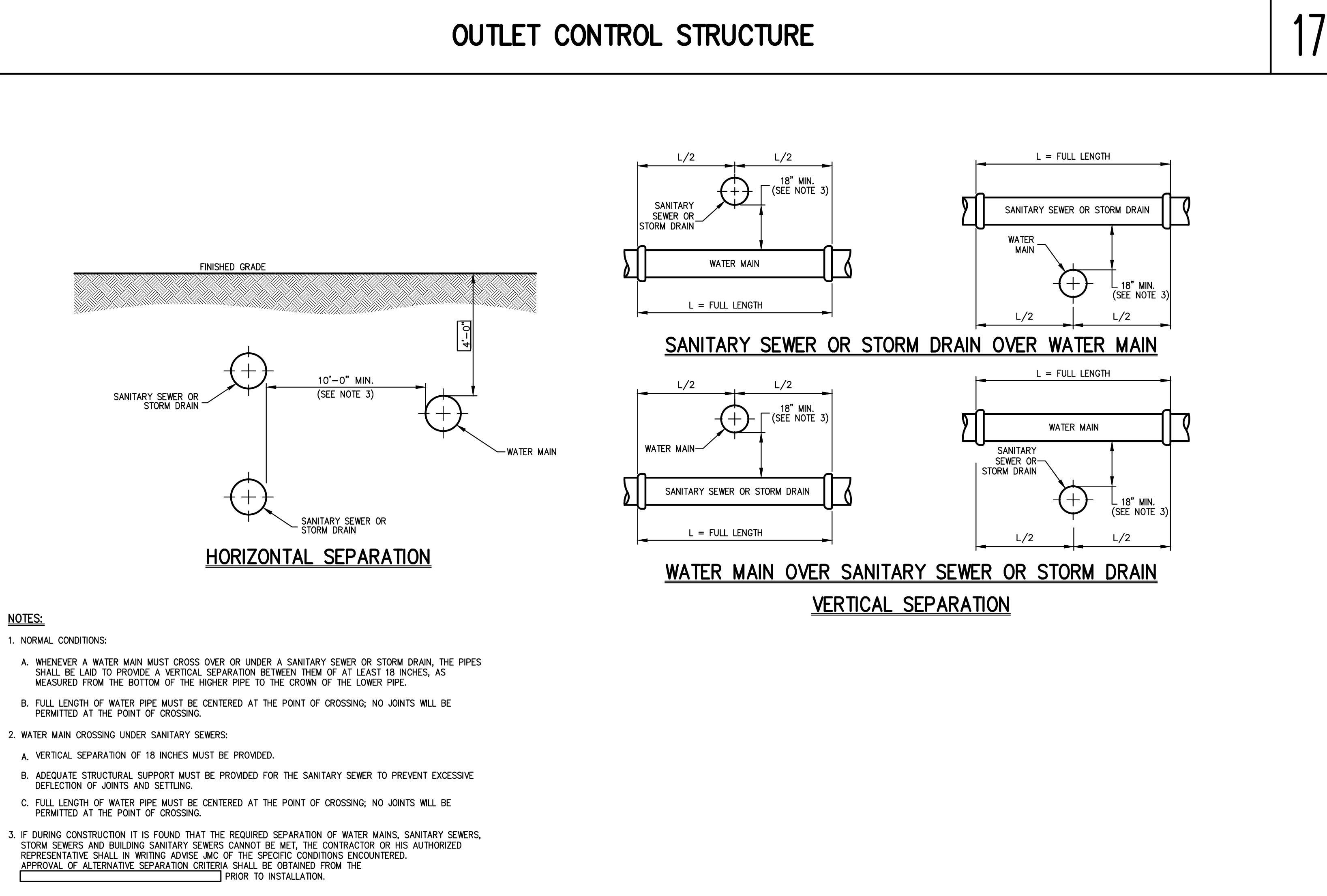
DRAIN INLET (TYPE DI)

15



UTILITY NOTES

16



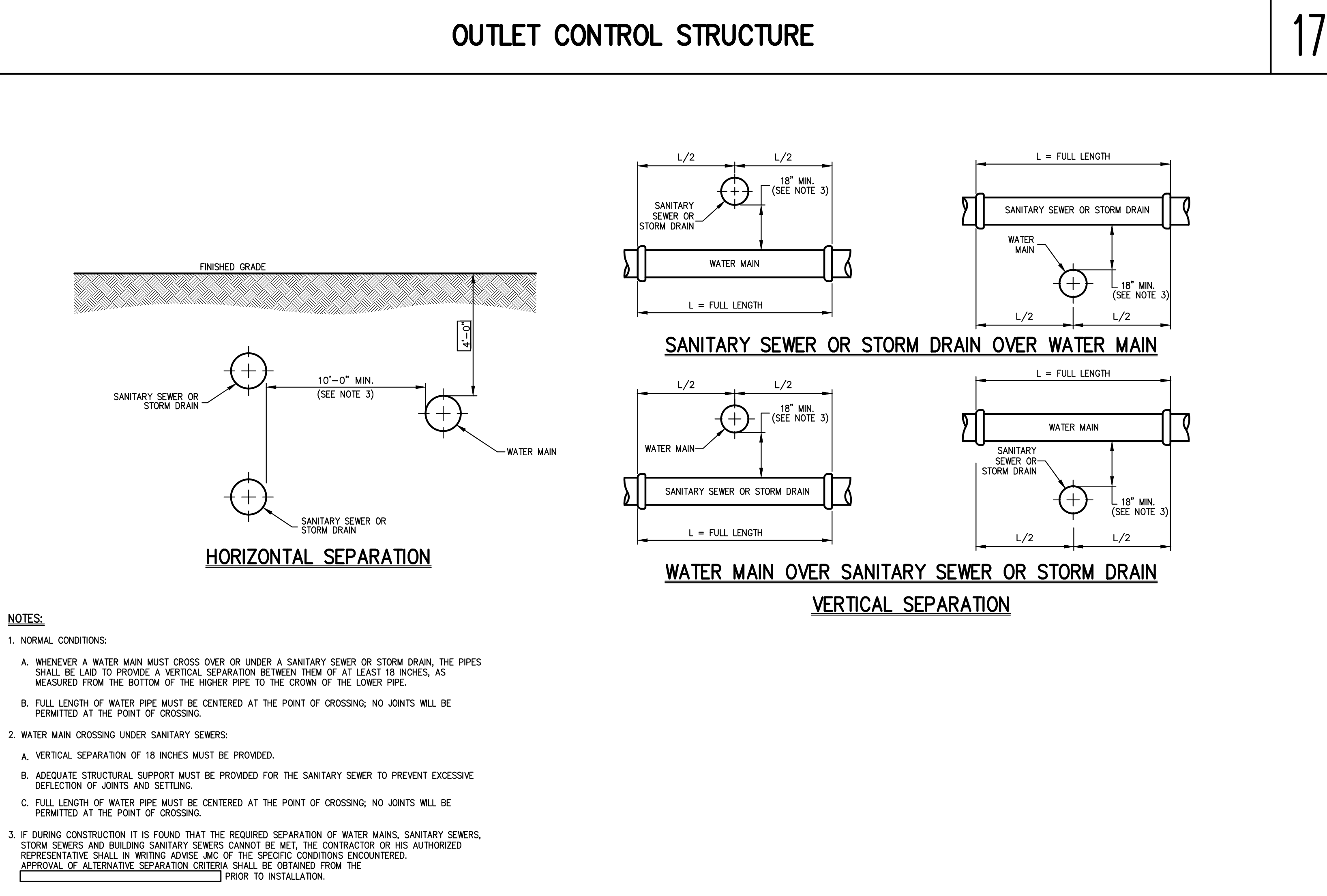
OUTLET CONTROL STRUCTURE

17



RIP-RAP APRON/ENERGY DISSIPATOR

18



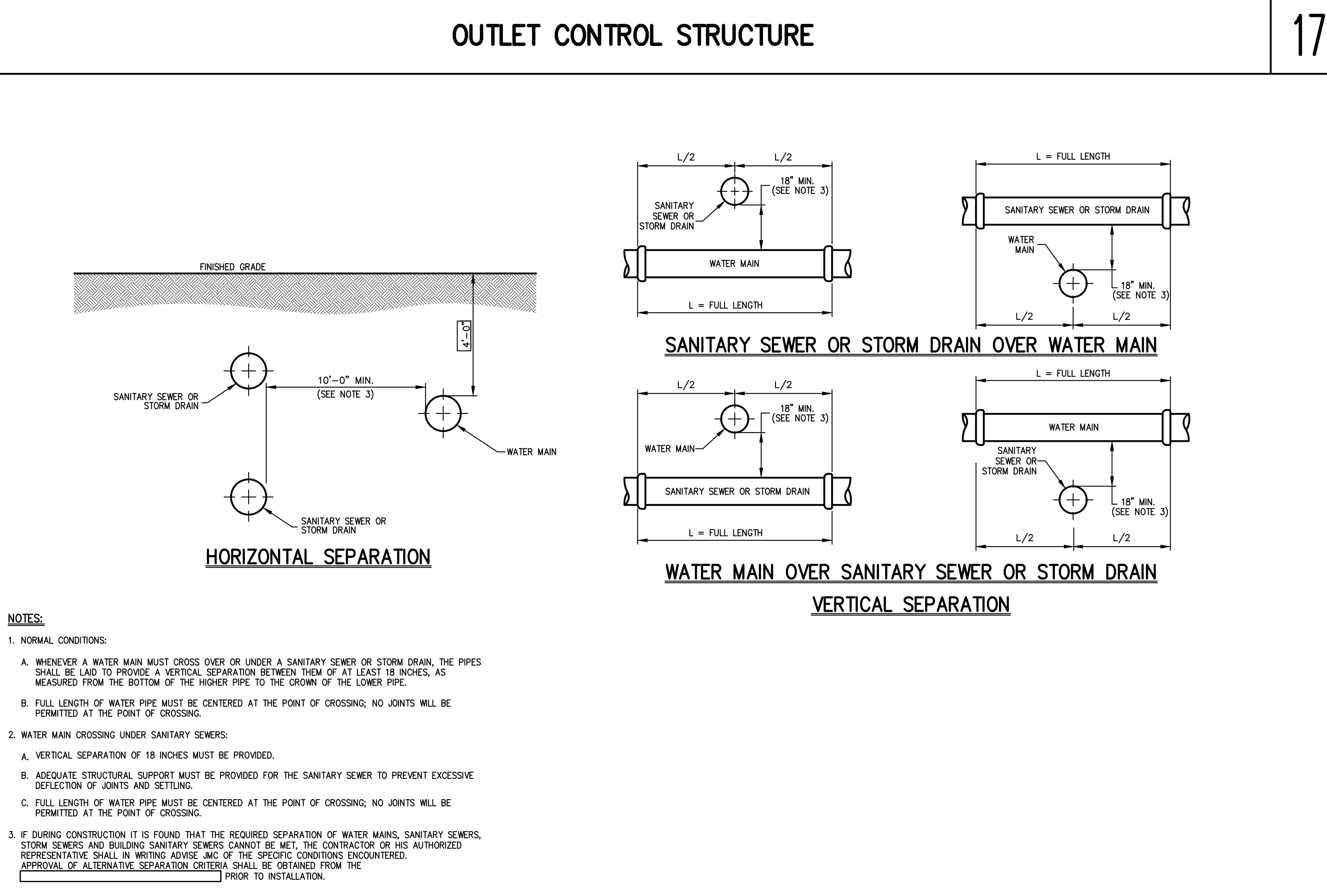
END SECTION (PLASTIC)

19



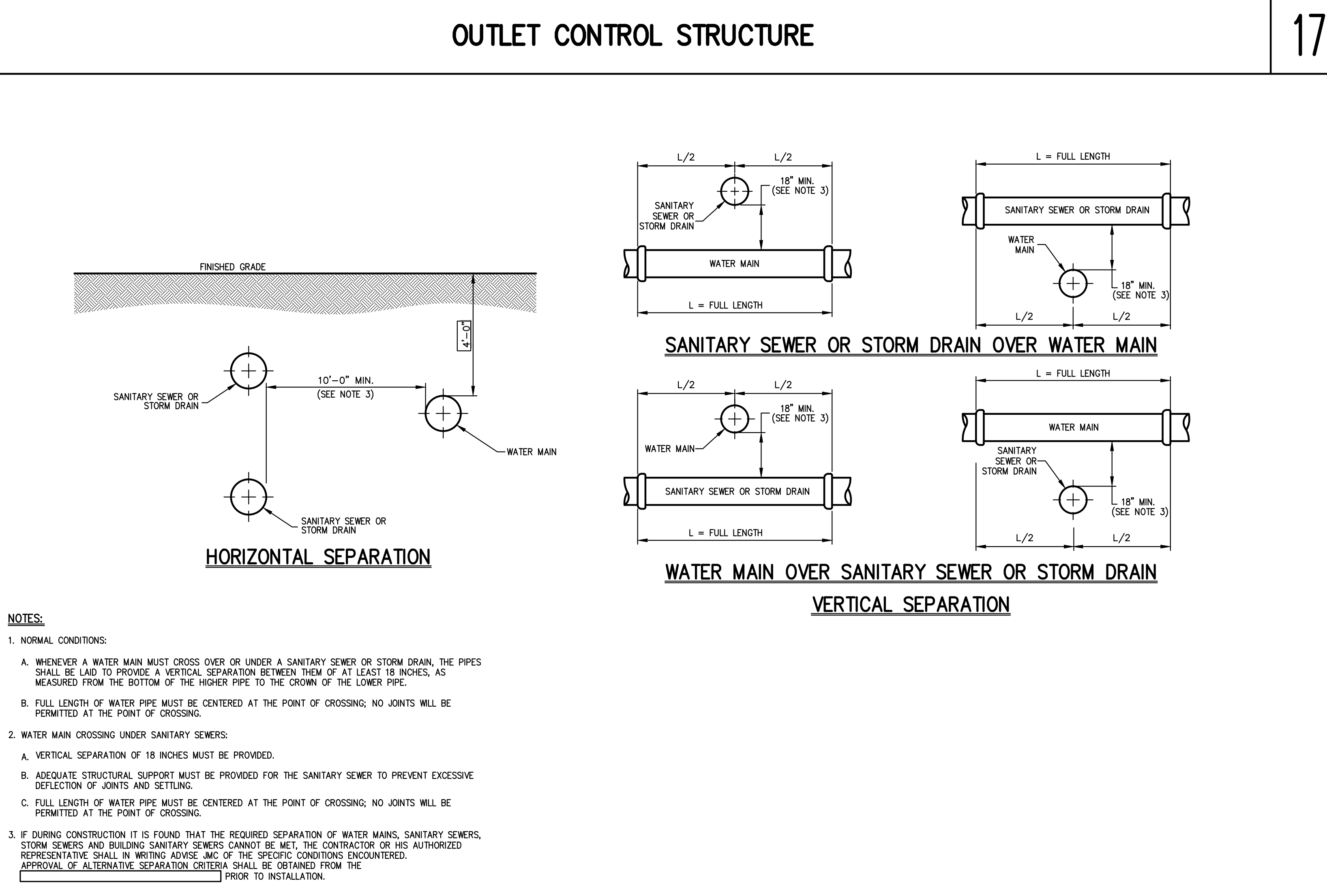
BIORETENTION FACILITY

20



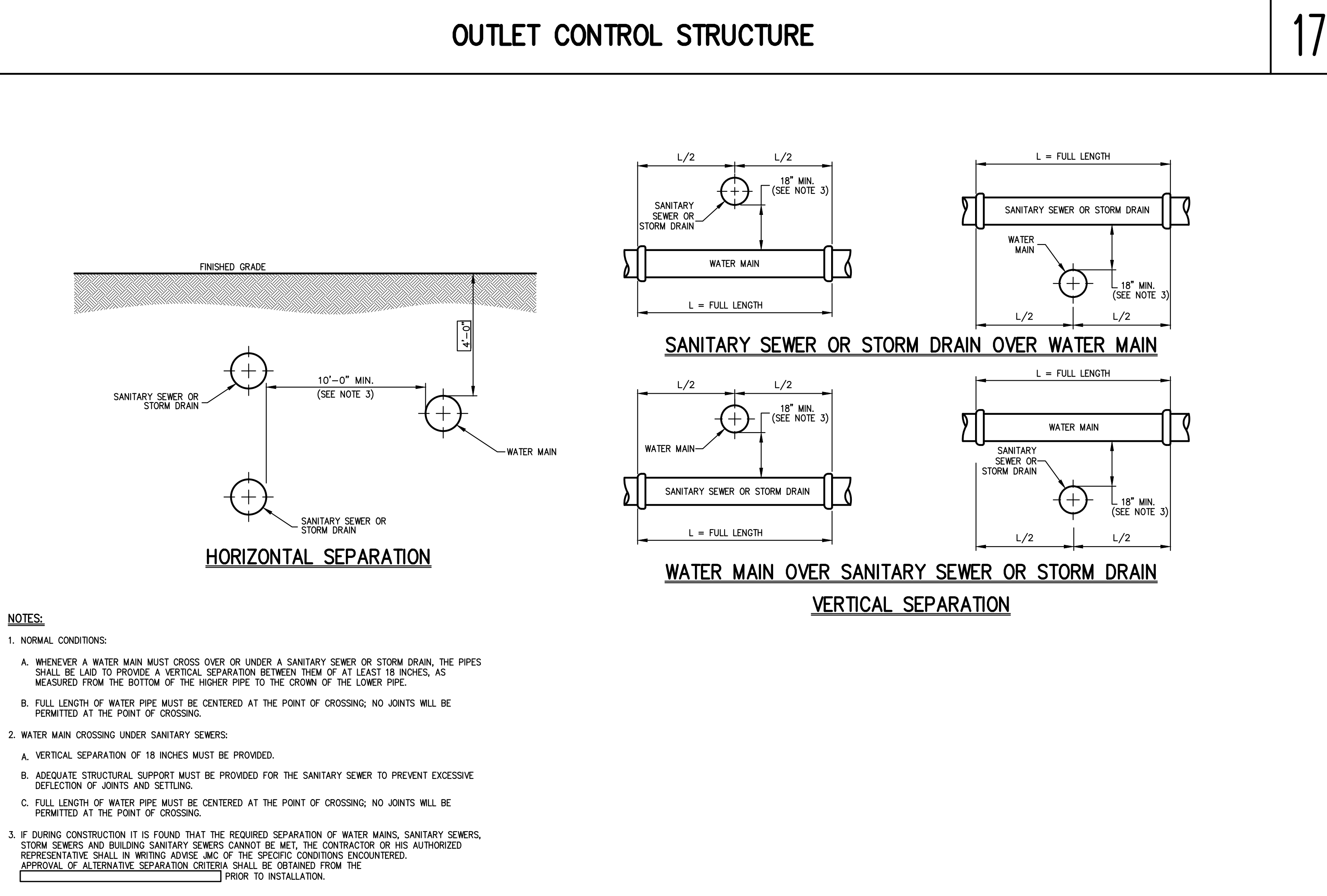
SEPARATION OF WATER AND SANITARY SEWER/STORM DRAIN LINES

21



PIPE UNDERDRAIN

22



BYPASS MANHOLES

23

NOTES PERTAINING TO DRAIN INLETS

A-1 STEPS WILL NOT BE REQUIRED IN INLETS LESS THAN FOUR (4) FEET IN DEPTH. STEPS WILL BE REQUIRED IN INLETS FOUR (4) FEET OR GREATER IN DEPTH. DEPTH FOR DRAIN INLETS SHALL BE MEASURED FROM FINISHED GRADE TO INSIDE BOTTOM OF STRUCTURE (INCLUDING DAMP AS APPLICABLE).

A-2 WHEN STEPS ARE REQUIRED, STEPS SHALL COMPLY WITH THE SAME REQUIREMENTS OF ASTM STANDARD C-478, ARTICLE 13 ENTITLED "MANHOLE STEPS & LADDERS".

A-3 FOR MASONRY STRUCTURES, THE FIRST COURSE OF MASONRY SHALL BE SET IN THE CONCRETE FOUNDATION BEFORE THE CONCRETE HAS SET. CONCRETE FOUNDATION SHALL BE CLASS "A" (4000 PSI) CONCRETE, TWELVE (12) INCHES THICK AND SHALL EXTEND SIX (6) INCHES BEYOND THE OUTSIDE FACE OF THE STRUCTURE.

A-4 IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FURNISH AND CONSTRUCT THE PROPER SIZE STRUCTURE INCLUDING THE NECESSARY OPENINGS TO ACCOMMODATE THE WORK AS SHOWN ON THE PLANS OR ORDERED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.

A-5 ALL NECESSARY PATCHING FOR DRAIN STRUCTURES SHALL BE ACCOMPANIED WITH NON-SHRINKING CEMENT MORTAR GROUT, APPROVED EQUAL, TO SKA-SET AS MANUFACTURED BY THE SKA CHEMICAL CORP.

A-6 FOUNDATIONS FOR PRECAST CONCRETE STRUCTURES SHALL BE SET ON A COMPACTED LAYER OF APPROVED CRUSHED STONE HAVING A MINIMUM COMPACTED THICKNESS OF EIGHT (8) INCHES.

A-7 ALL PIPES SHALL BE CUT FLUSH WITH THE INSIDE WALL OF THE STRUCTURE.

A-8 PROVIDE REINFORCED CONCRETE TOP SLAB FOR OVERSIZED DRAIN INLETS WITH PROPER SIZE OPENING TO ACCOMMODATE INSTALLATION OF FRAME & GRATE.

A-9 FOR MASONRY STRUCTURES GREATER THAN TEN (10) FEET IN DEPTH, THICKNESS OF MASONRY WALLS SHALL BE INCREASED TO TWELVE (12) INCHES.

A-10 FOR ALL STRUCTURES GREATER THAN TEN (10) FEET IN DEPTH, STRUCTURES SHALL PROVIDE MINIMUM INSIDE DIMENSIONS OF 4 FEET X 4 FEET.

NOTES PERTAINING TO MANHOLES

B-1 PRECAST CONCRETE MANHOLES SHALL COMPLY WITH ASTM STANDARD C-478. MANHOLE JOINTS SHALL COMPLY WITH ASTM STANDARD C-443.

B-2 FOR PRECAST CONCRETE MANHOLES FIVE (5) FEET OR LESS IN HEIGHT, TOP CONE SECTION SHALL BE REPLACED WITH PRECAST REINFORCED CONCRETE SLAB (6" MIN. THICKNESS) WITH OPENING OF SUFFICIENT SIZE TO ACCOMMODATE MANHOLE CASTING.

B-3 FOR MANHOLES TEN FEET OR MORE IN DEPTH, MANHOLE DIAMETER SHALL BE FIVE (5) FEET.

B-4 TERMINAL MANHOLE FLOORS SHALL BE SLOPED TOWARD OUTFALL PIPE.

B-5 INVERT CHANNELS FOR PRECAST CONCRETE MANHOLES SHALL BE CONSTRUCTED OF CONCRETE.

B-6 NOTES A-1, A-2, A-4, A-5, A-6 & A-7 UNDER "NOTES PERTAINING TO DRAIN INLETS" ABOVE SHALL APPLY TO MANHOLES.

NOTES PERTAINING TO PRECAST CONCRETE STRUCTURES FOR STORM DRAINS, SANITARY SEWERS AND WATER LINES

C-1 ALL PRECAST CONCRETE STRUCTURES SHALL BE DESIGNED TO ACCOMMODATE AN H-20 DESIGN LOAD.

C-2 STEPS SHALL BE LOCATED WITHIN STRUCTURE TO AVOID PLACEMENT OVER PIPES WHEN PRACTICABLE.

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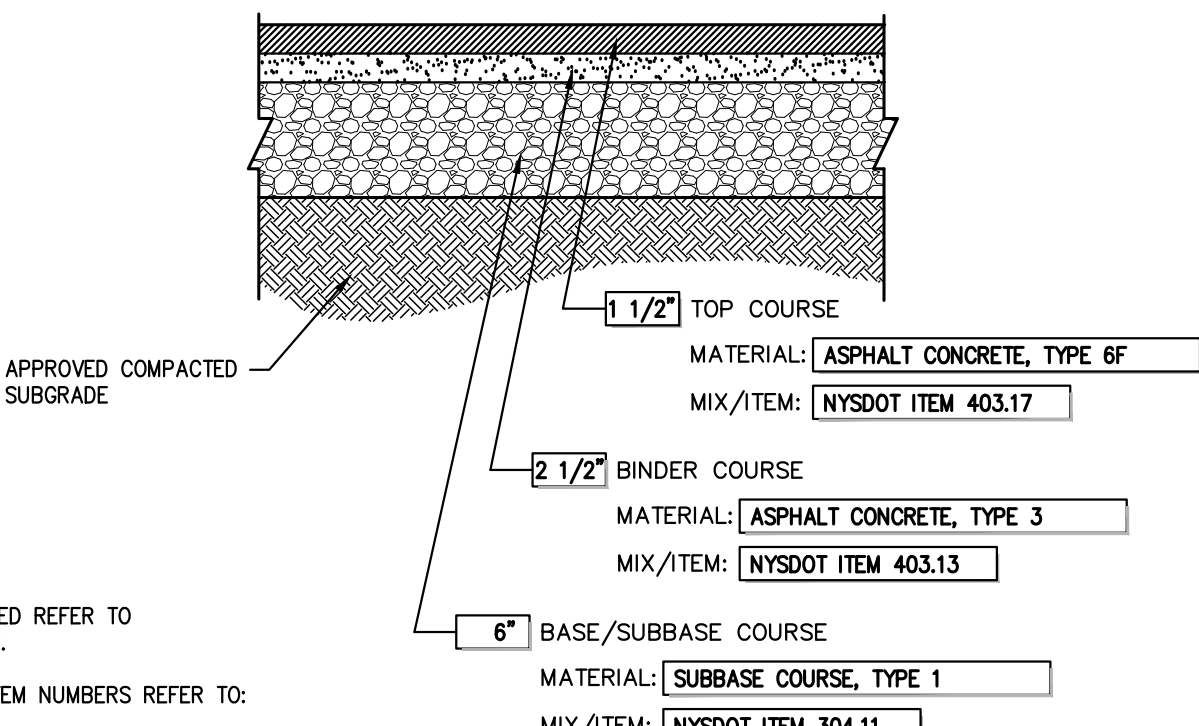
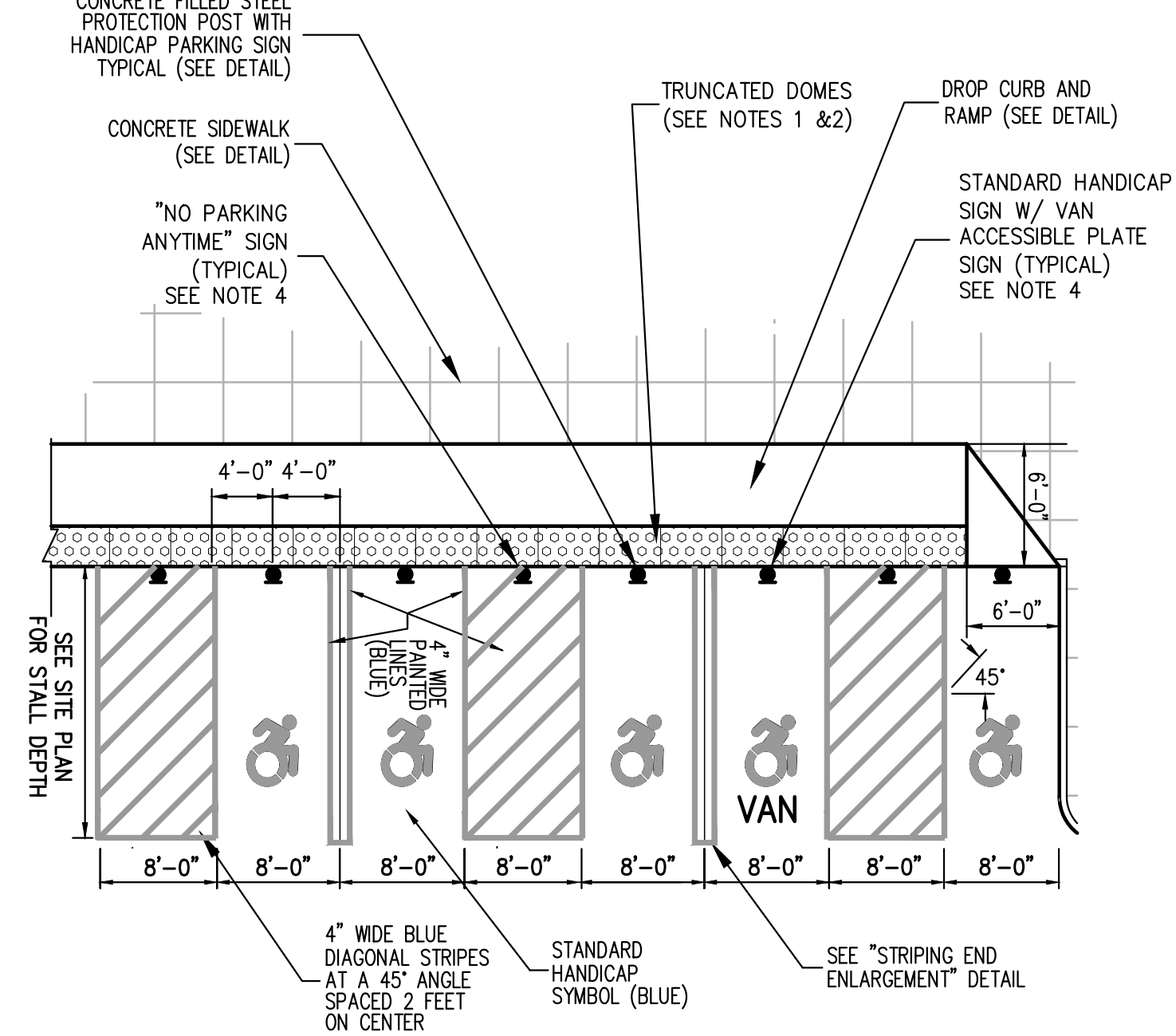
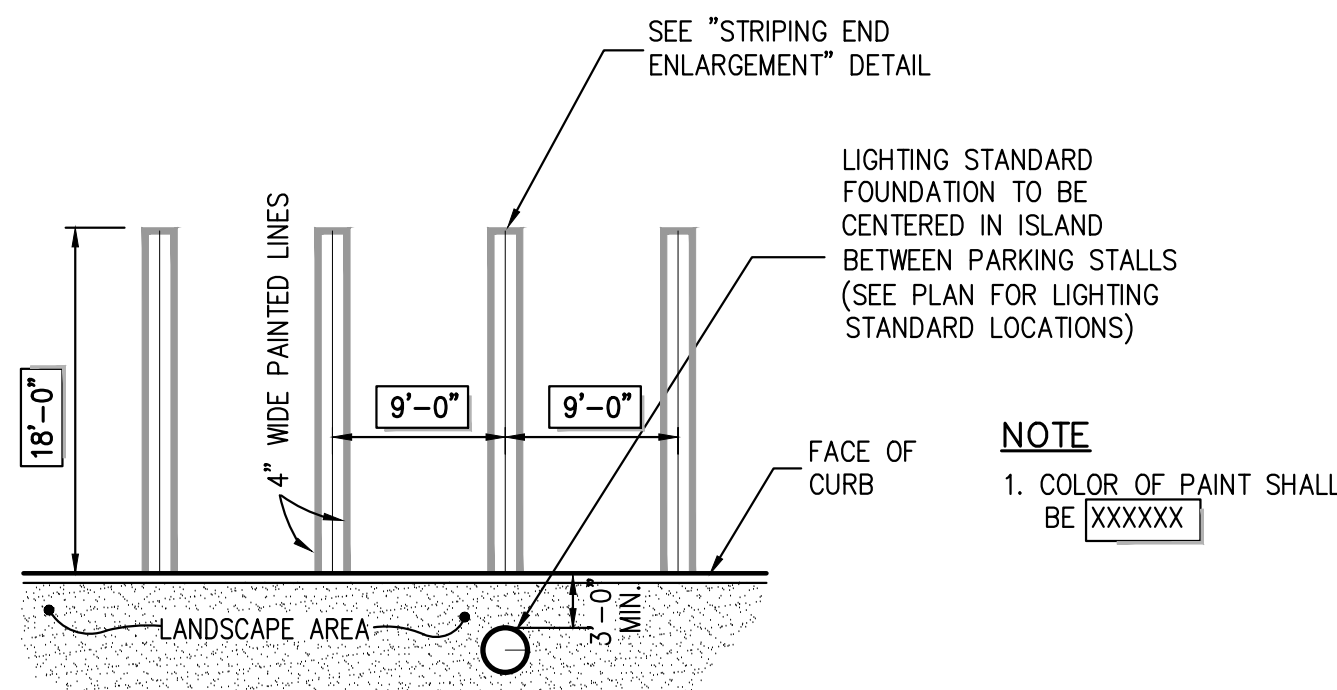
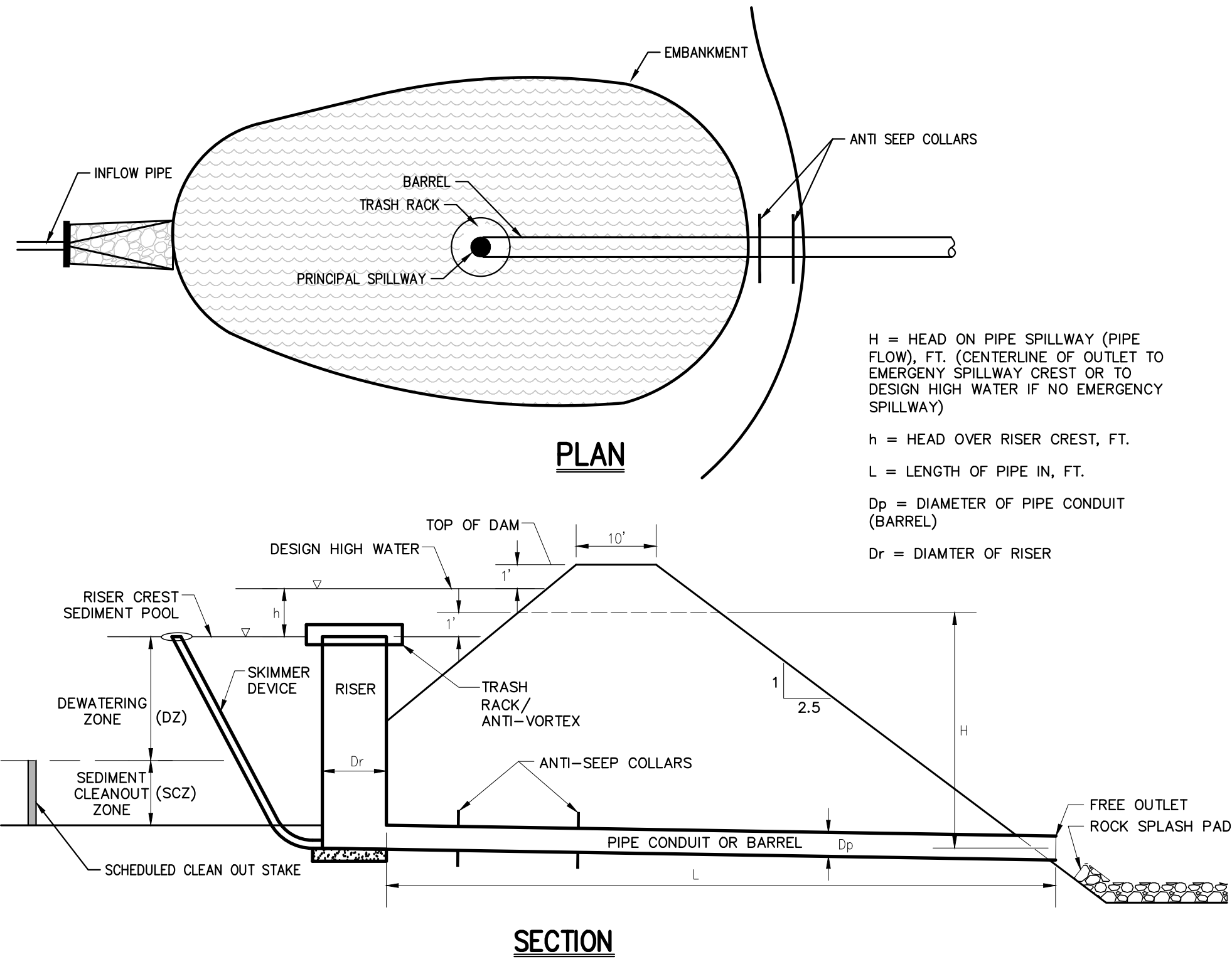
CONSTRUCTION DETAILS  
FIELDHOME AT CATHERINE STREET  
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Project No: 23109  
300-HDLS C-901  
Drawing No:

C-901





TEMPORARY SEDIMENT BASIN DETAIL

24

90° PARKING  
(DOUBLE STRIPING - CURBED PERIMETER)

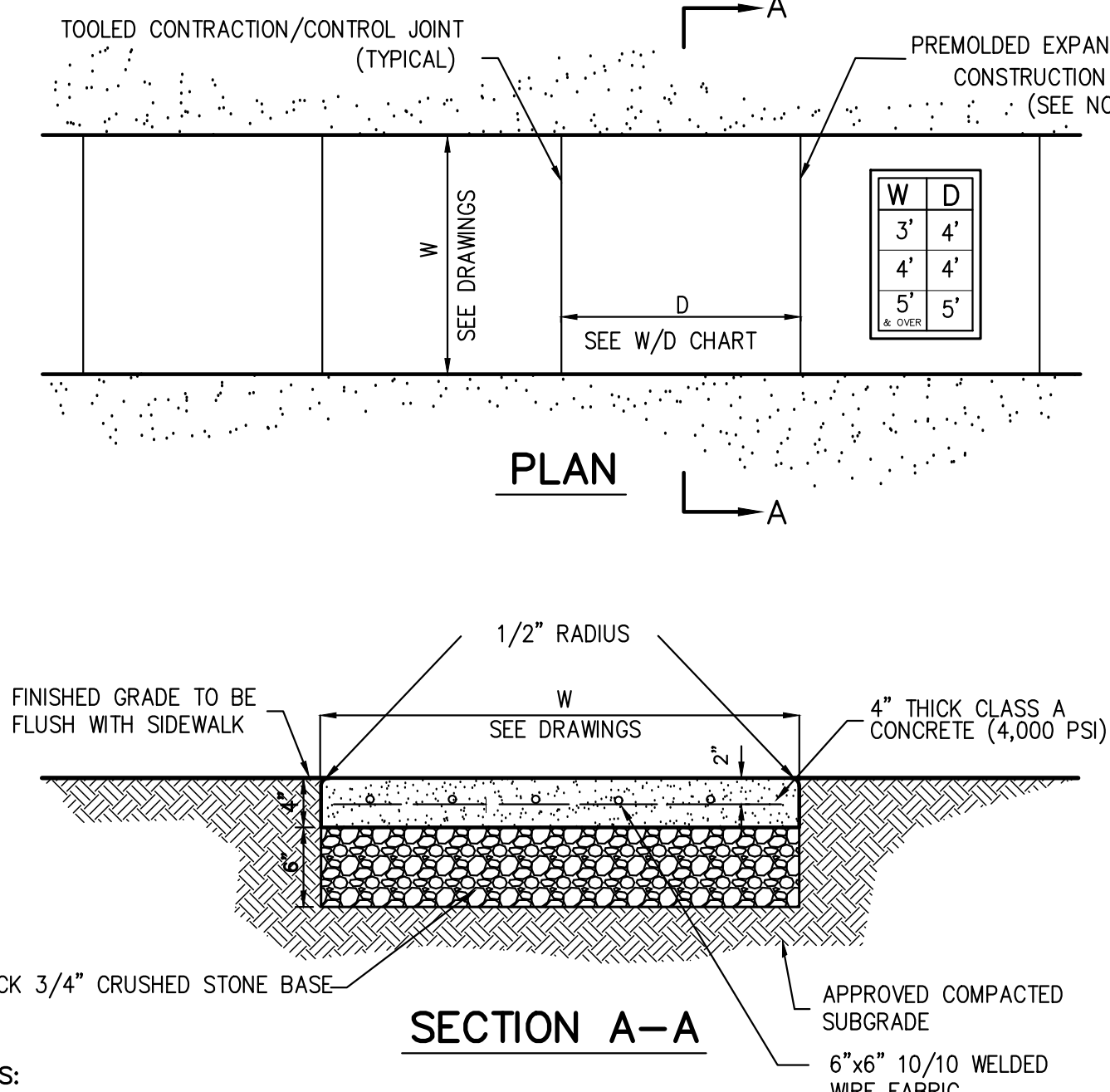
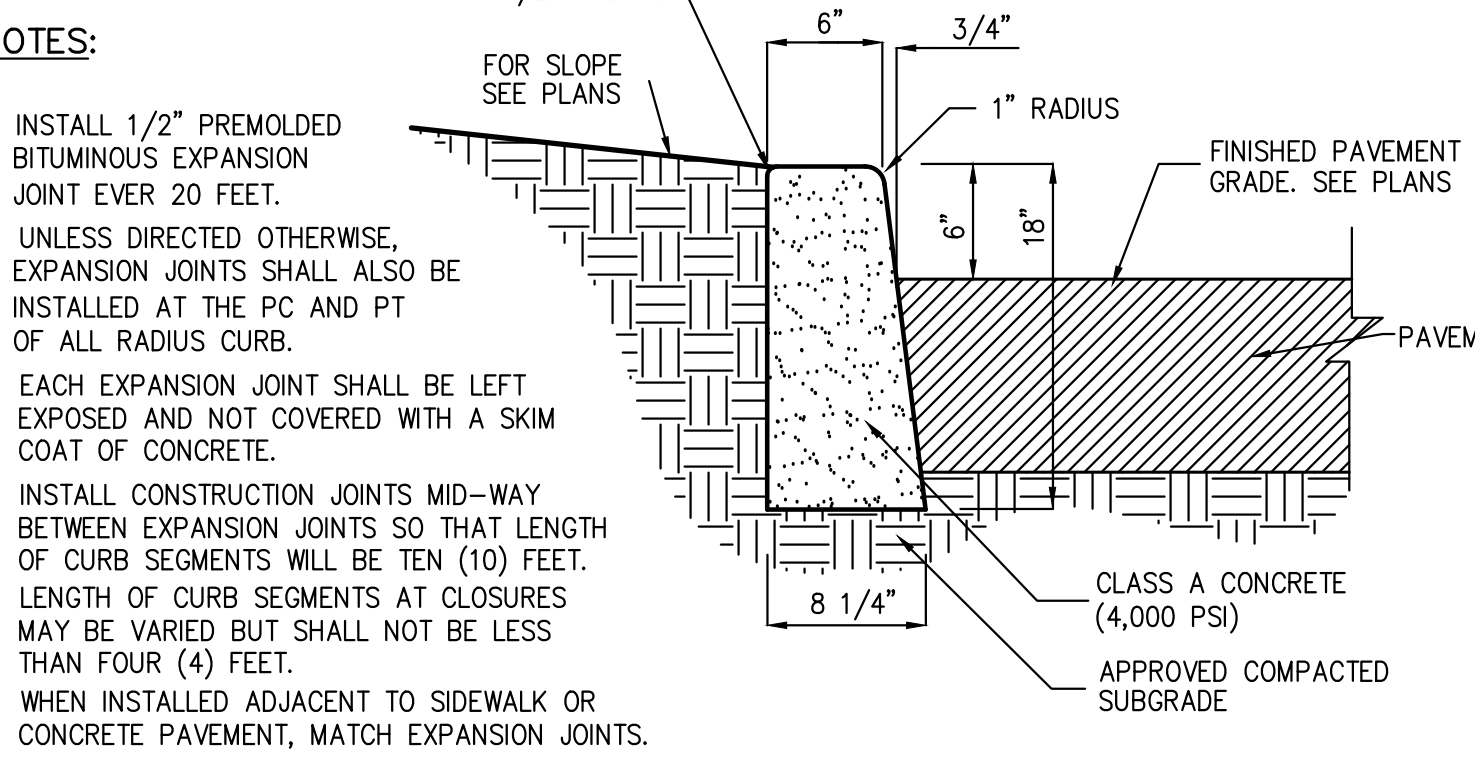
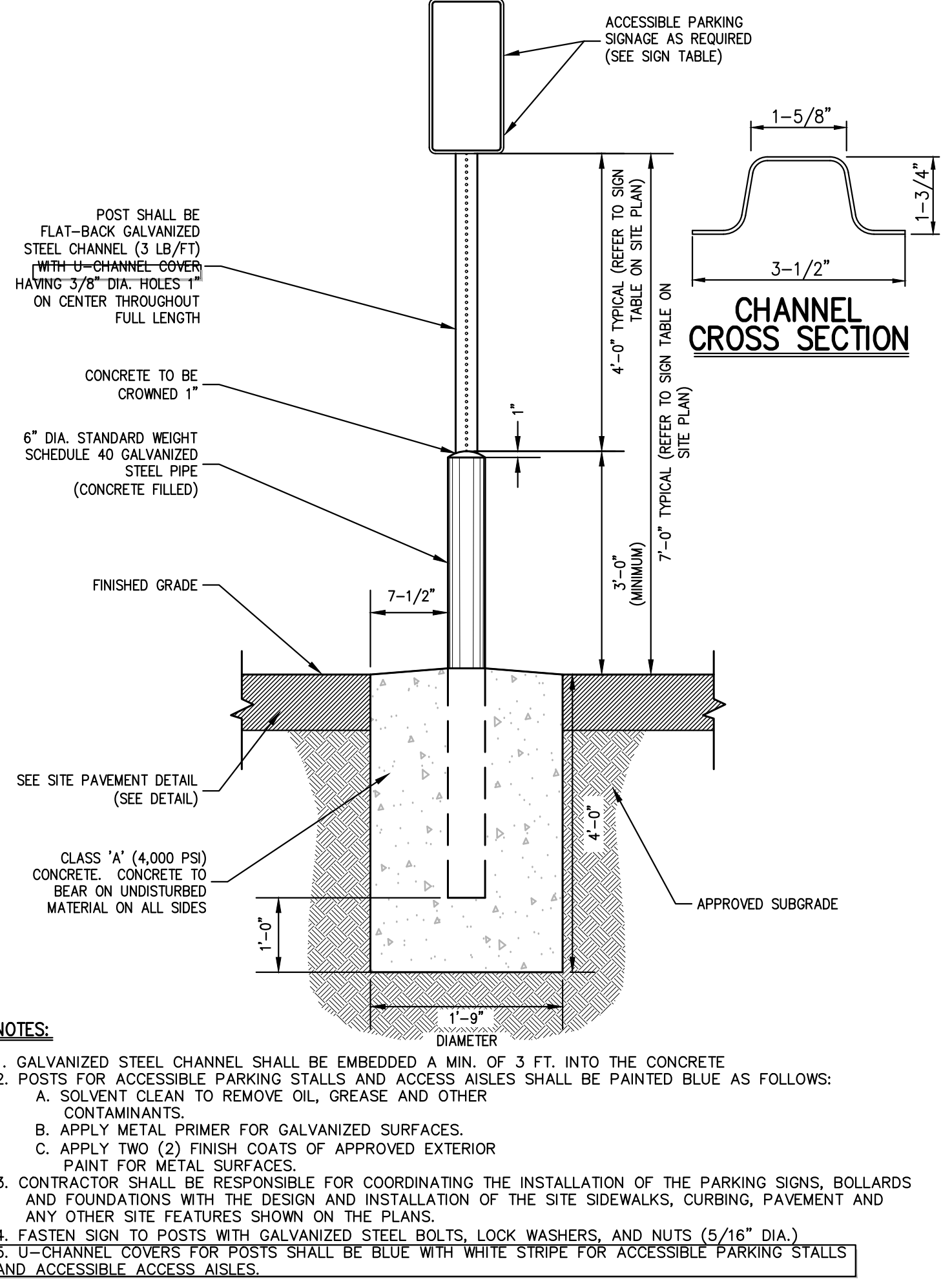
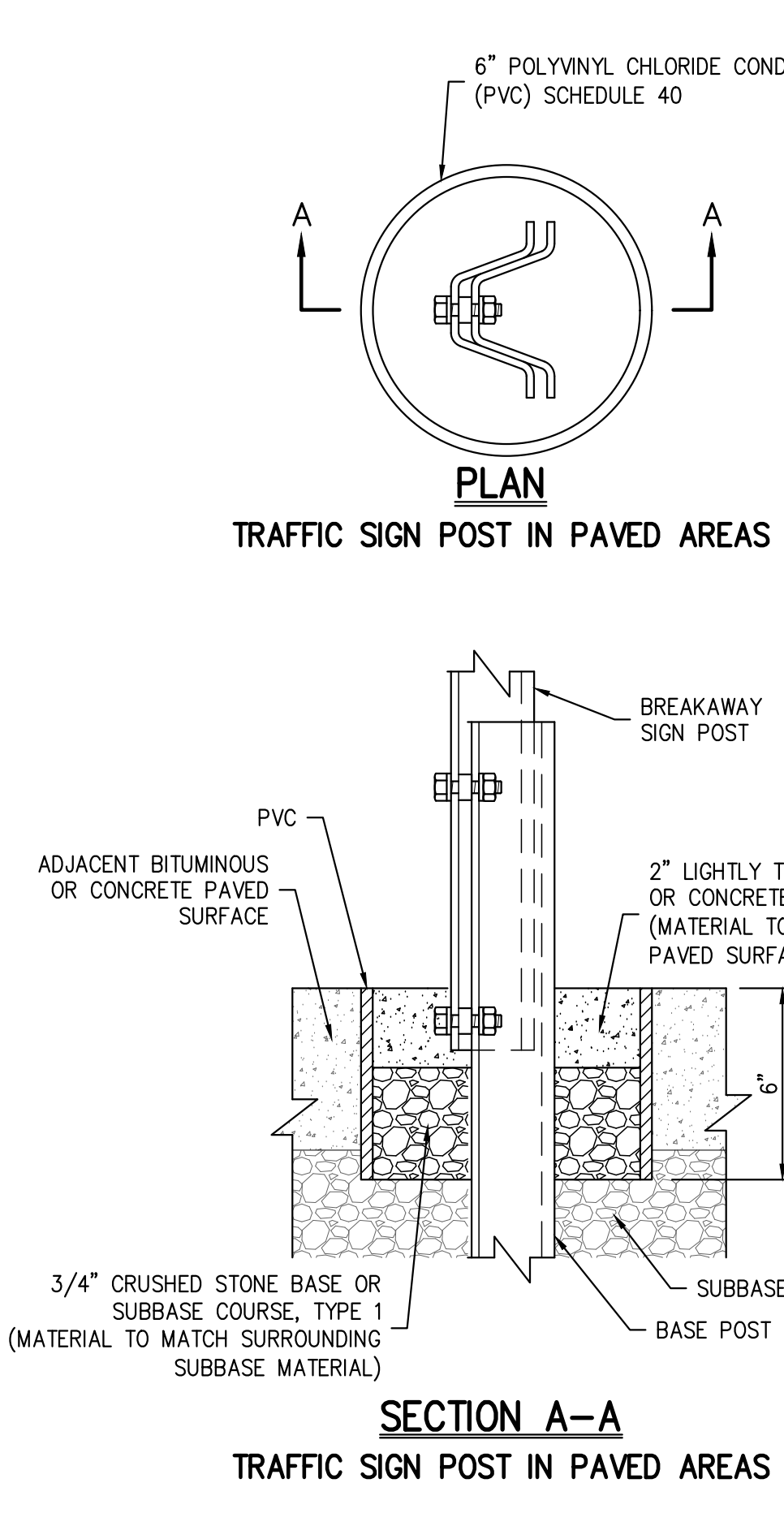
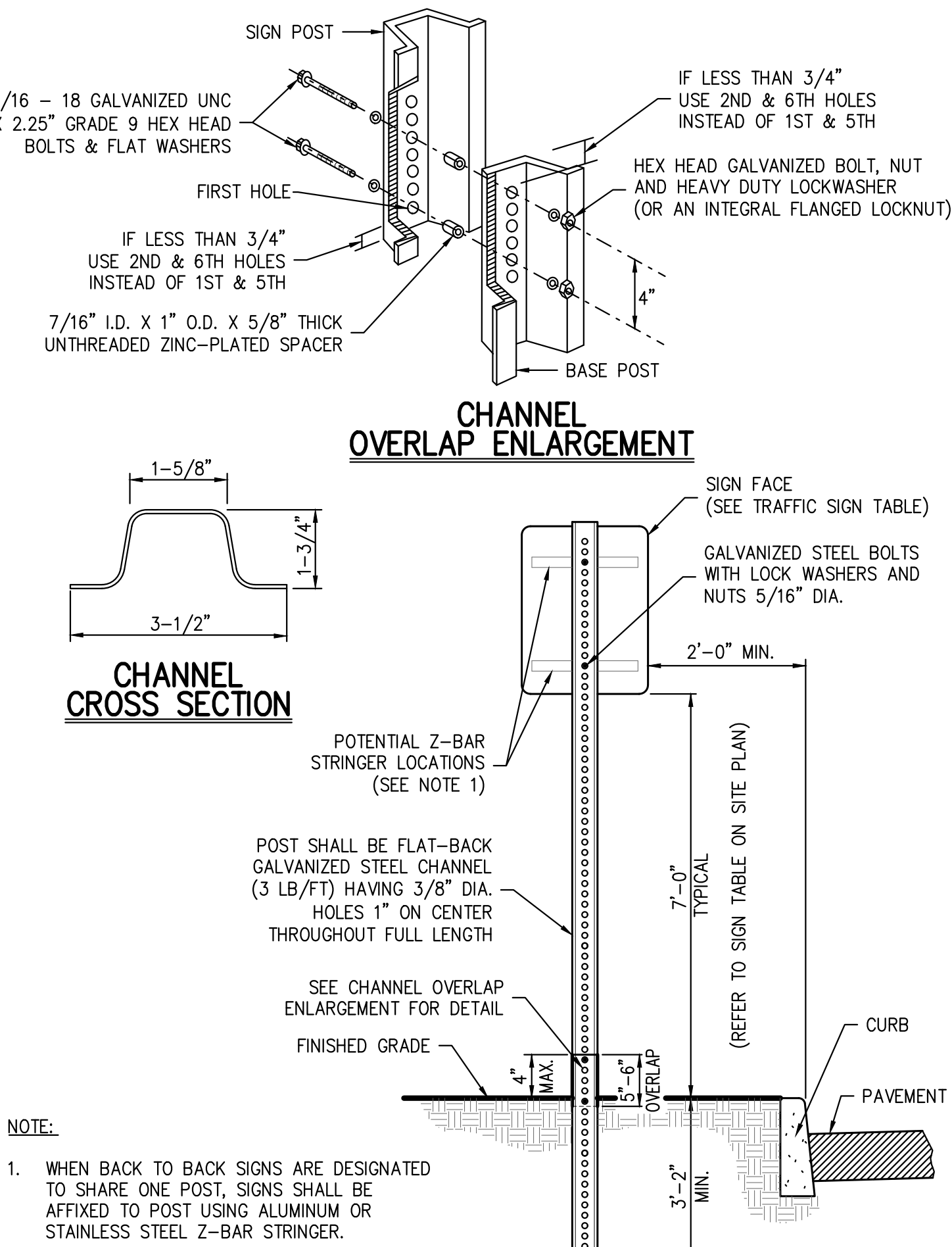
25

HANDICAP PARKING  
(DOUBLE STRIPING - CURBLINE ALIGNMENT - W/SIDEWALK  
(NEW YORK))

26

SITE PAVEMENT  
(Light Duty)

27



TRAFFIC SIGN POST  
(BREAKAWAY STEEL CHANNEL)

28

ACCESSIBLE PARKING SIGN DETAIL

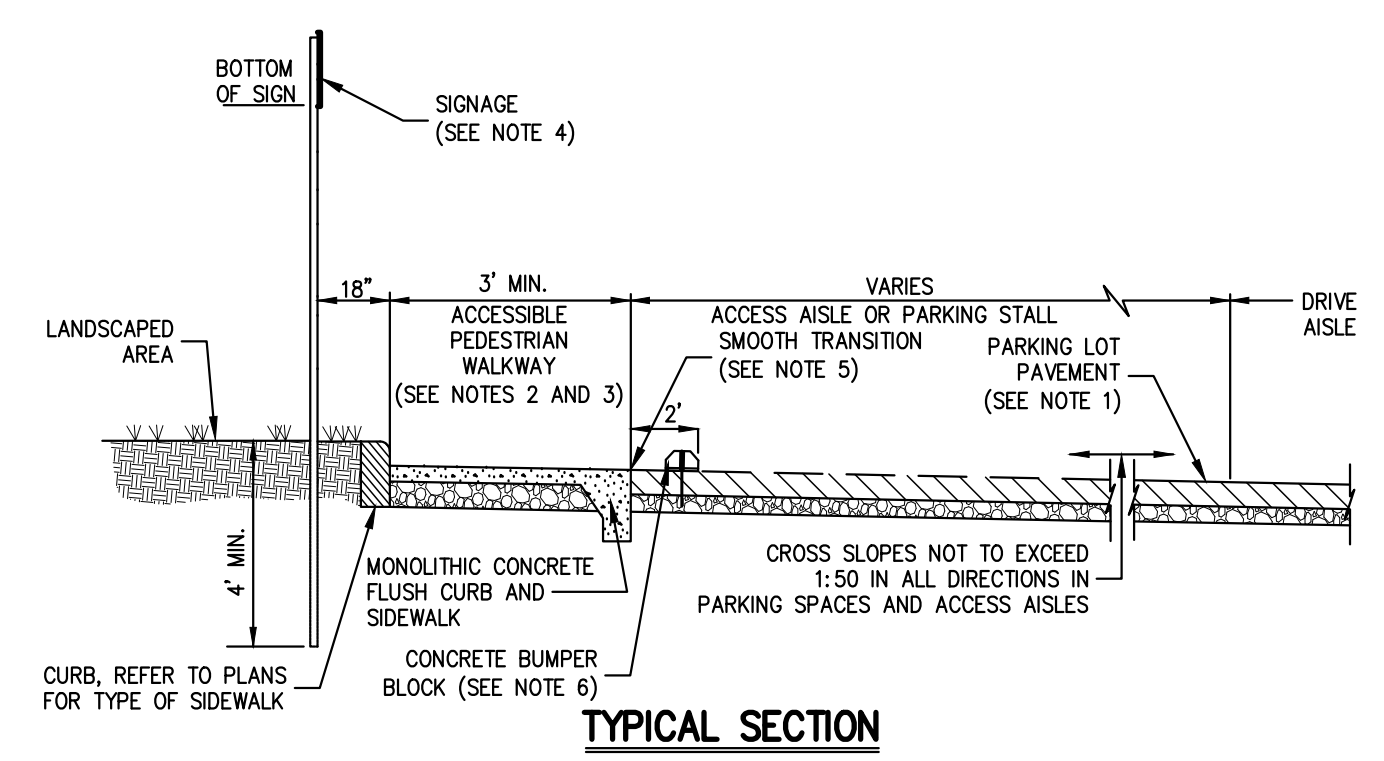
29

CAST-IN-PLACE CONCRETE CURB

30

CONCRETE SIDEWALK

31



- NOTES:
1. THIS SHEET IS INTENDED TO DEPICT THE DIMENSIONAL REQUIREMENTS OF TYPICAL ACCESSIBLE PARKING SPACES, THE SIDEWALK, CURBING, AND PAVEMENT MATERIAL SHALL BE AS SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS.
  2. LOCATION - PARKING SPACES FOR USE BY PERSONS WITH DISABILITIES SHALL BE IN THE SPACES CLOSEST TO THE NEAREST ACCESSIBLE BUILDING OR FACILITY ENTRANCE ON AN ACCESSIBLE ROUTE.
  3. SURFACE SLOPES - SLOPES AT ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ADJOINING WALKWAYS SHALL NOT EXCEED 1:50 IN ANY DIRECTION.
  4. SIGNAGE - EACH ACCESSIBLE PARKING SPACE SHALL BE MARKED BY PERMANENTLY INSTALLED ABOVE GROUND SIGNS WHICH DISPLAY THE INTERNATIONAL SYMBOL OF ACCESS. EACH ACCESS AISLE SHALL BE MARKED BY PERMANENTLY INSTALLED ABOVE GROUND SIGNS INDICATING THAT PARKING IS NOT PERMITTED IN THE AISLE. SIGNS SHALL NOT BLOCK THE ACCESSIBLE CLEAR WIDTH OF ADJACENT WALKWAYS. SIGNS LOCATED WHERE THEY MAY BE HIT BY VEHICLES BEING PARKED SHALL BE INSTALLED AS SHOWN IN THE PROTECTION POST BASE DETAIL. THE BOTTOMS OF THE SIGNS LOCATED ON POSTS INSTALLED IN PAVED AREAS SHALL BE AT LEAST 7" ABOVE THE WALKWAY SURFACE. THE BOTTOMS OF SIGNS LOCATED IN UNPAVED AREAS SHALL BE 7" ABOVE THE ADJACENT PAVEMENT SURFACE.
  5. A SMOOTH, FLUSH TRANSITION MUST BE PROVIDED BETWEEN ALL PEDESTRIAN WALKWAYS AND THE ACCESSIBLE PARKING SPACES AND AISLES.
  6. VEHICLE SIDE FACE OF CONCRETE BUMPER BLOCKS SHALL BE SET 2" BACK FROM EDGE OF PARKING STALL. CONCRETE BLOCKS SHALL NOT BE INSTALLED WITHIN ACCESS AISLES.

TYPICAL ACCESSIBLE PARKING STALL AND AISLE  
(TYPE A)

32

X

X

X

X

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3000-HDL - C-902 -  
Drawing No:

C-902









PLAN SCHEDULE						
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	REMARKS
DECIDUOUS TREES						
AR1	19	Acer rubrum 'Armstrong'	Armstrong Red Maple	2 1/2" - 3" Cal.	B & B	
AR2	19	Acer rubrum 'Franksred'	Red Sunset Maple	2 1/2" - 3" Cal.	B & B	
AR3	14	Acer rubrum 'October Glory'	October Glory Red Maple	2 1/2" - 3" Cal.	B & B	
LS	9	Liquidambar styraciflua 'Slender Silhouette'	Slender Silhouette Sweet Gum	2 1/2" - 3" Cal.	B & B	
NS	28	Nyssa sylvatica	Black tupelo	2 1/2" - 3" Cal.	B & B	
PO	7	Platanus occidentalis	American Sycamore	2 1/2" - 3" Cal.	B & B	
QA	6	Quercus alba	White Oak	2 1/2" - 3" Cal.	B & B	
QM	11	Quercus macrocarpa	Burr Oak	2 1/2" - 3" Cal.	B & B	
QR	65	Quercus rubra	Red Oak	2 1/2" - 3" Cal.	B & B	
	178	SUBTOTAL:				
EVERGREEN TREES						
JV	19	Juniperus virginiana 'Taylor'	Taylor Eastern Red Cedar	7' - 8' HT.	B & B	
PA	131	Picea abies	Norway Spruce	8' - 10' HT.	B & B	
PG	53	Picea glauca	White Spruce	8' - 10' HT.	B & B	
PS	108	Pinus strobus	White Pine	8' - 10' HT.	B & B	
TO	99	Thuja orientalis 'Elegantissima'	Arborvitae	7' - 8' HT.	B & B	
	410	SUBTOTAL:				
FLOWERING & UNDERSTORY TREES						
AC	56	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	8' - 10' HT.	B & B	
BN	113	Betula nigra	River Birch Dura Heat	8' - 10' HT.	B & B	
CA2	6	Cornus caroliniana	American Hornbeam	8' - 10' HT.	B & B	
CC	32	Cercis canadensis	Eastern Redbud	8' - 10' HT.	B & B	
CF	25	Cornus florida 'White'	White Flowering Dogwood	8' - 10' HT.	B & B	
CR	13	Cornus florida rubra	Pink Flowering Dogwood	8' - 10' HT.	B & B	
	245	SUBTOTAL:				
GROUND COVERS						
SM	10,706 sf	Shrub Massing				
	10,706 sf	SUBTOTAL:				

LEGEND	
	EXISTING PROPERTY LINE
	ADJACENT PROPERTY LINE
	EXISTING SETBACK LINE
	EXISTING WETLAND LINE AND DELINEATION
	EXISTING BUILDING OVERHANG
	EXISTING BUILDING LINE
	EXISTING PAVEMENT EDGE
	EXISTING CURB LINE
	EXISTING STONE WALL
	EXISTING FENCE
	EXISTING TREE AND DESIGNATION
	EXISTING PAINT
	EXISTING PARKING SPACES
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	BUILDING SETBACK LINE
	PROPOSED SUBDIVISION LINE
	PROPOSED BUILDING LINE
	PROPOSED BASIN LIMITS
	PROPOSED CONCRETE CURB
	PROPOSED DROP CURB & RAMP
	PROPOSED SIDEWALK LINE
	PROPOSED ACCESSIBLE PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	PROPOSED PARKING SPACES WITH NUMBER OF SPACES INDICATED (REFER TO STRIPING DETAILS)
	PROPOSED CONCRETE SIDEWALK
	PROPOSED MONOLITHIC CONCRETE SIDEWALK & CURB
	PROPOSED DROP CURB AND RAMP
	PROPOSED SITE DRIVEWAY PAVEMENT
	PROPOSED TOWNHOME DRIVEWAY PAVEMENT
	PROPOSED RETAINING WALL (DESIGN BY OTHERS)
	PROPOSED STEEP SLOPE MIX
	PROPOSED BASIN MIX
	PROPOSED FENCE
	PROPOSED HYDRANT
	PROPOSED SINGLE ARM LIGHTING STANDARD (DESIGN BY OTHERS)
	PROPOSED 12' WIDE WHITE STOP LINE
	TRAFFIC SIGN LOCATION & DESIGNATION
	PROPOSED TREE PLANTINGS
	PROPOSED SHRUB MASSING
	PROPOSED STEEP SLOPE MIX
	PROPOSED BIO-RETENTION BASIN MIX
	PROPOSED DETENTION BASIN MIX

- NOTES:**
1. ALL PLANT MATERIAL SPECIFIED ON THE DRAWINGS SHALL BE FIRST QUALITY NURSERY STOCK, CERTIFIED TRUE TO THEIR GENUS, SPECIES, VARIETY, ALL OF WHICH SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANHORT (LANS 2007) LATEST EDITION.
  2. ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING, PAVEMENT, OR OTHER IMPERVIOUS SURFACE, AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVERS, SHALL BE LAWN.
  3. ALL MULCH TO BE PLACED IN PLANTING BEDS SHALL BE CLEAN, NON-DYED, TOWN FREE, ORGANIC MATERIAL, CONSISTING OF SHREDED HARDWOOD, ROOT WALK OR SHREDED CEDAR, OR BARK CHIPS AS APPROVED BY THE OWNER'S FIELD REPRESENTATIVE OR PROJECT LANDSCAPE ARCHITECT. THE PLACEMENT THICKNESS OF THE MULCH SHALL BE 3" AND/OR AS DIRECTED IN THE PLANTING DETAILS.
  4. PLANT MATERIAL SUBSTITUTIONS SHALL NOT BE PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
  5. ALL LANDSCAPE PLANTINGS SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTINGS AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING PLANTING SEASON.
  6. ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
  7. ALL PLANT MATERIAL STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALD, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECT EGGS, AND SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBSCURABLE DEFECTS/ABNORMALITIES. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY WYES AND GROUND COVERS PLANTS WILL ESTABLISHED IN REMOVAL CONTAINERS, INTEGRAL CONTAINERS, OR FORMED HANGING BASKETS. SECTIONS SHALL BE USED.
  8. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SOURCES OF ALL PLANT MATERIAL SHALL BE DISCLOSED TO PROJECT LANDSCAPE ARCHITECT AND OWNER PRIOR TO DELIVERY.
  9. ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK AS SPECIFIED IN THE PLANT LIST. BAREROCK STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
  10. ALL LAWN AREAS (SOO OR SEED) SHALL RECEIVE A MINIMUM 6" THICK LAYER OF SOOED TOPSOIL PRIOR TO INSTALLATION OF SOO OR SEED, UNLESS OTHERWISE SPECIFIED. TOPSOIL SHALL CONFORM TO THE PROJECT SPECIFICATIONS.
  11. SOIL WITHIN ALL PLANTING BEDS SHALL BE PREPARED AS DIRECTED IN THE PLANTING DETAILS AND PROJECT SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
  12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN GOOD HEALTH UNTIL THE PROJECT LANDSCAPE ARCHITECT HAS PROVIDED WRITTEN ACCEPTANCE THAT THE PLANTINGS ARE COMPLETE AND IN CONFORMANCE WITH THE PLANS. THE CONTRACTOR SHALL GUARANTEE THE SURVIVAL OF THE PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY THE PROJECT LANDSCAPE ARCHITECT, UNLESS OTHERWISE AGREED TO WITH THE OWNER.
  13. ALL AREAS DISTURBED OR DAMAGED DURING THE COURSE OF THE CONTRACTOR'S WORK SHALL BE REPAIRED OR RESTORED TO ORIGINAL OR CONTRUCTED CONDITION AT NO ADDITIONAL COST TO OWNER.
  14. FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL BY PROJECT LANDSCAPE ARCHITECT. PROJECT LANDSCAPE ARCHITECT MAY ADJUST SPACING AND LOCATION IN FIELD PRIOR TO OR AFTER PLANTING.
  15. CONTRACTOR SHALL IMMEDIATELY REPORT ANY UNSATISFACTORY SITE CONDITIONS TO THE OWNER IN WRITING. CONTRACTOR SHALL RECEIVE NO ADDITIONAL PAYMENT FOR ADDITIONAL WORK ASSOCIATED WITH THE UNSATISFACTORY CONDITIONS IF NOT PROPERLY REPORTED AND WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER.
  16. ALL TREE AND SHRUB PLANTINGS INSTALLED ADJACENT TO PARKING AREAS SHALL BE SETBACK A MINIMUM OF 24" FROM EDGE OF THE PLANT TO EDGE OF PARKING AREA.
  17. ALL PLANTINGS ADJACENT TO LAWN AREAS SHALL HAVE A 6" DEEP VERTICAL CUT EDGE ALONG THE OUTSIDE OF THE PLANTING BED.
  18. SEED MIXES FOR STEEP SLOPES AND BASINS SHALL BE AS FOLLOWS:  
A) NATIVE STEEP SLOPES MIX W/GRAN RYE  
ITEM NUMBER: ERMA-181-2  
USE THIS FORMULA WITH GRAN RYE AS A COVER CROP (FROM AUGUST 1ST - FEBRUARY 15TH).  
B) BIO-RETENTION BASIN MIX  
ITEM NUMBER: ERMA-127  
C) NATIVE DETENTION AREA MIX  
ITEM NUMBER: ERMA-183

- UNIT LANDSCAPING NOTES:**
1. LAYOUT OF PLANTING BED IS CONCEPTUAL AND MAY VARY DUE TO EXISTING SITE CONDITIONS AND MODEL ELEVATION. SPECIES CHOSEN SHALL CORRELATE WITH EXISTING SITE CONDITIONS OF EACH HOME (E.G. SUN/SHADE) TO ENSURE SURVIVABILITY OF PLANT.
  2. SHRUBS SHALL BE PLANTED IN GROUPS OF THE SAME SPECIES (3-5 PLANTS) TO MAINTAIN BALANCE THROUGHOUT THE GARDEN.
  3. FOUNDATION PLANTS ARE IN ADDITION TO AND ARE TO BE COORDINATED WITH PROPOSED STREET TREES, OPEN SPACE PLANTINGS AND EXISTING VEGETATION TO REMAIN.
  4. QUALITY OF PLANT SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK.
  5. SUBSTITUTIONS PERMITTED WITH WRITTEN APPROVAL BY OWNER'S LANDSCAPE ARCHITECT AND TOWN REPRESENTATIVE PRIOR TO PLANTING.

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Scale: 1" = 40'  
Date: 04/23/2025  
Project No: 23109  
23109-LANDSCAPING L-101 DWT:ar  
Drawing No:

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PRELIMINARY LANDSCAPING PLAN (NORTH)  
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420 ROGEE ROAD  
DANBURY, CT 06810





**LEGEND**

- EXISTING PROPERTY LINE
- ADJACENT PROPERTY LINE
- EXISTING SETBACK LINE
- EXISTING WETLAND LINE AND DELINEATION
- EXISTING BUILDING OVERHANG
- EXISTING BUILDING LINE
- EXISTING PAVEMENT EDGE
- EXISTING CURB LINE
- EXISTING STONE WALL
- EXISTING FENCE
- EXISTING TREE AND DESIGNATION
- EXISTING PAINT
- EXISTING PARKING SPACES
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- PROPOSED SUBDIVISION LINE
- PROPOSED BUILDING LINE
- PROPOSED BASIN LIMITS
- PROPOSED CONCRETE CURB
- PROPOSED DROP CURB & RAMP
- PROPOSED SAWTOOTH LINE
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- PROPOSED STEEP SLOPE MIX
- PROPOSED BASIN MIX
- PROPOSED FENCE
- PROPOSED HYDRANT
- PROPOSED SINGLE LANE LIGHTING STANDARD (DESIGN BY OTHERS)
- PROPOSED 12" WIDE WHITE STOP LINE
- TRAFFIC SIGN LOCATION & DESIGNATION
- PROPOSED TREE PLANTINGS
- PROPOSED SHRUB MASSING
- PROPOSED STEEP SLOPE MIX
- PROPOSED BIOTENTION BASIN MIX
- PROPOSED DETENTION BASIN MIX

**NOTES:**

1. ALL PLANT MATERIAL SPECIFIED ON THE DRAWINGS SHALL BE FIRST QUALITY NURSERY GROWN STOCK SPECIFIED TO THE TREE, SHRUB, OR PALM SPECIES AND VARIETY, ALL OF WHICH SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICAN NURSERY ASSOCIATION (ANSI Z60.1), LATEST EDITION.
2. ALL AREAS OF THE SITE NOT OCCUPIED BY BUILDING, PAVEMENT, OR OTHER IMPERVIOUS SURFACE, AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER, SHALL BE LAWN.
3. ALL MULCH TO BE PLACED IN PLANTING BEDS SHALL BE CLEAN, NON-DYED, TONIC, FINE, ORGANIC MATERIAL, CONSISTING OF SHREDED HARDWOOD, ROOT MULCH, SHREDED CORN, OR BARK CHIPS, AS APPROVED BY THE OWNER'S FIELD REPRESENTATIVE OR PROJECT LANDSCAPE ARCHITECT. THE PLACEMENT THICKNESS OF THE MULCH SHALL BE 3" AND/OR AS DIRECTED IN THE PLANTING DETAILS.
4. PLANT MATERIAL SUBSTITUTIONS SHALL NOT BE PERMITTED WITHOUT THE PROJECT LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.
5. ALL LANDSCAPE PLANTINGS SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION THROUGHOUT THE DURATION OF THE PROJECT. ANY PLANTING NOT SO MAINTAINED SHALL BE REPLACED WITH NEW PLANTINGS AT THE BEGINNING OF THE NEXT, IMMEDIATELY FOLLOWING PLANTING SEASON.
6. ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT AND GOVERNMENTAL AUTHORITIES HAVING JURISDICTION.
7. ALL PLANT MATERIAL STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALE, WINDBURN, ABRASION, AND HARMFUL INSECTS OR INSECT EGGS, AND SHALL HAVE HEALTHY, NORMAL UNBROKEN ROOT SYSTEMS, DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRAIGHT TRUNKS OR STEMS, AND FREE FROM OBSCURABLE DISFIGUREMENTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY WINDS AND GROUND COVER PLANTS WELL ESTABLISHED IN REMOVAL CONTAINERS, INTERIOR CONTAINERS, OR FORMED HANGING BASKETS SHALL BE USED.
8. PLANTS SHALL BE GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT. SOURCES OF ALL PLANT MATERIAL SHALL BE DISCLOSED TO PROJECT LANDSCAPE ARCHITECT AND UNLESS PRIOR TO DELIVERY.
9. ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK, AS SPECIFIED IN THE PLANT LIST. BAREROOT STOCK OF ANY KIND IS UNACCEPTABLE UNLESS SPECIFIED.
10. ALL LAWN AREAS (SOO OR SEED) SHALL RECEIVE A MINIMUM 6" THICK LAYER OF SCREENED TOPSOIL PRIOR TO INSTALLATION OF SOO OR SEED, UNLESS OTHERWISE SPECIFIED. TOPSOIL SHALL CONFORM TO THE PROJECT SPECIFICATIONS.
11. SOIL WITHIN ALL PLANTING BEDS SHALL BE PREPARED AS DIRECTED IN THE PLANTING DETAILS AND PROJECT SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN GOOD HEALTH UNTIL THE PROJECT LANDSCAPE ARCHITECT HAS PROVIDED WRITTEN ACCEPTANCE THAT THE PLANTINGS ARE COMPLETE AND IN CONFORMANCE WITH THE PLANS. THE CONTRACTOR SHALL GUARANTEE THE SURVIVAL OF THE PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY THE PROJECT LANDSCAPE ARCHITECT, UNLESS OTHERWISE AGREED TO WITH THE OWNER.
13. ALL AREAS DISTURBED OR DAMAGED DURING THE COURSE OF THE CONTRACTOR'S WORK SHALL BE REPAIRED OR RESTORED TO ORIGINAL OR CONTRASTING CONDITION AT NO ADDITIONAL COST TO OWNERS.
14. FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL BY PROJECT LANDSCAPE ARCHITECT. PROJECT LANDSCAPE ARCHITECT MAY ADJUST SPACING AND LOCATION IN FIELD PRIOR TO OR AFTER PLANTING.
15. CONTRACTOR SHALL IMMEDIATELY REPORT ANY UNSATISFACTORY SITE CONDITIONS TO THE OWNER IN WRITING. CONTRACTOR SHALL RECEIVE NO ADDITIONAL PAYMENT FOR ADDITIONAL WORK ASSOCIATED WITH THE UNSATISFACTORY CONDITIONS IF NOT PROPERLY REPORTED AND WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER.
16. ALL TREE AND SHRUB PLANTINGS INSTALLED ADJACENT TO PARKING AREAS SHALL BE SETBACK A MINIMUM OF 24" FROM EDGE OF THE PLANT TO EDGE OF PARKING AREA.
17. ALL PLANTINGS ADJACENT TO LAWN AREAS SHALL HAVE A 6" DEEP VERTICAL CUT EDGE ALONG THE OUTSIDE OF THE PLANTING BED.
18. SEED MIXES FOR STEEP SLOPES AND BASINS SHALL BE AS FOLLOWS:  
A) NATIVE STEEP SLOPES MIX W/GRAN RYE  
ITEM NUMBER: ERNMX-15-2  
USE THIS FORMULA WITH GRAN RYE AS A COVER CROP (FROM AUGUST 1ST - FEBRUARY 15TH).  
B) BIOTENTION BASIN MIX  
ITEM NUMBER: ERNMX-127  
C) NATIVE DETENTION AREA MIX  
ITEM NUMBER: ERNMX-183

**UNIT LANDSCAPING NOTES:**

1. LAYOUT OF PLANTING BED IS CONCEPTUAL AND MAY VARY DUE TO EXISTING SITE CONDITIONS AND MODEL ELEVATION. SPECIES CHOSEN SHALL CORRELATE WITH EXISTING SITE CONDITIONS OF EACH HOME (E, SUN/SHADE) TO ENSURE SURVIVABILITY OF PLANT.
2. SHRUBS SHALL BE PLANTED IN GROUPS OF THE SAME SPECIES (3-5 PLANTS) TO MAINTAIN BALANCE THROUGHOUT THE GARDEN.
3. FOUNDATION PLANTS ARE IN ADDITION TO AND ARE TO BE COORDINATED WITH PROPOSED STREET TREES, OPEN SPACE PLANTINGS AND EXISTING VEGETATION TO REMAIN.
4. QUALITY OF PLANT SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK.
5. SUBSTITUTIONS PERMITTED WITH WRITTEN APPROVAL BY OWNER'S LANDSCAPE ARCHITECT AND TOWN REPRESENTATIVE PRIOR TO PLANTING.

LAW SPECIES						
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT COND.	REMARKS
DECIDUOUS TREES						
AR1	19	Acer rubrum 'Armstrong'	Armstrong Red Maple	2 1/2" - 3" Cal.	B & B	
AR2	19	Acer rubrum 'Franksred'	Red Sunset Maple	2 1/2" - 3" Cal.	B & B	
AR3	14	Acer rubrum 'October Glory'	October Glory Red Maple	2 1/2" - 3" Cal.	B & B	
LS	9	Liquidambar styraciflua 'Slender Silhouette'	Slender Silhouette Sweet Gum	2 1/2" - 3" Cal.	B & B	
NS	28	Nyssa sylvatica	Black tupelo	2 1/2" - 3" Cal.	B & B	
PO	7	Platanus occidentalis	American Sycamore	2 1/2" - 3" Cal.	B & B	
QA	6	Quercus alba	White Oak	2 1/2" - 3" Cal.	B & B	
QM	11	Quercus macrocarpa	Burr Oak	2 1/2" - 3" Cal.	B & B	
QR	65	Quercus rubra	Red Oak	2 1/2" - 3" Cal.	B & B	
	178	SUBTOTAL:				
EVERGREEN TREES						
JV	19	Juniperus virginiana 'Taylor'	Taylor Eastern Red Cedar	7' - 6' HT.	B & B	
PA	131	Picea abies	Norway Spruce	8' - 10' HT.	B & B	
PG	53	Picea glauca	White Spruce	8' - 10' HT.	B & B	
PS	108	Pinus strobus	White Pine	8' - 10' HT.	B & B	
TO	99	Thuja orientalis 'Elegantissima'	Arborvitae	7' - 8' HT.	B & B	
	410	SUBTOTAL:				
FLOWERING & UNDERSTORY TREES						
AC	156	Amelanchier grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	8'-10' HT.	B & B	
BN	113	Betula nigra	River Birch Dura Heat	8' - 10' HT.	B & B	
CA2	6	Carpinus caroliniana	American Hornbeam	8' - 10' HT.	B & B	
CC	32	Cercis canadensis	Eastern Redbud	8' - 10' HT.	B & B	
CF	25	Cornus florida 'White'	White Flowering Dogwood	8' - 10' HT.	B & B	
CR	13	Cornus florida rubra	Pink Flowering Dogwood	8' - 10' HT.	B & B	
	245	SUBTOTAL:				
GROUND COVERS						
SM	10,706 sf	Shrub Massing				
	10,706 sf	SUBTOTAL:				

Drawn: NB Approved: DV

Scale: 1" = 40'

Date: 04/23/2025

Project No: 23109

23109-LANDSCAPING L-102 DWT:ar

Drawing No:

**JMC**

JMC Planning, Engineering, Landscape Architecture & Land Surveying, PLLC

JMC Site Development Consultants, LLC

John Meyer Consulting, Inc.

120 BEGFORD ROAD • ARMONK, NY 10504

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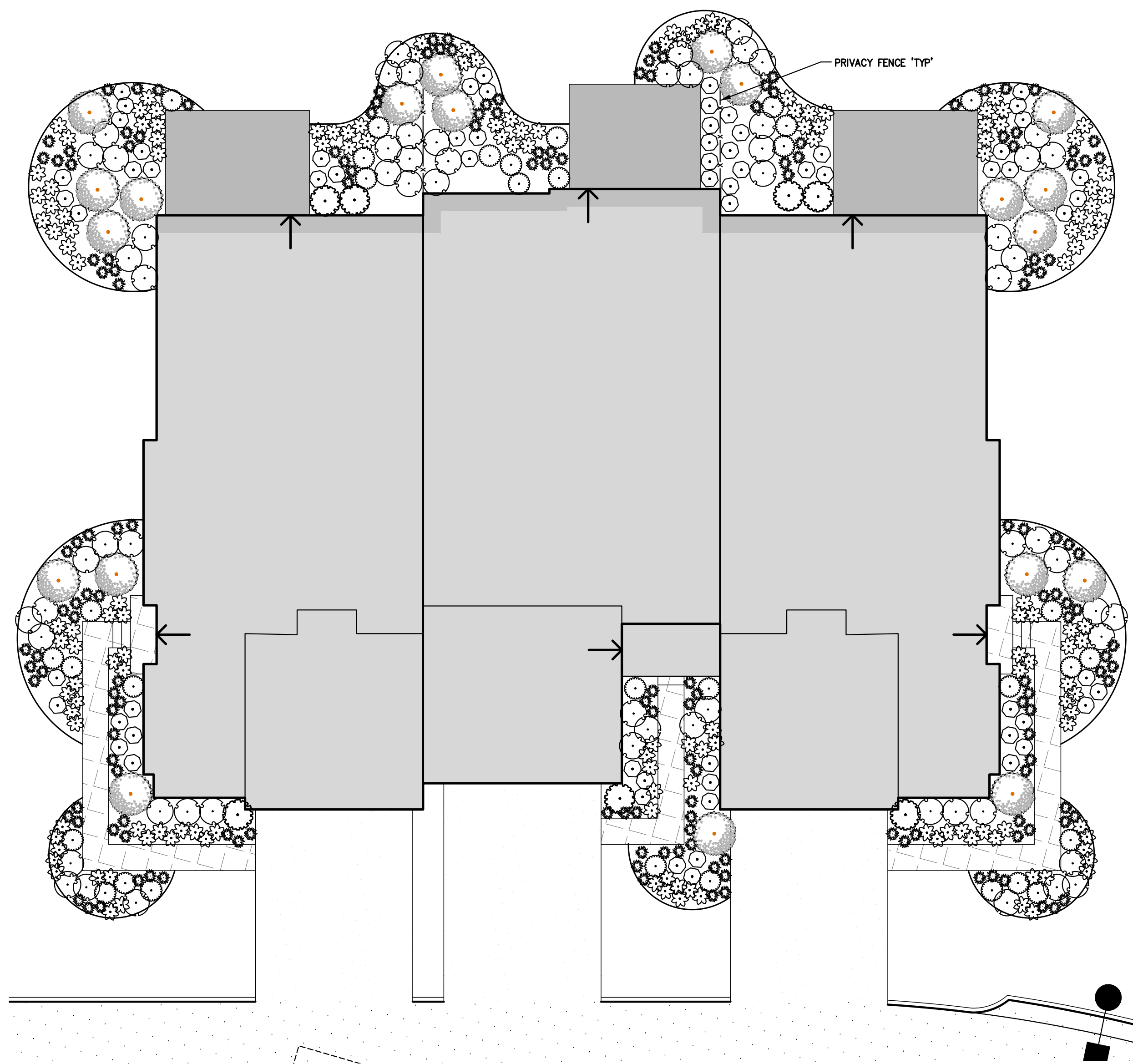
**PRELIMINARY LANDSCAPING PLAN (SOUTH)**

FIELDHOME AT CATHERINE STREET

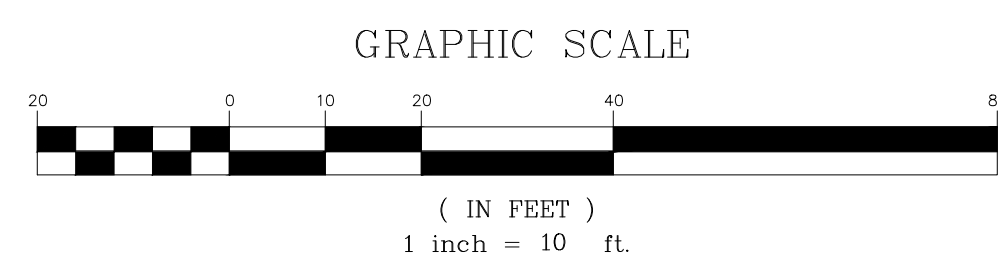
TOWN OF YORKTOWN, NEW YORK

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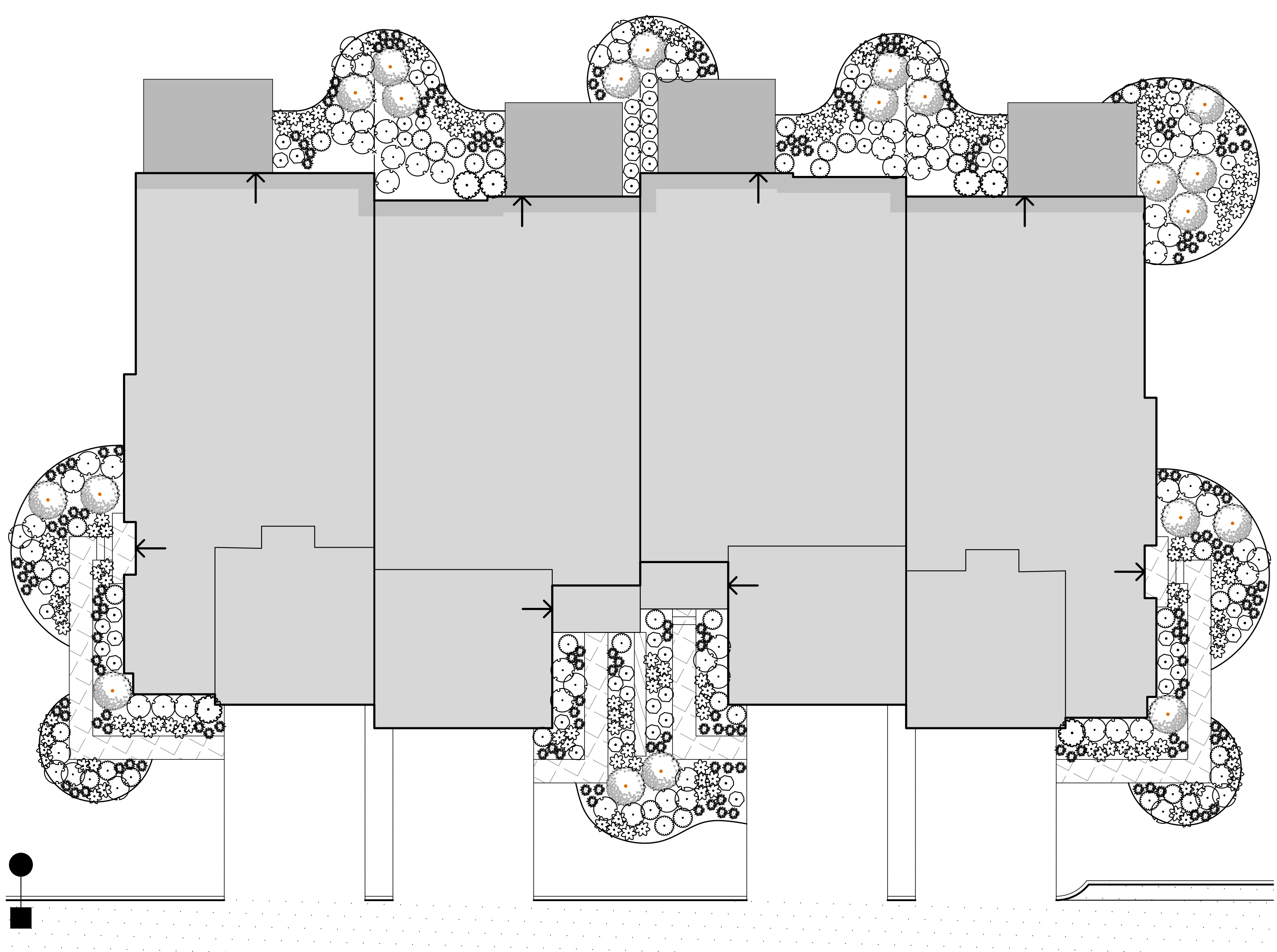


3-UNIT TYPICAL FOUNDATION PLANTING

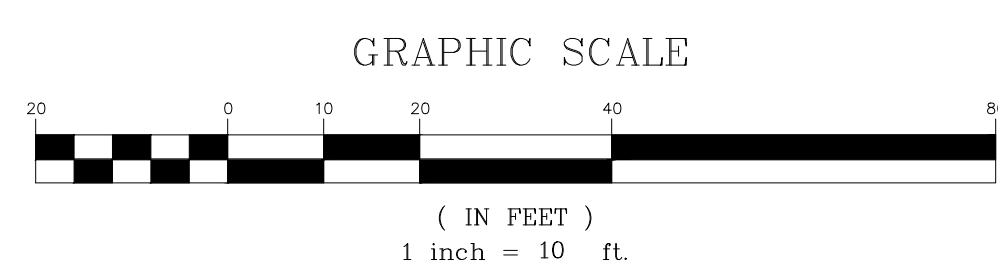


PROPOSED PLANTING SCHEDULE FOR UNITS

Symbol	Shrub A - Large Evergreen - 3' - 4' HT.	Common Name
A	Ilex crenata 'Steeds'	Steeds Holly
	Juniperus scopulorum 'Moonglow'	Moonglow Juniper
	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Cherry Laurel
	Rhododendron 'Catawbiense' White	Catawba Rhododendron
Symbol	Shrub B - Medium Evergreen - 3 Gal.	Common Name
B	Pieris japonica 'Dorothy Wyckoff'	Japanese Andromeda
	Ilex glabra 'Shamrock'	Shamrock Inkberry
	Azalea Perfecto Mundo - Pink	Reblooming Azalea
	Rhododendron x 'PJM Elite'	PJM Rhododendron
Symbol	Shrub C - Small Evergreen - 2 Gal.	Common Name
C	Ilex crenata 'Soft Touch'	Soft Touch Japanese Holly
	Ilex glabra 'Forever Emerald'	Dwarf Inkberry
	Ilex glabra 'Strongbox'	Dwarf Inkberry Strongbox
	Pieris cultivar 'Cavatine'	Dwarf Japanese Andromeda
Symbol	Shrub D - Medium Deciduous - 3 Gal.	Common Name
D	Dierivilla Kodiak Orange	Orange Honeysuckle
	Hydrangea arborescens 'Invincibelle Limetta'	Smooth Hydrangea Hydrangea
	Hydrangea quercifolia 'Ruby Slippers'	Dwarf Oakleaf Hydrangea
	Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea
Symbol	Shrub E - Small Deciduous - 2 Gal.	Common Name
E	Rosa rugosa 'Knockout White'	White Knockout Roses
	Physocarpus opulifolius 'Tiny Wine'	Ninebark
	Aronia melanocarpa 'Low Scape Mound'	Dwarf chokeberry
	Clethra 'Hummingbird'	Dwarf Summersweet
Symbol	Perennials - 2 Gal.	Common Name
F	Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea
	Rhus aromatica 'Low Gro'	Dwarf Fragrant Summac
	Sun/Part Shade	
	Alchemilla mollis 'Thriller'	Lady's Mantle
Symbol	Ornamental Grasses/Perennials/Ground Covers - 1 Gal.	Common Name
G	Coreopsis verticillata 'Moonbeam'	Tickweed
	Echinacea purpurea	Pink Cone Flower
	Nepeta massini 'Little Trudy' or 'Walkers' Low'	Catmint
	Rudbeckia fulgida var. 'Little Goldstart'	Blackeyed Susan
	Part Shade/Full Shade	
	Astilbe 'Bressingham Beauty'	Astilbe - Pink
	Brunnera macrophylla 'Jack Frost'	Siberian Bugloss
	Geranium macrorrhizum 'Bevan's Variety'	Cranesbill Geranium
	Part Shade/Full Shade	
	Heuchera x 'Caramel'	Coral Bells
	Fern varieties	Ferns
	Creeping sedum	Creeping Sedum
	Part Shade/Full Shade	
	Carex pennsylvanica	Pennsylvania sedge
	Hakonechloa macra 'Aureola'	Golden Hakone Grass
	Phlox stolonifera	Creeping Phlox
	Sedum Ternatum	Wild Stonecrop
	Tiarella 'Sugar and Spice'	Foam Flower



4-UNIT TYPICAL FOUNDATION PLANTING



EVERGREEN SHRUBS STEEDS HOLLY	EVERGREEN SHRUBS MOONGLOW JUNIPER	EVERGREEN SHRUBS DOROTHY WYCKOFF ANDROMEDA	EVERGREEN SHRUBS RHODODENDRON CATAWBIENSE	EVERGREEN SHRUBS OTTO LUYKEN CHERRY LAUREL	EVERGREEN SHRUBS RHODODENDRON PJM 'ELITE'	EVERGREEN SHRUBS SHAMROCK INKBERRY	EVERGREEN SHRUBS FOREVER EMERALD ILEX	EVERGREEN SHRUBS ILEX CRENATA SOFT TOUCH	EVERGREEN SHRUBS DWARF INKBERRY STRONGBOX	EVERGREEN SHRUBS CAVATINE ANDROMEDA	DECIDUOUS SHRUBS HYDRANGEA INVINCIBELLE LIMETTA
DECIDUOUS SHRUBS LITTLE LIME HYDRANGEA	DECIDUOUS SHRUBS OAKLEAF HYDRANGEA	DECIDUOUS SHRUBS DIERIVILLA KODIAK ORANGE	DECIDUOUS SHRUBS LOW GROW SUMAC	DECIDUOUS SHRUBS DWARF SUMMER SWEET	DECIDUOUS SHRUBS PHYSOCARPUS 'TINY WINE'	DECIDUOUS SHRUBS DWARF ITEA FIZZY MIZZY	DECIDUOUS SHRUBS DWARF CHOKEBERRY	DECIDUOUS SHRUBS WHITE KNOCKOUT ROSE	PERENNIALS CORAL BELLS	PERENNIALS LADY'S MANTLE	PERENNIALS ASTILBE
PERENNIALS RUSSIAN SAGE	PERENNIALS BLACK-EYED SUSAN	PERENNIALS TICKWEED	PERENNIALS GERANIUM	PERENNIALS PURPLE CONE FLOWER	PERENNIALS BRUNNERA JACK FROST	PERENNIALS ALLIUM MILLENIUM	PERENNIALS CATMINT	PERENNIALS SEDUM VERA JAMESON	PERENNIALS CREEPING THYME	PERENNIALS CREEPING SEDUM	PERENNIALS CREEPING PHLOX
PERENNIALS TIARELLA	PERENNIALS DIANTHUS	GRASSES FEATHER REED GRASS	GRASSES PRAIRIE DROPSEED	GRASSES CAREX EVERILLO	GRASSES CAREX ICE DACNE	GRASSES DWARF FOUNTAIN GRASS	GRASSES PENNSYLVANIA SEDGE	GRASSES JAPANESE SEDGE	FERNS CHRISTMAS FERN	FERNS AUTUMN FERN	FERNS OSTRICH FERN

NOT FOR CONSTRUCTION

APPLICANT

By: \_\_\_\_\_ Date: \_\_\_\_\_

Revised: \_\_\_\_\_

No. \_\_\_\_\_

TOLL BROS. INC.

420 ROGEE ROAD

DANBURY, CT 06810

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1420 BEGETT ROAD • FARMINGTON, CT 06030

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PRELIMINARY TYPICAL UNIT LANDSCAPING PLAN

FIELDHOME AT CATHERINE STREET

TOWN OF YORNTOWN, NEW YORK

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Drawn: NB Approved: DV

Scale: 1" = 10'

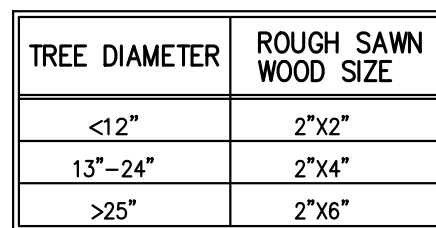
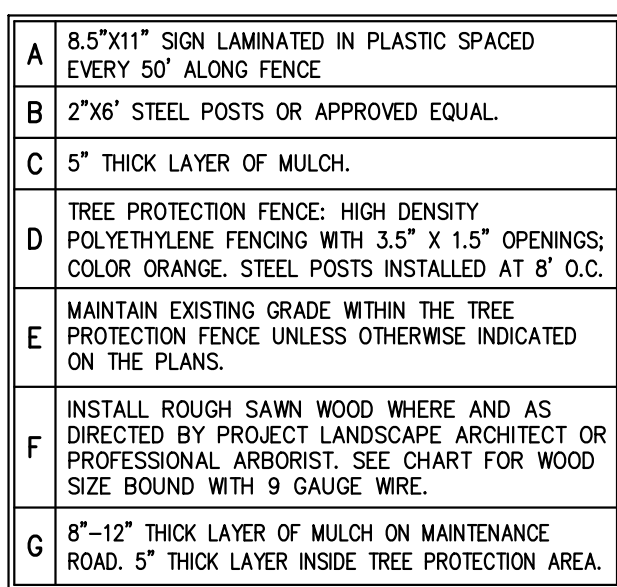
Date: 04/23/2025

Project No: 23109

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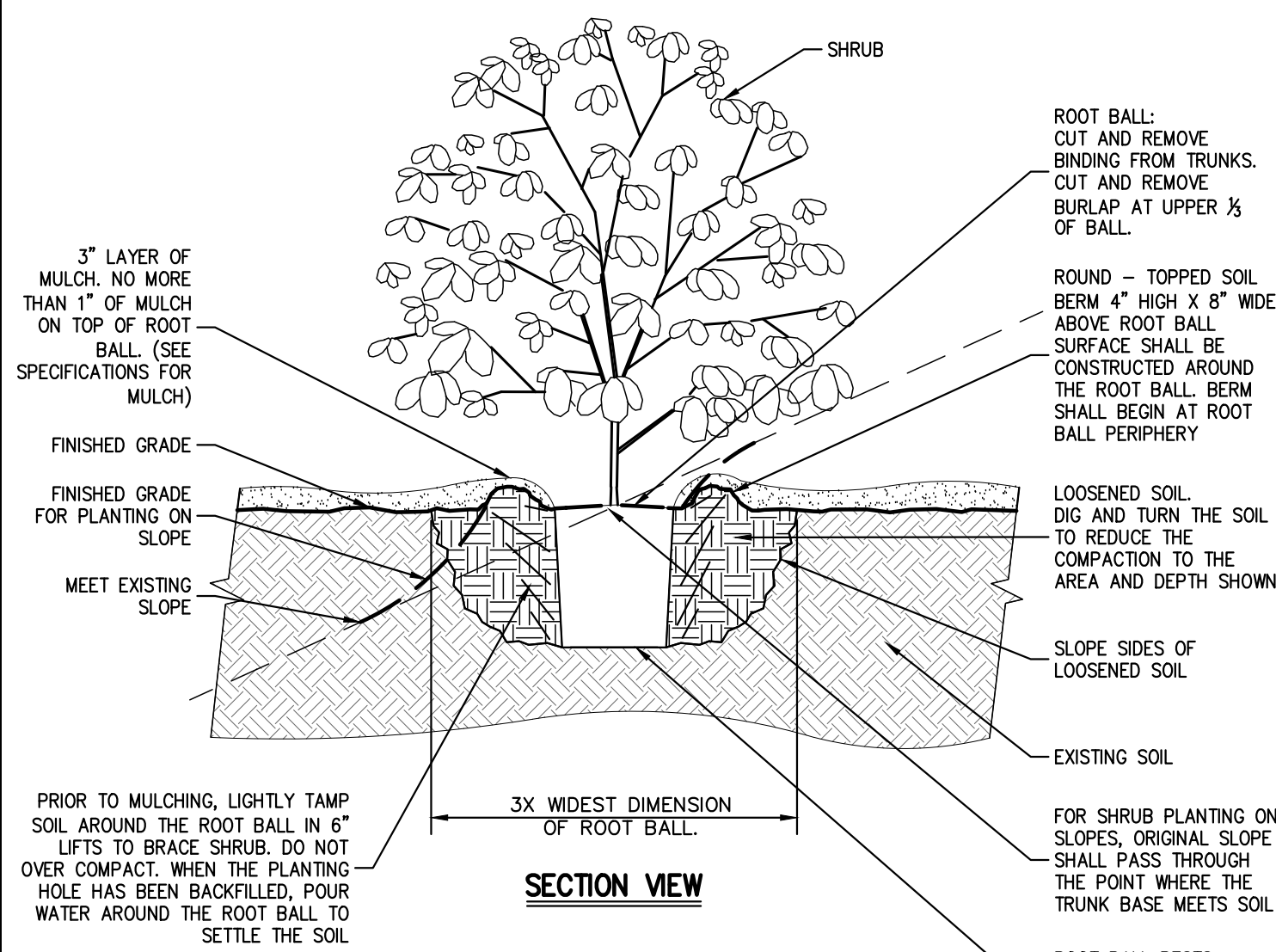
L-110



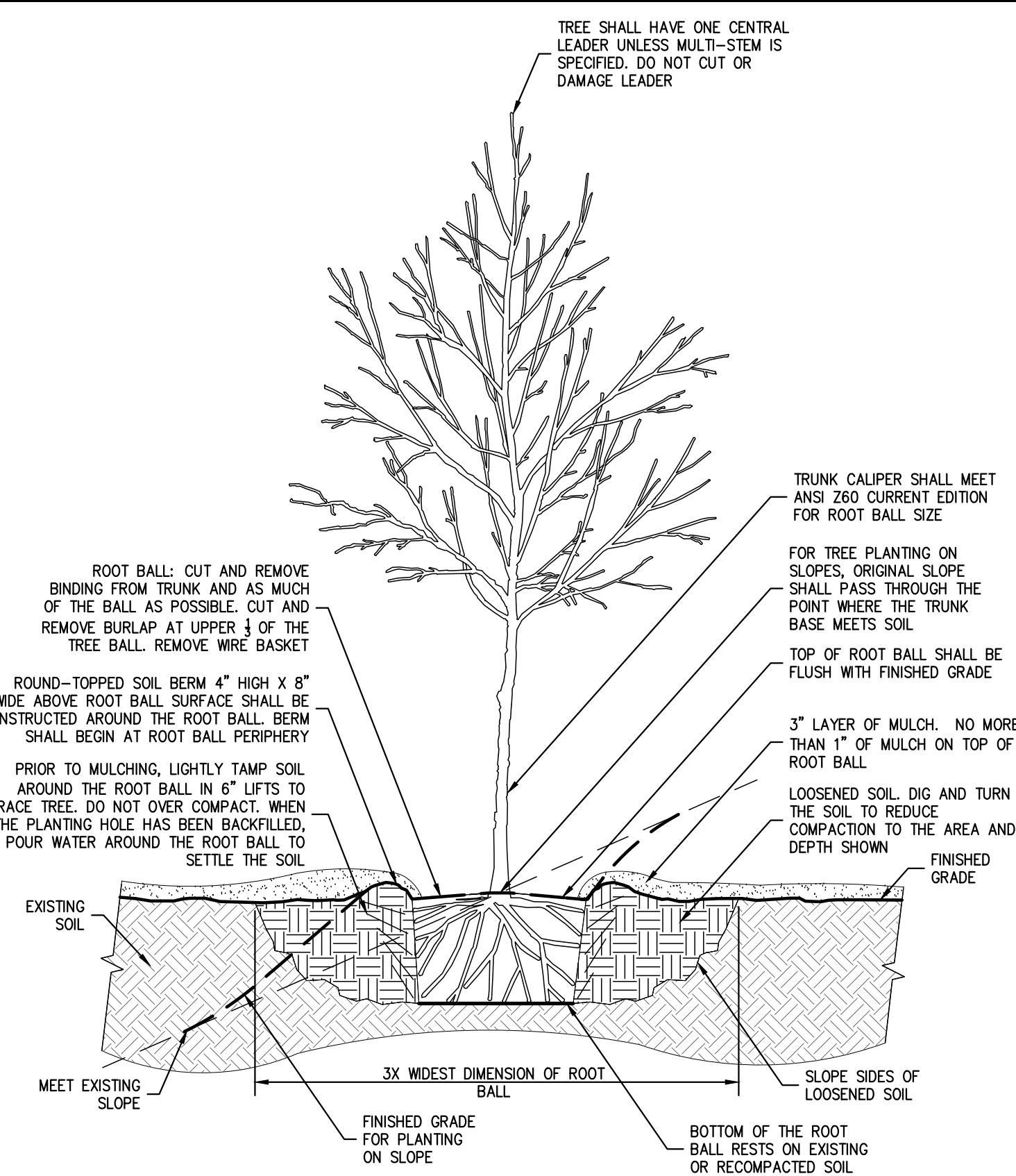


TREE PROTECTION W/ ACCESS ROAD/CONSTRUCTION AREA (DRIPLINE FENCE)

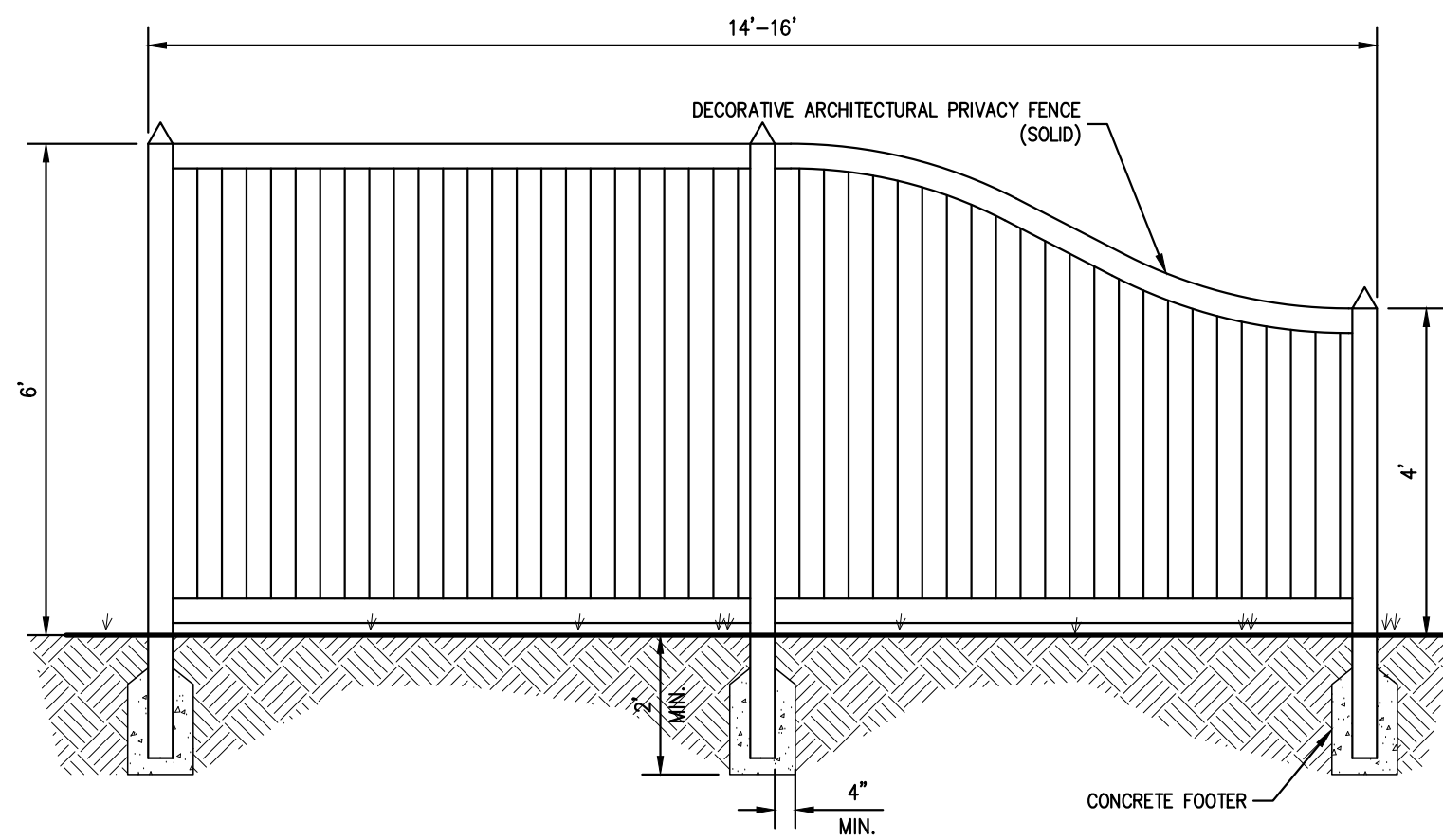
1. SEE SPECIFICATIONS FOR ADDITIONAL TREE PROTECTION REQUIREMENTS.
2. IF THERE IS NO EXISTING IRRIGATION, SEE SPECIFICATIONS FOR WATERING REQUIREMENTS.
3. NO FURNISH SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
4. NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
5. SEE SITE PLANS FOR IDENTIFICATIONS, LOCATIONS OF INDIVIDUAL TREES TO BE PROTECTED.
6. ALL EXCAVATION WITHIN THE CROWN/OUTLINE OF ANY TREE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE PROJECT LANDSCAPE ARCHITECT OR PROFESSIONAL ARBORIST. SPECIAL MEASURES, SUCH AS THE USE OF AN AIR SPADE MAY BE REQUIRED.
7. THE CONTRACTOR MAY PROPOSE THE USE OF ENGINEERED MATTING OR OTHER ENGINEERED PRODUCTS IN LIEU OF MULCH, WHICH SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF ALL AUTHORITIES HAVING JURISDICTION.



- NOTES:**
1. ALL PLANTING BEDS SHALL BE FREE OF WEEDS AND GRASS PRIOR TO AND FOLLOWING INSTALLATION OF PLANTS.
  2. PLANTS IN CONTAINERS MUST HAVE THE FIBROUS ROOTS PULLED APART.
  3. PROPOSED PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.



- NOTES:**
1. ALL PLANTING BEDS SHALL BE FREE OF WEEDS AND GRASS PRIOR TO AND FOLLOWING INSTALLATION OF PLANTS.
  2. PLANTS IN CONTAINERS MUST HAVE THE FIBROUS ROOTS PULLED APART.
  3. PROPOSED PLANT MATERIAL SHALL BEAR THE SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.
  4. SEE TREE STAKING DETAIL IF STAKING IS REQUIRED.



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Scale	NOT TO SCALE		
Date	04/23/2025		
Project No.	23109		
3309-DETAILS	L-900		-
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