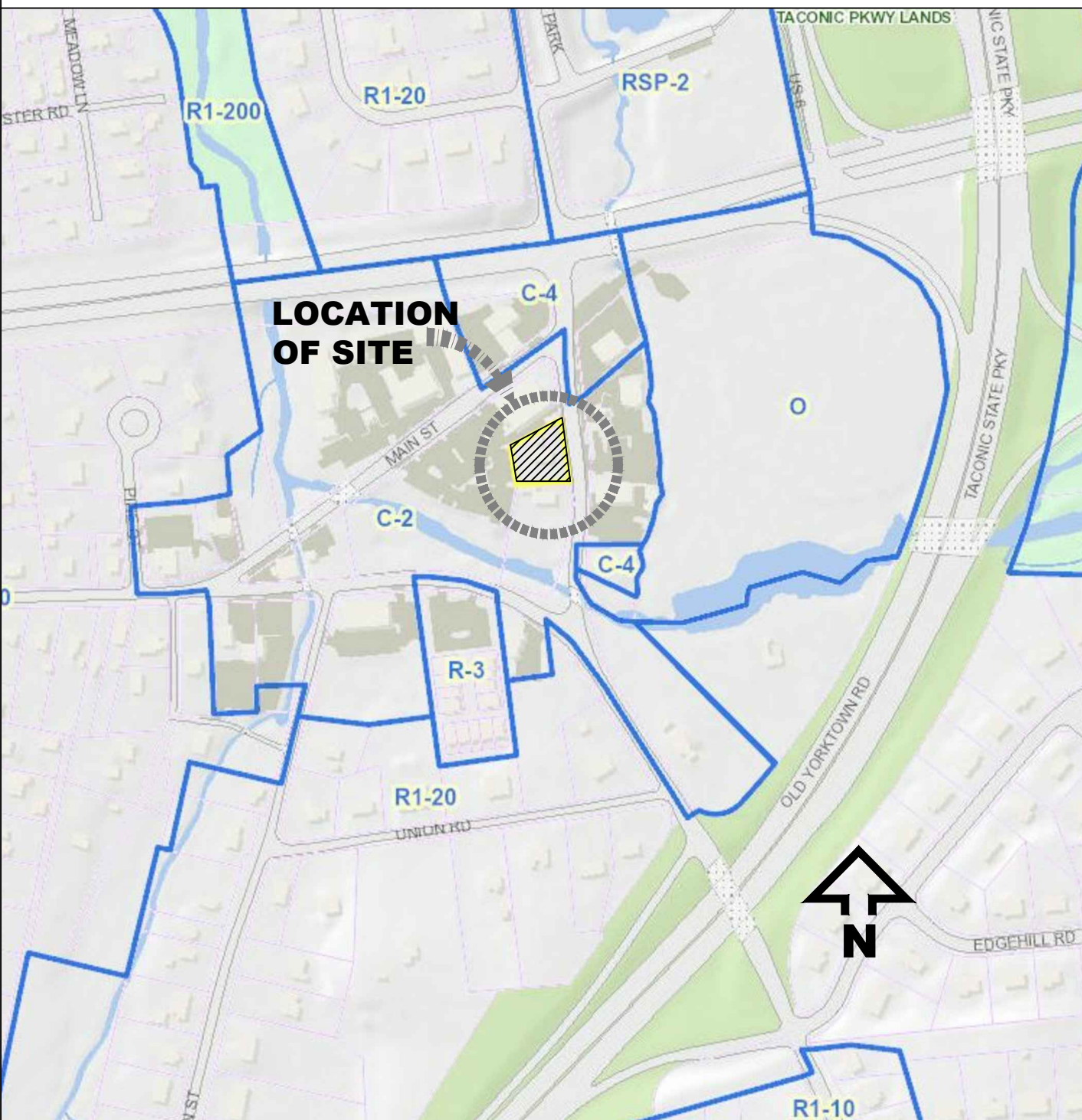


ZONING INFORMATION		ZONE: C-2 (LOT AREA: 13,111.0 SF. - 0.316 ACRES) EXIST'G. OCCUPANCY (USE) : ONE FAMILY DWELLING PROPOSED OCCUPANCY (USE) : BUSINESS (RETAIL STORE) CONSTRUCTION TYPE: III A	
LOT: 2 BLOCK: 1			
ITEM	REQ'D/ALLOWED	PROPOSED	REMARKS
LOT AREA	NONE	13,111.0 SQ.FT.	
LOT WIDTH AT FRONT LINE OF MAIN BLDG.	25 FT	141.0 FT	
LOT DEPTH	NONE	120.0 FT	
FRONT YARD	MAIN BUILDING	15 FT WITHOUT PARKING 15 FT WITH PARKING	20.0 FT
	ACCESSORY BLDG	50 FT	N/A
SIDE YARD	MAIN 4 ACCESSORY BUILDINGS	NONE, BUT IF PROVIDED SHALL BE 10FT; IF USED AS ONE-WAY VEHICULAR ACCESS, SHALL BE 11 FT. TWO-WAY SHALL BE 25 FT.	18.50 FT - ONE SIDE 45.14 FT - BOTH SIDES
REAR YARD	MAIN BUILDING	30 FT	65.33 FT
	ACCESSORY BLDG	30 FT	N/A
MAXIMUM HEIGHT	MAIN BUILDING	35 FT	15 FT
	ACCESSORY BLDG	20 FT	N/A
MAXIMUM COVERAGE (ALL BUILDINGS)	30%	11.19%	
REQUIRED OFF-STREET PARKING	4 SPACES PER 1000 SF. OF GROSS FLOOR AREA	(REQ'D 10 SPACES FOR 14500 SF.) PROPOSED: 13 PARKING SPACES: OK	
REQUIRED OFF-STREET LOADING	1 SPACE PER 4000 SF. OF FLOOR AREA	N/A	

ALL CODES AND STANDARDS SHALL BE COMPLIED WITH EXISTING BUILDING CODE OF NEW YORK STATE 2010, NEW YORK STATE MECHANICAL CODE 2010, ELECTRICAL WORK SHALL COMPLY WITH NFPA-70-05. AND CITY OF MOUNT VERNON ZONING CODE.



SITE PLAN
3/32"=1'-0"



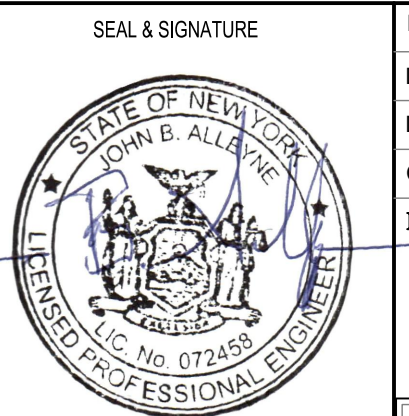
3665 BARGER STREET, SHRUB OAK NY 10588
ZONE: C-2 BLOCK: 1
SECTION: 16.07 LOT: 2

**158 DRAKE AVENUE - SUITE # 12
NEW ROCHELLE - NEW YORK 1080**

PROJECT
NEW BUILDING

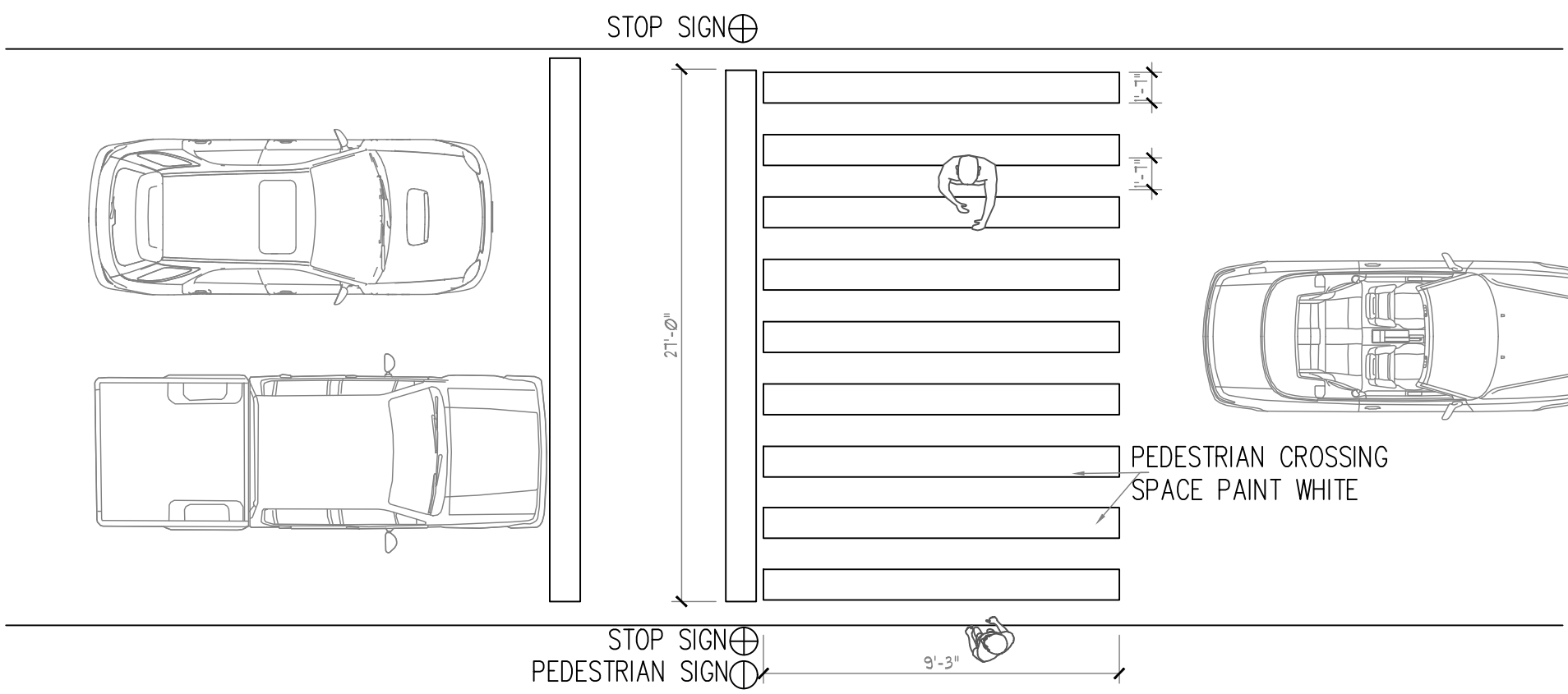
3665 BARGER STREET, SHRUB OAK NY 10588
ZONE: C-2 BLOCK: 1
SECTION: 16.07 LOT: 2

PLOT PLAN
ZONING DATA
LOCATION MAP

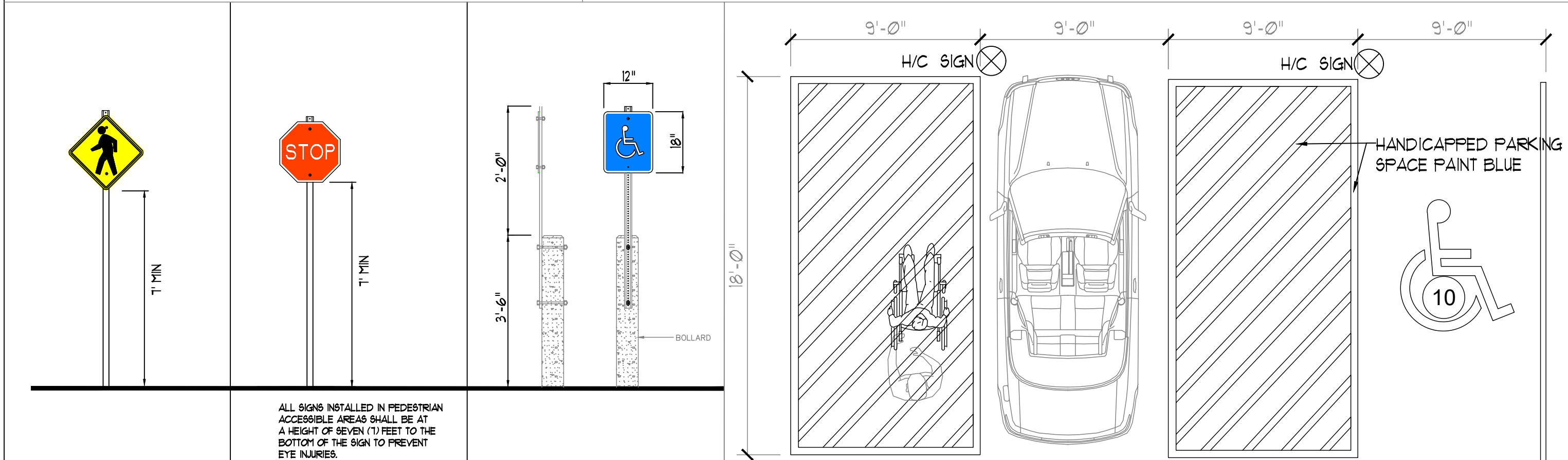


PROJECT No: 238-2024
DATE: 01-30-2024
DRAWING BY: J.T.
CKD BY: .P.K.
DWG No:
A-001.00

1. THE CONTRACTOR SHALL BE LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWING.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND OF CITY OF YONKERS .
4. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE LANDSCAPE ARCHITECT OF EQUAL.
5. ALL PLANTS SHALL BE BAILED AND WRAPPED OR CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOT BOUND.
6. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AND TIME OF PLANTING
7. WHIT CONTAINER GROWN STOCK THE CONTAINER GROWN STOCK, THE CONTAINER BALL SHALL BE CUT THOUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
8. THE DAY PRIOR TO PLANTING THE LOCATION OF ALL TREES AND SHRUBS SHALL E STACKED FOR APPROVAL BYE THE PROJECT LANDSCAPE ARCHITECT OR EQUAL
9. ALL PLANT MATERIAL SHALL BE SELECTED AT THE NURSERIES BY THE PROJECT AND LANDSCAPE ARCHITECT OR EQUAL.
10. ALL PLANTS SHALL BE SPRAYED WITH AN ANTIDESSICANT WITHIN 24 HOURS AFTER PLANTING IN TEMPERATE ZONES, ALL PLANT SHALL BE SPRAYED WITH AN ANTIDESSICANT ALL THE BEGINNING OF THE FIRST WINTER.
11. ALL PLANTS SHALL BE INSTALLED AS PER DETAILS AND THE CONTRACT SPECIFICATIONS.
12. ALL PLANTS AND SLAKES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED.
14. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24 HOURS PERIOD AFTER PLANTING.
15. ALL PLANTS SHALL BE WATERED WEEKLY IF NECESSARY DURING THE FIRST GROWING SEASON
- 16 THE LANDSCAPE CONTRACTOR SHALL BE REFER TO THE CONTRACT SPECIFICATIONS FOR ADDITIONAL REQUIREMENT.
17. THE LANDSCAPE CONTRACTOR SHALL REFER TO THE PLANT LIST FOR SEASONAL REQUIREMENTS RELATED TO THE TIME OF PLANTING.

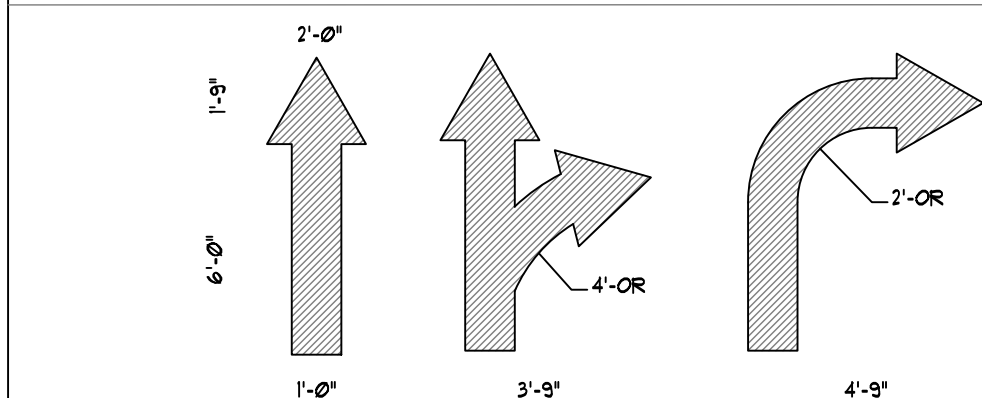


PEDESTRIAN CROSSING DETAIL
SCALE: 1/8"=1'-0"



PEDESTRIAN SIGNAL	STOP SIGNAL
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SIGNALS DETAILS



1. ALL FLOW ARROWS TO BE SOLID YELLOW REFLECTIVE TRAFFIC PA
AS PER DIMENSIONS SHOWN
2. REVERSE ARROWS FOR OPPOSITE DIRECTIONS OF FLOW

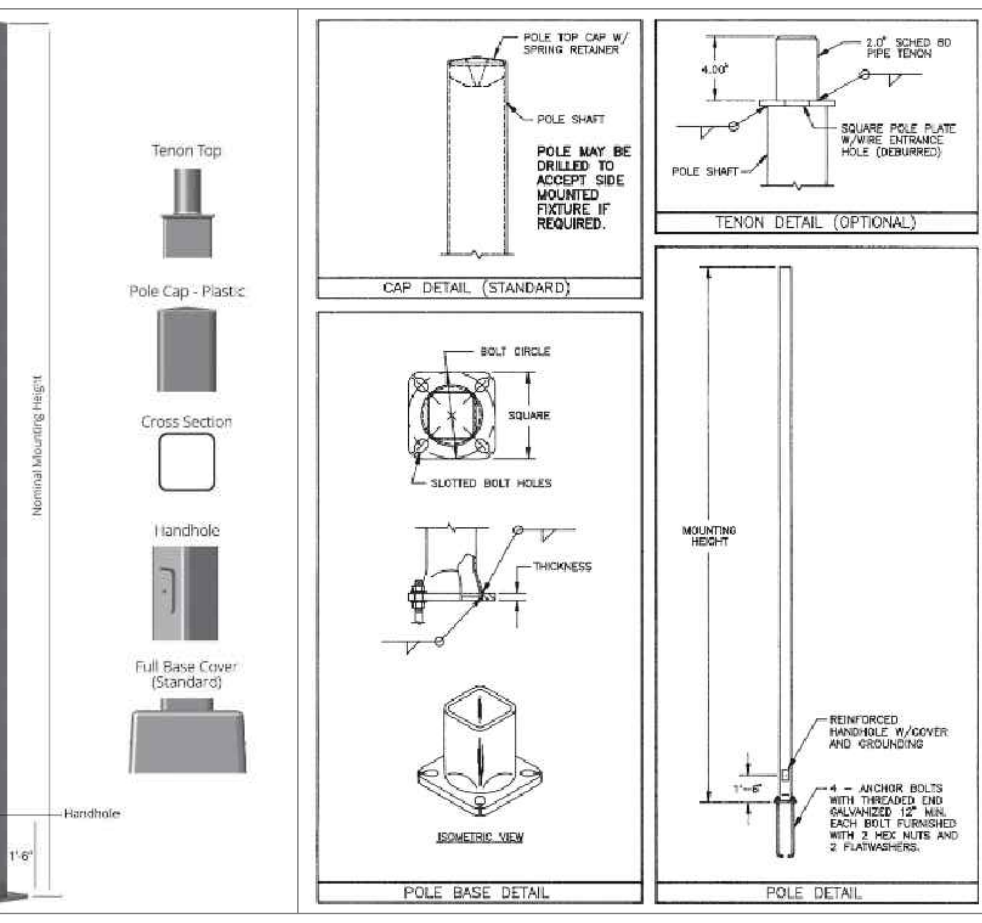
PAINTED TRAFFIC ARROWS

H/C PARKING DETAIL
SCALE: 3/16"=1'-0"

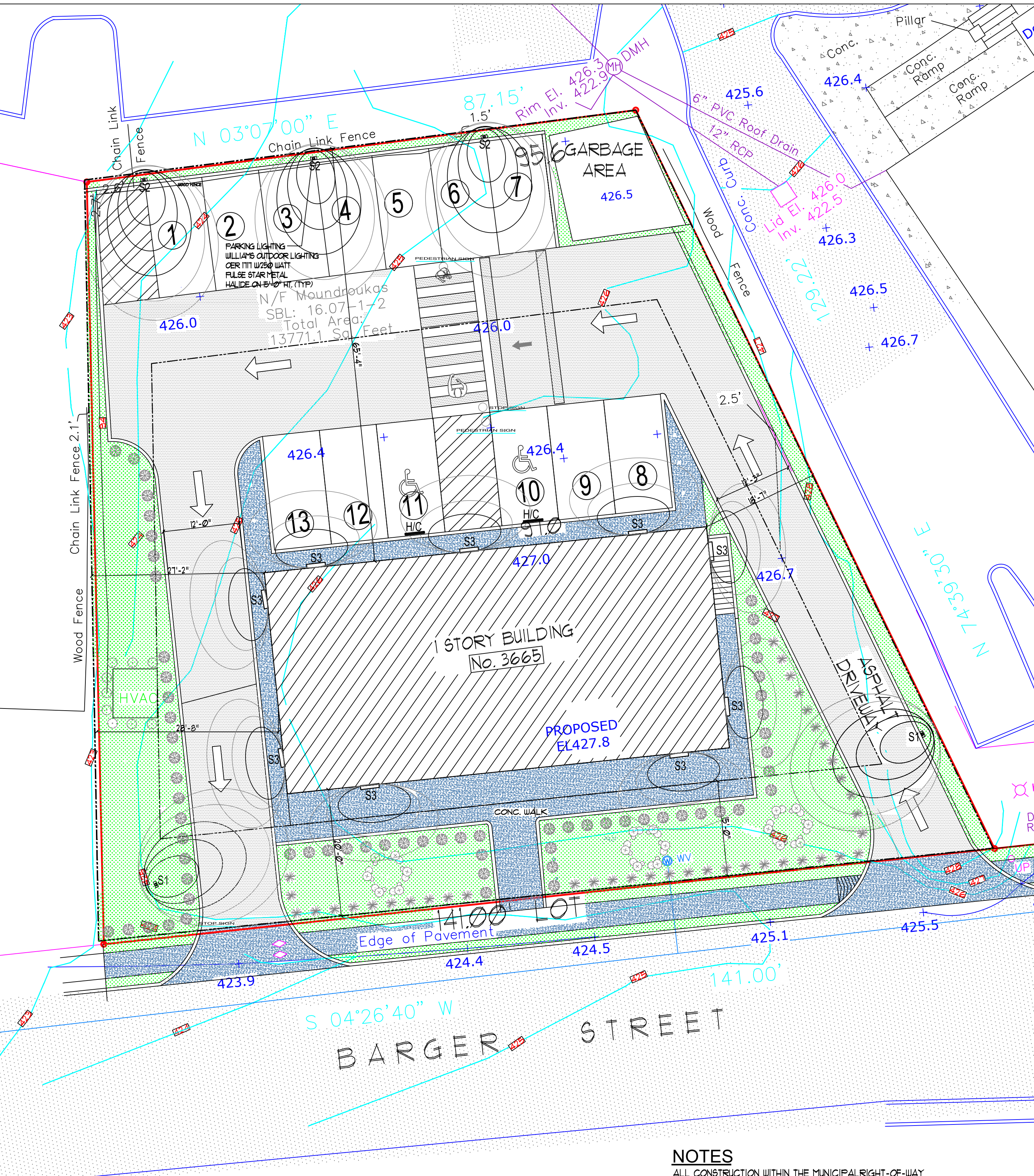


 S 1	01 UNIT	 S 2	02 UNITS	 S 3	05 UNITS
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LANDSCAPE PLAN
1/16"=1'-0"



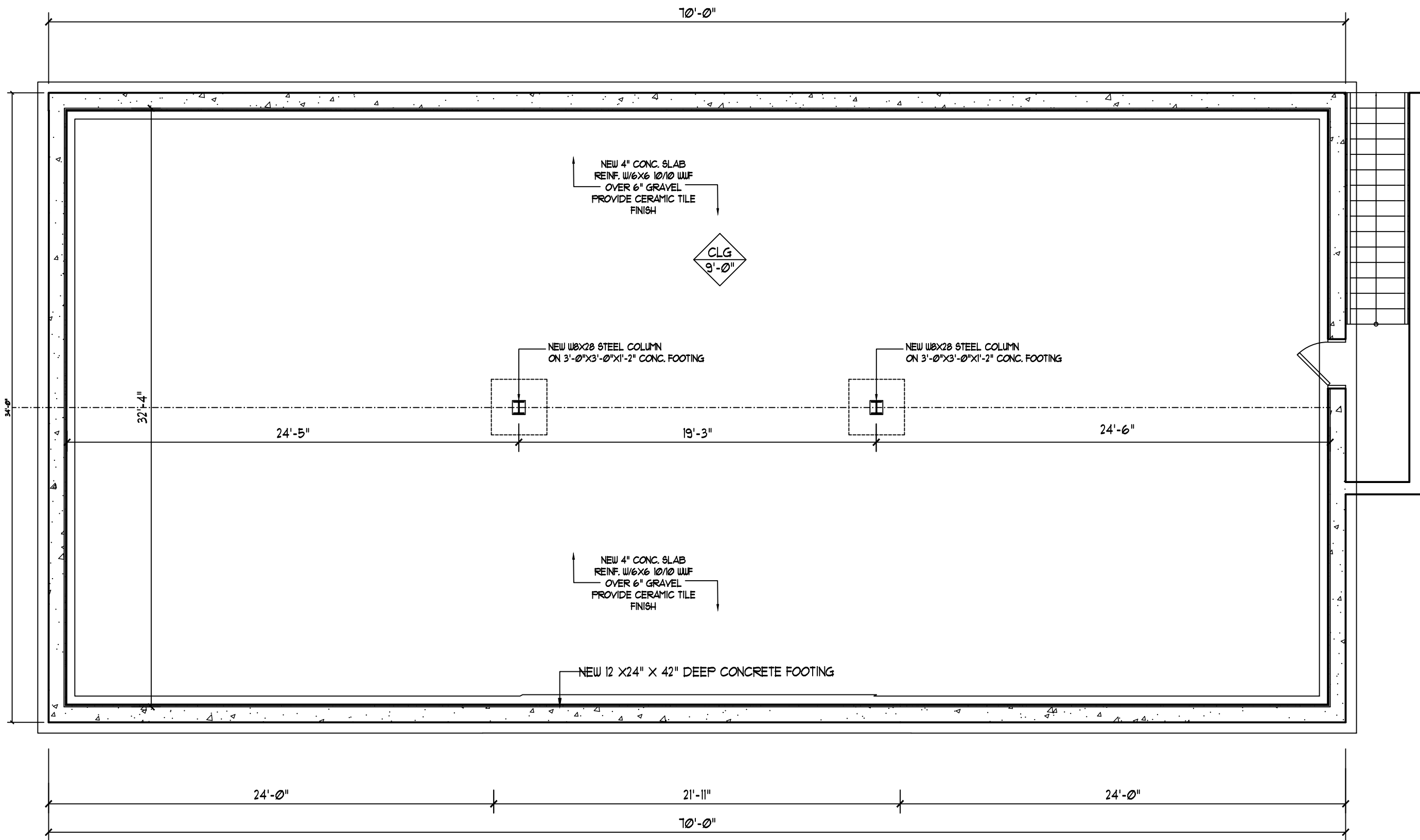
SQUARE STEEL LIGHT POLE



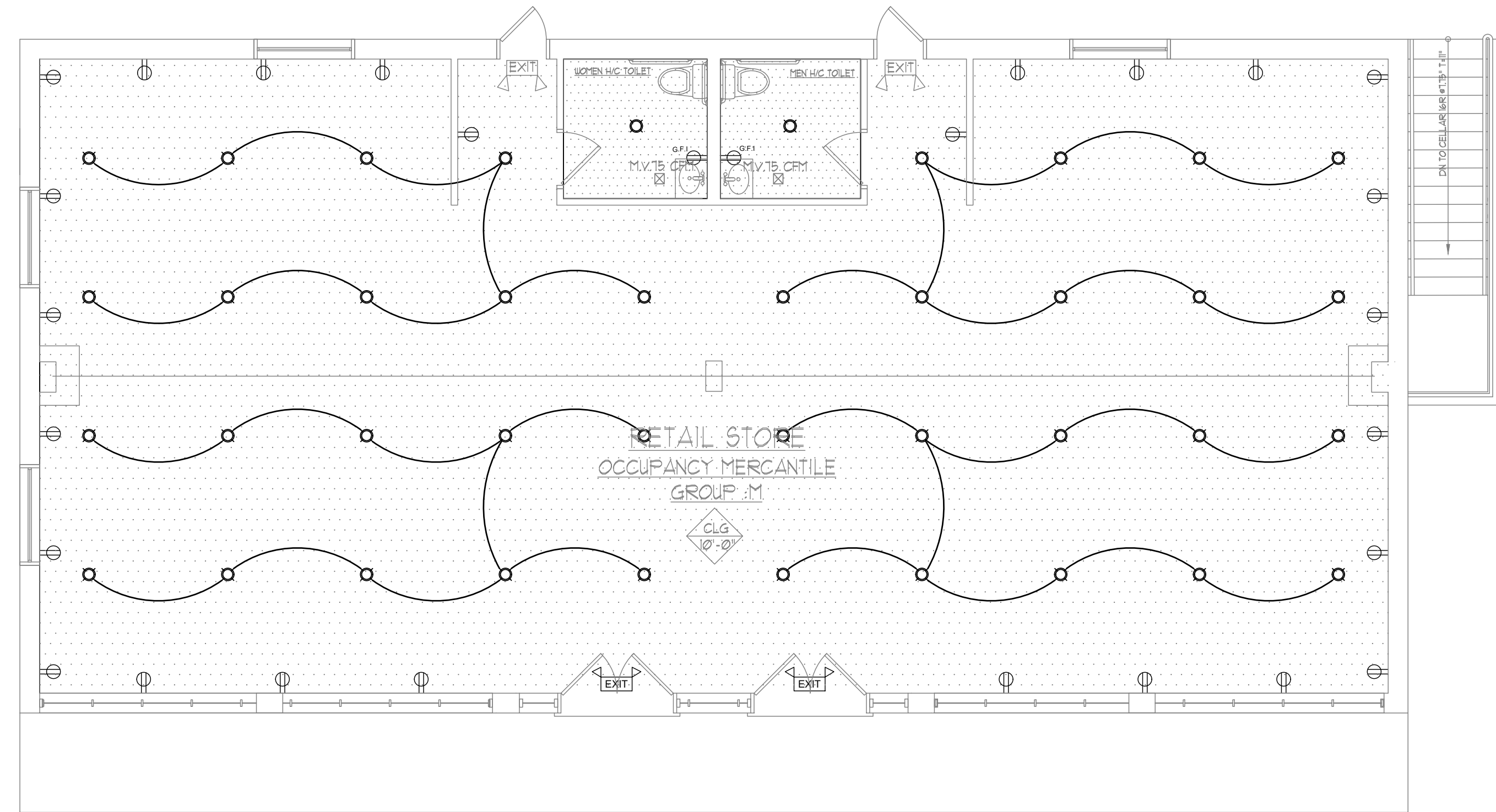
ALL CONSTRUCTION WITHIN THE MUNICIPAL RIGHT-OF-WAY
MUST CONFORM WITH DFW STANDARDS
ALL LANDSCAPING MUST BE PLANTED ENTIRELY ON PRIVATE PROPERTY
THE SURVEYOR MUST STAKE OUT THE PROPERTY LINES TO ENSURE THAT.

CURB CUT DETAIL

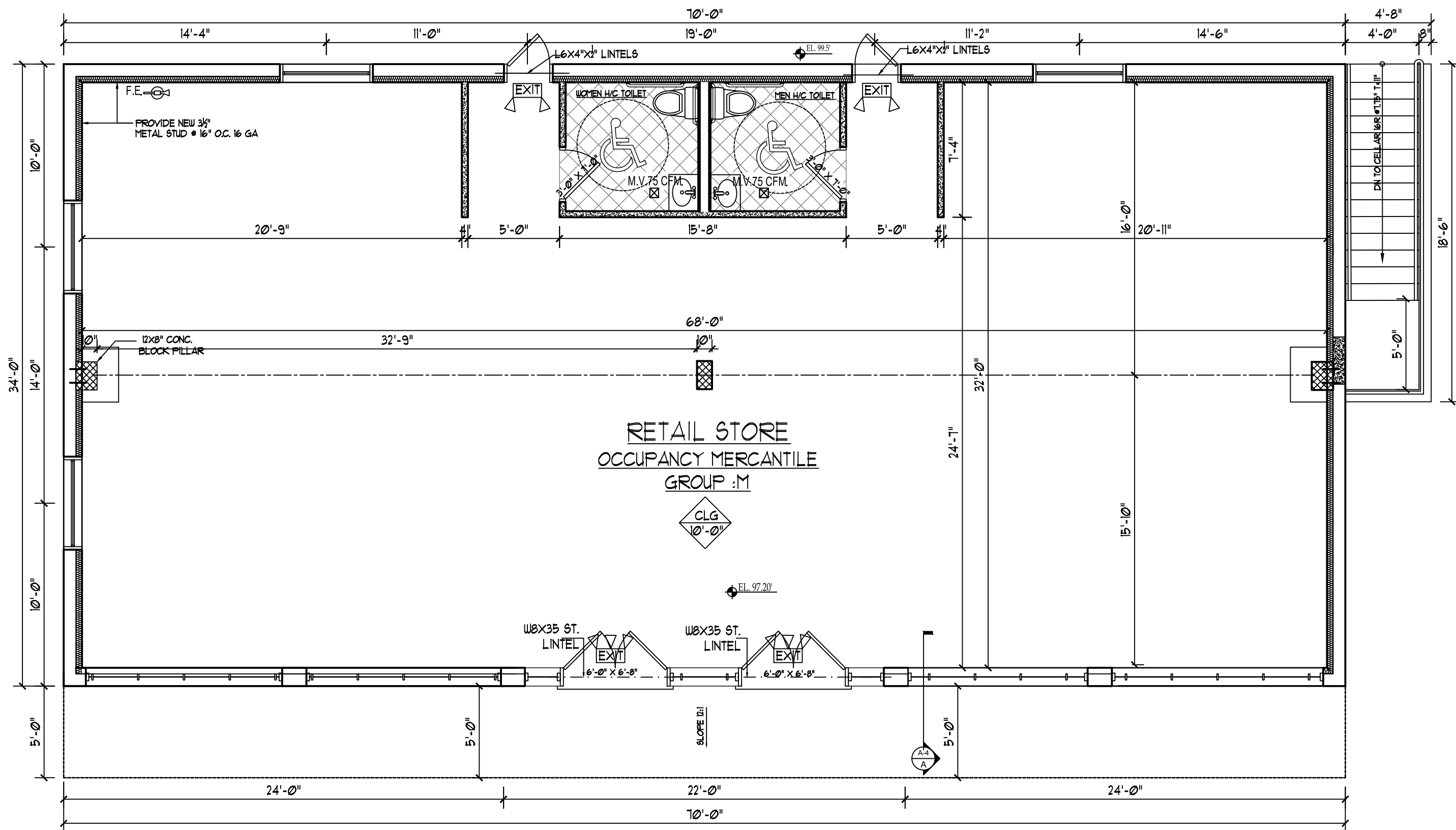
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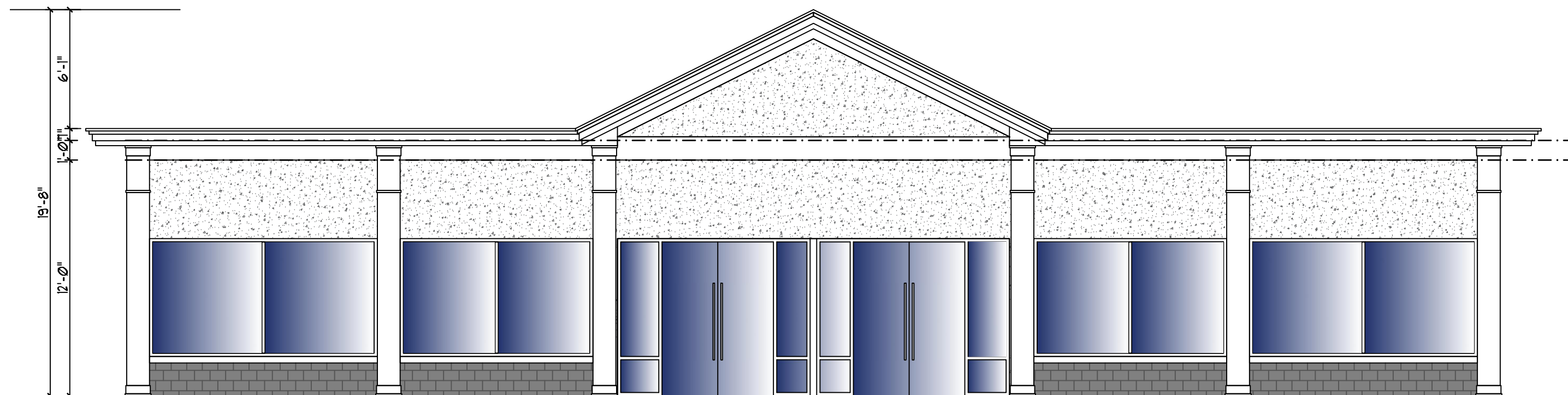
BASEMENT FLOOR PLAN
3/16" = 1'-0"



1ST FLOOR ELECTRICAL PLAN
3/16" = 1'-0"



1ST FLOOR PLAN
3/16" = 1'-0"



FRONT ELEVATION
3/16" = 1'-0"

ZONING DATA

3665 BARGER STREET, SHRUB OAK NY 10588
ZONE: C-2 BLOCK: 1
SECTION: 16.07 LOT: 2

LEGEND

ELECTRICAL LEGENDS	
Ⓜ	PHONE OUTLET
Ⓜ	WATER PROTECTED RECEPTACLE GFCI
Ⓜ	20A FAULT INTERRUPT (GFI)
Ⓜ	DUPLEX RECEPTACLE
Ⓜ	SINGLE POLE SWITCH
Ⓜ	TRIPLE POLE SWITCH
Ⓜ	T.V. RECEPTOR
Ⓜ	CEILING FIXTURE - MOUNTED LIGHT
Ⓜ	WALL FIXTURE
Ⓜ	FLUORESCENT FIXTURES

NOTE

B E C A L L
ENGINEERING SERVICES

158 DRAKE AVENUE - SUITE # 12
NEW ROCHELLE - NEW YORK 10801

OWNER

MOUDROUKAS VICKI

PROJECT

NEW BUILDING

3665 BARGER STREET, SHRUB OAK NY 10588
ZONE: C-2 BLOCK: 1
SECTION: 16.07 LOT: 2

DRAWING LIST

BASEMENT FLOOR PLAN
FIRST FLOOR PLAN
FIRST FLOOR ELECTRICAL PLAN
FRONT ELEVATION

SEAL & SIGNATURE



PROJECT No: 238-2021
DATE: 01-30-2024
DRAWING BY: J.T.
CKD BY: P.K.
DWG No:
A-003.00

DWG FILE No: 3 of 4



FRONT VIEW
N.T.S



LEFT SIDE VIEW
N.T.S



TOP VIEW
N.T.S



RIGHT SIDE VIEW
N.T.S



REAR VIEW
N.T.S

ZONING DATA	
3665 BARGER STREET, SHRUB OAK NY 10588	
ZONE: C-2	BLOCK: 1
SECTION: 16.07	LOT: 2
LEGEND	
NOTE	
BECAILL ENGINEERING SERVICES	
158 DRAKE AVENUE - SUITE # 12 NEW ROCHELLE - NEW YORK 10801	
OWNER	
MOUNDRUKAS VICKI	
PROJECT	
NEW BUILDING	
3665 BARGER STREET, SHRUB OAK NY 10588	
ZONE: C-2	BLOCK: 1
SECTION: 16.07	LOT: 2
DRAWING LIST	
3D BUILDING VIEWS	
SEAL & SIGNATURE	PROJECT No: 238-2021
STATE OF NEW YORK JOHN B. ALLAMANO REGISTERED PROFESSIONAL ENGINEER EXP. No: 072450	DATE: 01-30-2024
	DRAWING BY: J.T.
	CKD BY: P.K.
	DWG No: A-004.00
CAD FILE No:	4 of 4