

3665 BARGER STREET, SHRUB OAK, NY 10588

CONSTRUCTION OF NEW BUILDING

TAX ID(S): 16.07 - 1 - 2

SURVEY/ PLAT PREPARED BY:



Ward Carpenter Engineers, Inc.
76 Mamaroneck Ave
White Plains NY 10601
(914) 949-6000 Office
(914) 949-1655 Fax

SURVEY NOTES:

-ALL SURVEY AND TOPOGRAPHY DATA WAS PROVIDED BY WARD CARPENTER ENGINEERS INC.

ENGINEER:

GREGORY CACCIOPPOLI, P.E.
441 CENTRAL PARK AVE. STE 1238
SCARSDALE, NY 10583
NYS LIC. NO. 105839

3665 BARGER STREET

OWNER: MOUNDROUKAS VICKI
3665 BARGER ST
SHRUB OAK, NY 10588

TAX MAP PARCEL ID: 16.07 - 1 - 2

LOT SIZE: 13,771 SF, ACRES= 0.32 AC +/-

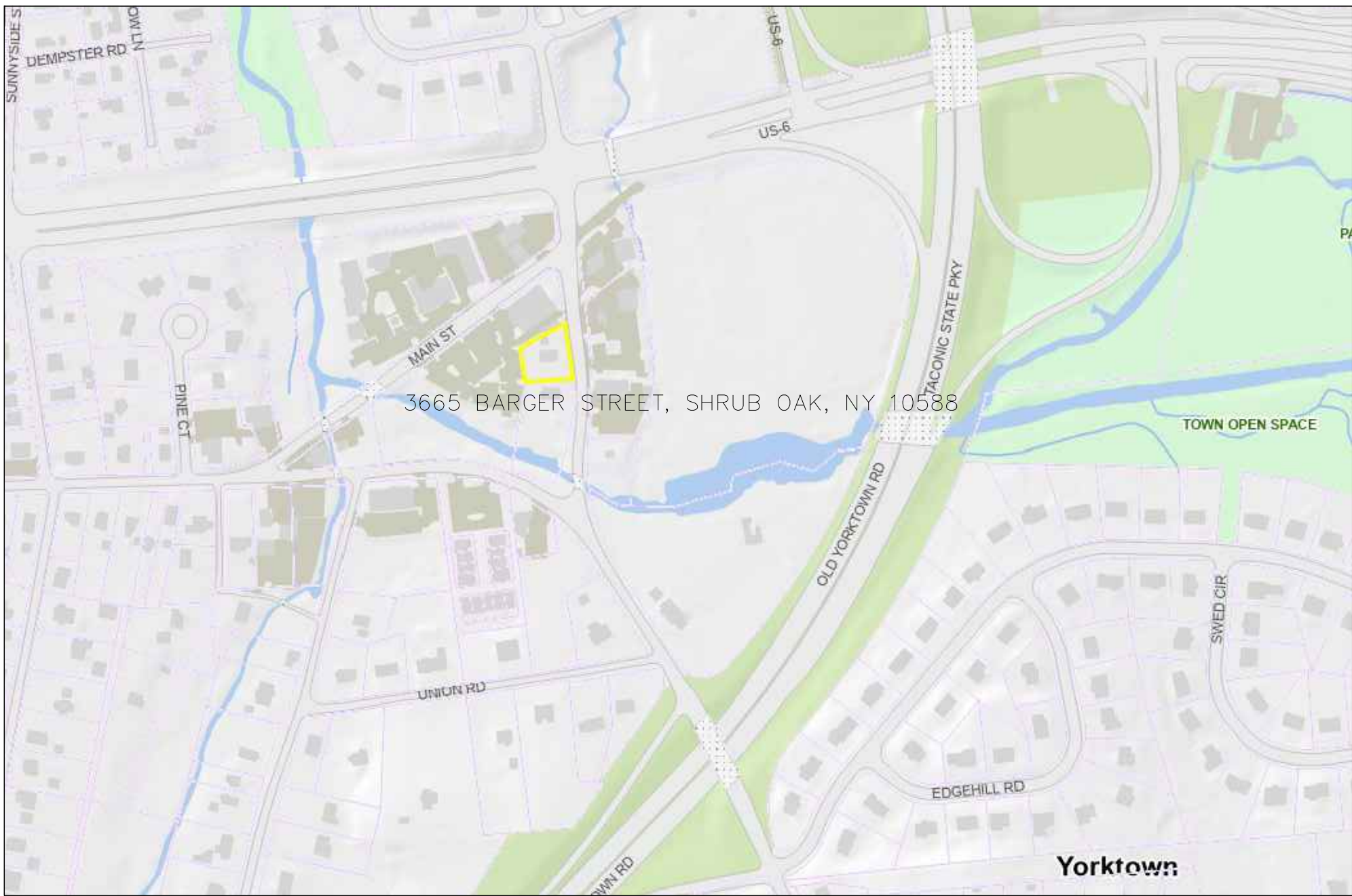
ZONING: (C-2)

DRAWING LIST

- TITLE SHEET - SHEET 1 OF 7
- EXISTING CONDITIONS / REMOVALS & STEEP SLOPES - SHEET 2 OF 7
- PROPOSED CONDITIONS / SITE PLAN - SHEET 3 OF 7
- EROSION CONTROL / GRADING PLAN - SHEET 4 OF 7
- UTILITY PLAN & PROFILE - SHEET 5 OF 7
- UTILITY DETAILS - SHEET 6 OF 7
- DRIVEWAY PLAN & PROFILE - SHEET 7 OF 7



TAX MAP



	CRC Commercial Regional Center	C-1 Business	C-2 Business	C-3 Business	C-4 Business	Commercial Recreation	OB-1 Lab Office	O Offices ¹²
Lot area (square feet)	Building in accordance with a plan of development as approved by the Town Board in accordance with the standards set forth in § 300-86	80,000	None	10,000	None	10,000	Building in accordance with a plan of development as approved by the Planning Board in accordance with the standards set forth in Article XI	None
Lot width at front line of main building		175	25	100	25	25		25
Lot depth		175	None	None	100	None		None
Front yard:								
Main building	-	15 without parking; 75 with parking	15 without parking; 75 with parking	30 without parking; 75 with parking	15 75 with parking	25 without parking; 75 with parking		15 without parking; 75 with parking
Accessory building	-	50	50	50	15	25		50
Side Yard:								
Main and accessory buildings	-	None, but if provided shall be 10 feet; if used as one-way vehicular access, shall be 17 feet; two-way vehicular access, 25 feet; if adjoins an R District, shall be 50 feet.				-		None, but if provided shall be 10 feet; if used as one-way vehicular access, shall be 17 feet; two-way vehicular access, 25 feet; if adjoins an R District, shall be 50 feet
Rear yard:								
Main building	-	30; if adjoins R District, 75	30	30	30	30		30
Accessory building	-	10; if adjoins R District, 50	30	30	30	30		30
Maximum height:								
Main building	-	30	35	35	35	35		35
Accessory building	-	20	20	20	20	20		20
Maximum coverage (all buildings)	-	30%	30%	30%	30%	25%		30%
Required off-street parking ¹	Spaces as required by § 300-89	Spaces as required by § 300-182						
Required off-street loading	Spaces as required by § 300-89	Space as required by § 300-186						

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.

ENGINEER:
GREGORY CACCIOPPOLI, P.E.
441 CENTRAL PARK AVE. STE 1238
SCARSDALE, NY 10583

TITLE SHEET

PROJECT:
CONSTRUCTION OF NEW BUILDING
3665 BARGER STREET, SHRUB OAK, NY 10588

THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEER'S SEAL & SIGNATURE

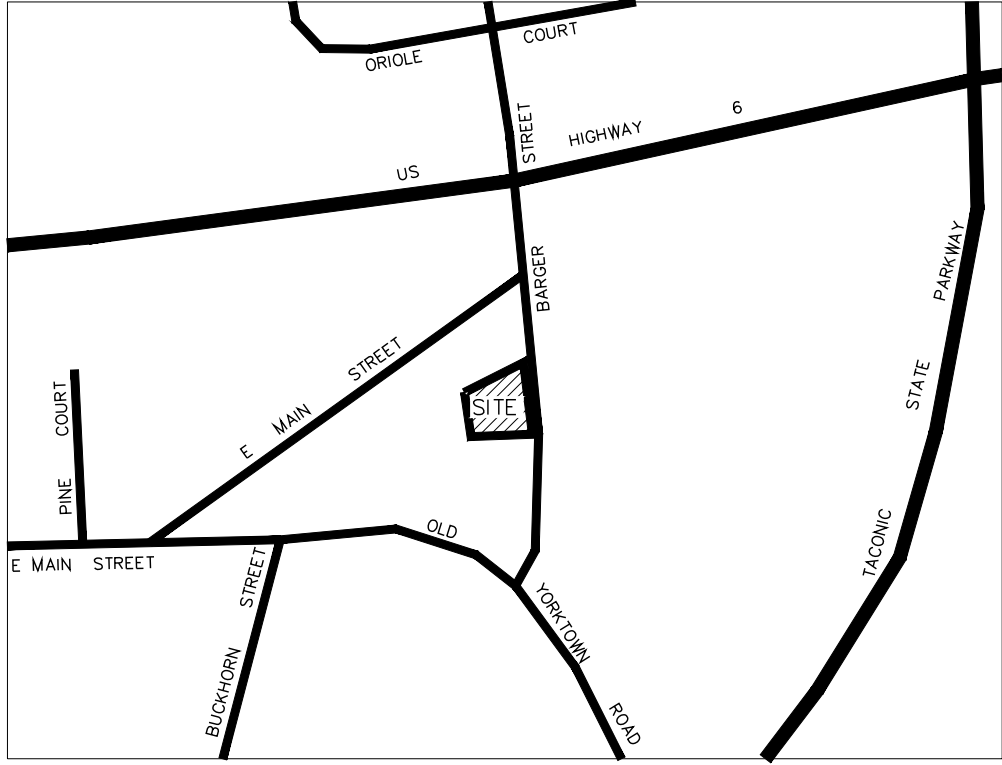
No.

Description

Date

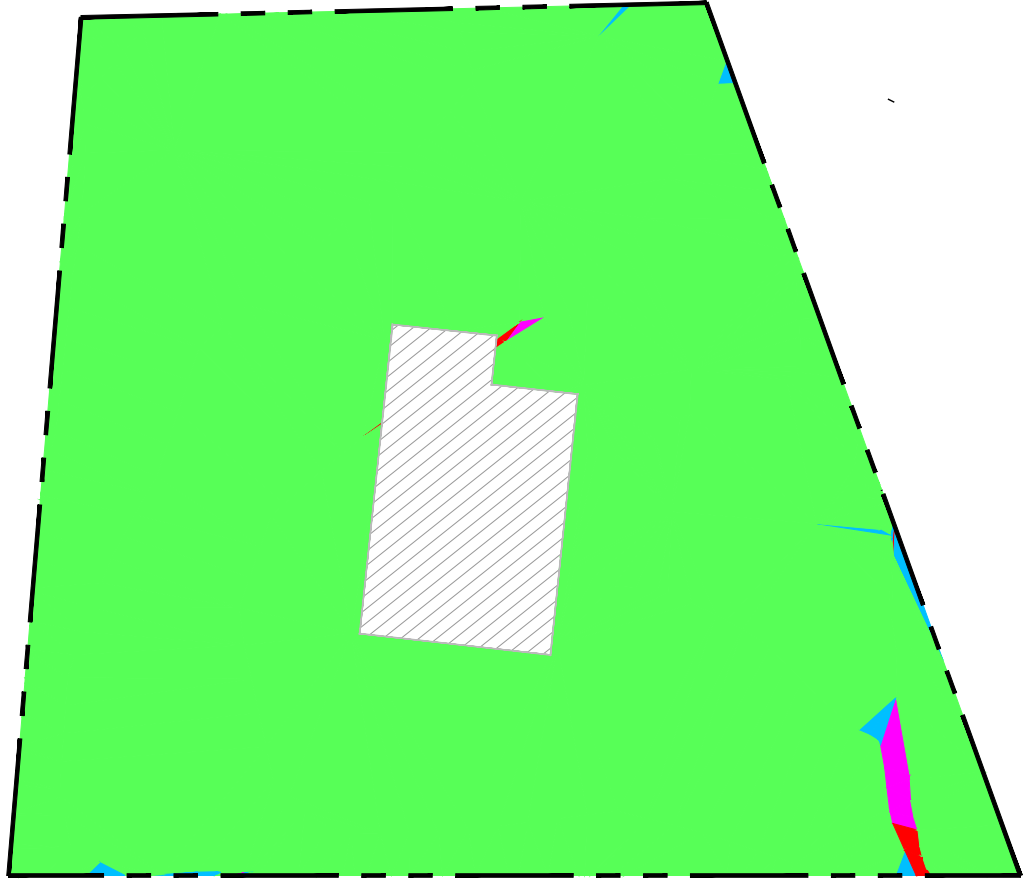
STATE OF NEW YORK
GREGORY J. CACCIOPPOLI
105839
LICENSED PROFESSIONAL ENGINEER

Date: 10/15/24
Scale: AS SHOWN
Designed By: GC
Checked By: GC
Page No. 1/7

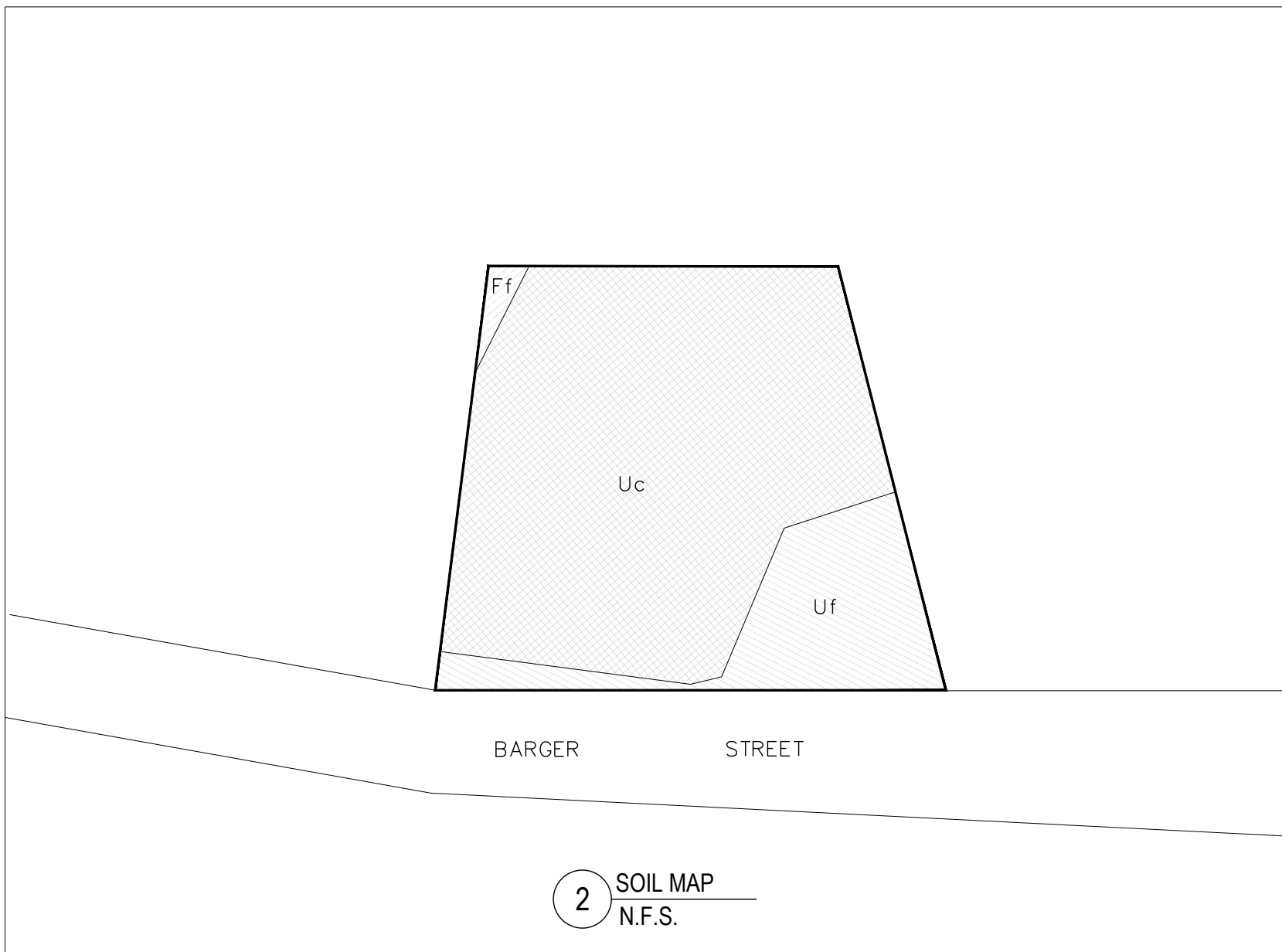


Vicinity Map
1"=800'-±

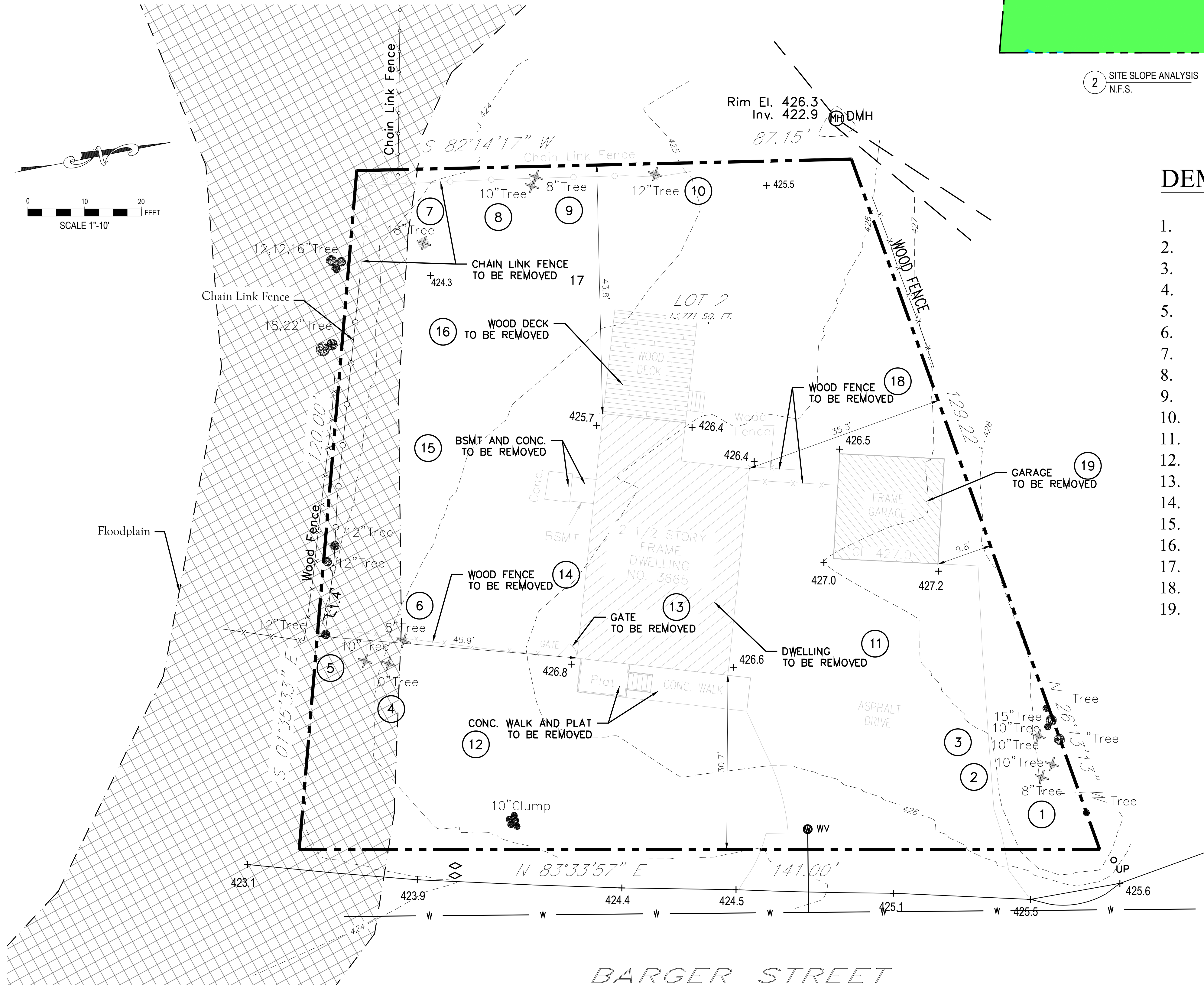
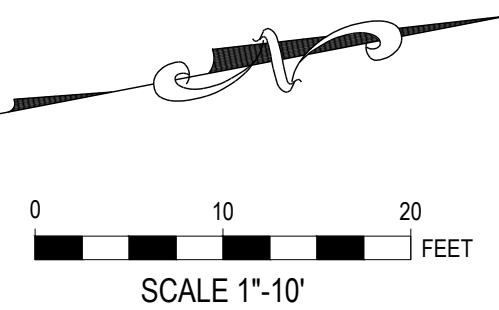
Slopes Table				
Number	Minimum Slope	Maximum Slope	Color	AREA, SQ.FT.
1	0.00%	15.00%	Green	17891.6
2	15.00%	25.00%	Blue	237.1
3	25.00%	35.00%	Purple	177.7
4	35.00%	100.00%	Red	130.6



2 SITE SLOPE ANALYSIS
N.F.S.



2 SOIL MAP
N.F.S.



DEMOLITION SCHEDULE:

- 8" TREE TO BE REMOVED
- 10" TREE TO BE REMOVED
- 10" TREE TO BE REMOVED
- 10" TREE TO BE REMOVED
- 10" TREE TO BE REMOVED
- 8" TREE TO BE REMOVED
- 18" TREE TO BE REMOVED
- 10" TREE TO BE REMOVED
- 8" TREE TO BE REMOVED
- 12" TREE TO BE REMOVED
- DWELLING TO BE REMOVED
- CONC. WALK AND PLAT TO BE REMOVED
- GATE TO BE REMOVED
- WOOD FENCE TO BE REMOVED
- BSMT AND CONC. TO BE REMOVED
- WOOD DECK TO BE REMOVED
- CHAIN LINK FENCE TO BE REMOVED
- WOOD FENCE TO BE REMOVED
- GARAGE TO BE REMOVED

GENERAL NOTES:

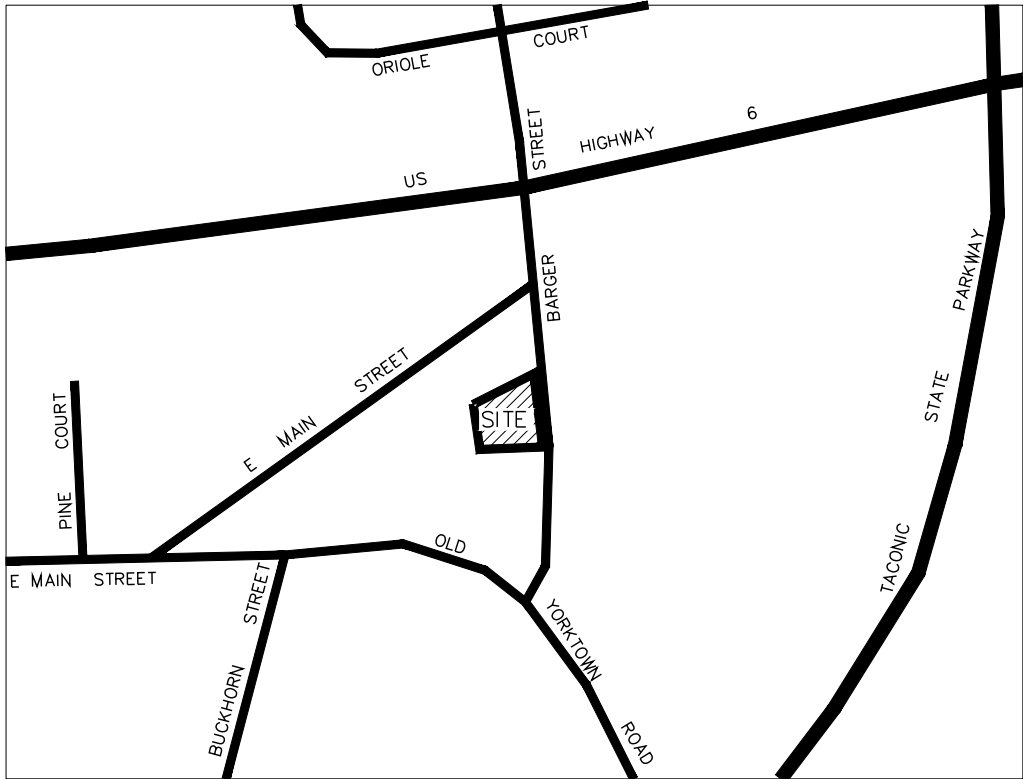
- The design engineer shall not be responsible for the supervision of the construction of structures.
- No changes shall be made to these plans except as per NYC law chapter 987.
- All work and materials shall comply with all applicable codes, including but not limited to ACL, AISI, Zoning, and the New York State Building Code.
- All conditions, locations and dimensions shall be field verified and the engineer shall be immediately notified of any discrepancies.
- All changes made to the plans shall be approved by the engineer and any such changes shall be filed as amendments to the original building permit.
- The contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences and procedures and for coordinating all portions of the work under the contract.
- The contractor shall be responsible to the owner for the acts and omissions of his employees, subcontractors and their agents and employees, and other persons performing any of the work under a contract with the contractor.
- Safety during construction shall be the responsibility of the contractor and shall conform to all local, state and federal agencies in effect during the period of construction.
- The contractor and his subcontractors shall make application to receive all necessary permits to perform the work under contract. The contractor and his subcontractors shall be licensed to do all work as required by the local, county, and state agencies which may have jurisdiction over those trades, and shall present the owner with copies of all licenses and insurance certificates.
- Final grading around the building area shall slope away from the structure.
- All written dimensions on the drawings shall take precedence over any scaled dimensions.
- Adjoining public and private property shall be protected from damage during construction, remodeling and demolition work. Protection must be provided for footings, foundations, party walls, chimneys, and roofs. Provisions shall be made to control water runoff and erosion during construction or demolition activities. The person making or causing an excavation to be made shall provide written notice to the owners of adjoining buildings advising them that the excavation is to be made and that the adjoining building should be protected. Soil notification shall be delivered not less than 10 days prior to the scheduled starting date of the excavation.
- Industrial code rule 753: The contractor shall notify all utility companies 72 hours prior to the start of his operations and shall comply with all the latest industrial code rule 753 regulations.
- All proposed residences shall be located within the building envelope.
- House footprint and location may vary based on model home selection.
- THE LAND OWNER ACKNOWLEDGES AND GRANTS THE VILLAGE AND OTHER AGENCIES HAVING JURISDICTION THE RIGHT TO ENTER THE PROPERTY AT REASONABLE TIMES AND IN A REASONABLE MANNER FOR THE PURPOSE OF INSPECTION.

PROJECT INFORMATION:

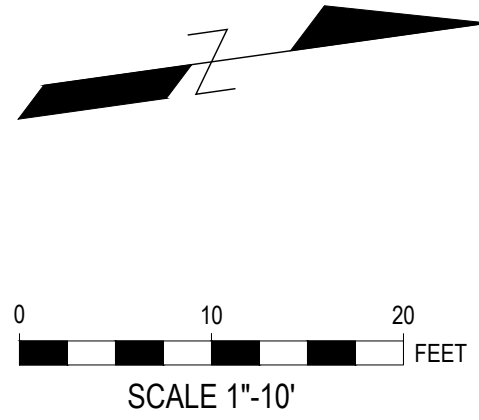
- Owner Information: Moundroikas Vicki
- Owner Address: 3665 Barger Street, Shrub Oak, NY 10588
- Applicant: Same As Engineer
- Property Location: 3665 Barger Street, Shrub Oak, NY 10588
TMDN: Section: 16.07 Block: 1 Lot: 2
Zone: C-2 - Business (Retail Store)
Total Lot Area: 13,771 sqft (0.32 AC)
- Approximate Start Date: October 2024
Approximate Completion Date: May 2025
- Survey & topography data shown hereon provided by Ward Carpenter Engineers Inc. Date: June 29, 2023
- Sewer: Existing Sewer District
- Water: BranchHill Manor Village Water District
Watershed: Pocantico and Saw Mill River Basin
- Soils located on site (USDA Web Soil Survey):
Soils on Site: F1 FLUVAQUENTS-UDIFLUVENTS COMPLEX, FREQUENTLY FLOODED (1.2%)
Uc: UDORTHENTS, WET SUBSTRATUM (78.8%)
Uf: URBAN LAND (20%)
- Excavation equipment stored on site and kept within the disturbed areas.

THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEERS SEAL & SIGNATURE	ENGINEER:	GREGORY CACCIOPPOLI, P.E. 441 CENTRAL PARK AVE. STE 1238 SCARSDALE, NY 10583	
	EXISTING CONDITIONS / REMOVALS & STEEP SLOPES		
	PROJECT:	CONSTRUCTION OF NEW BUILDING 3665 BARGER STREET, SHRUB OAK, NY 10588	
	No.	Description	Date
	Revisions		
	Date: 10/15/24		
	Scale: 1" = 10'		
	Designed By: GC		
	Checked By: GC		
	Page No. 2/7		





Vicinity Map
1"=800'±



CONSTRUCTION PHASING

PHASE I

PRIOR TO TREE REMOVAL OR ANY CLEARING, THE SITE WILL BE SECURED BY INSTALLING SILT FENCE AROUND THE PERIMETER OF THE DISTURBED AREA LIMITS AS SHOWN. TRACKING PAD WILL BE INSTALLED AT THE ROAD ENTRANCE. TO LIMIT THE ADVERSE EFFECT OF DRAINAGE ON ADJOINING PROPERTIES DURING CONSTRUCTION, TREES AND GROUND VEGETATION SHALL REMAIN AND BE PROTECTED UNTIL IT IS NECESSARY FOR REMOVAL.

PHASE II

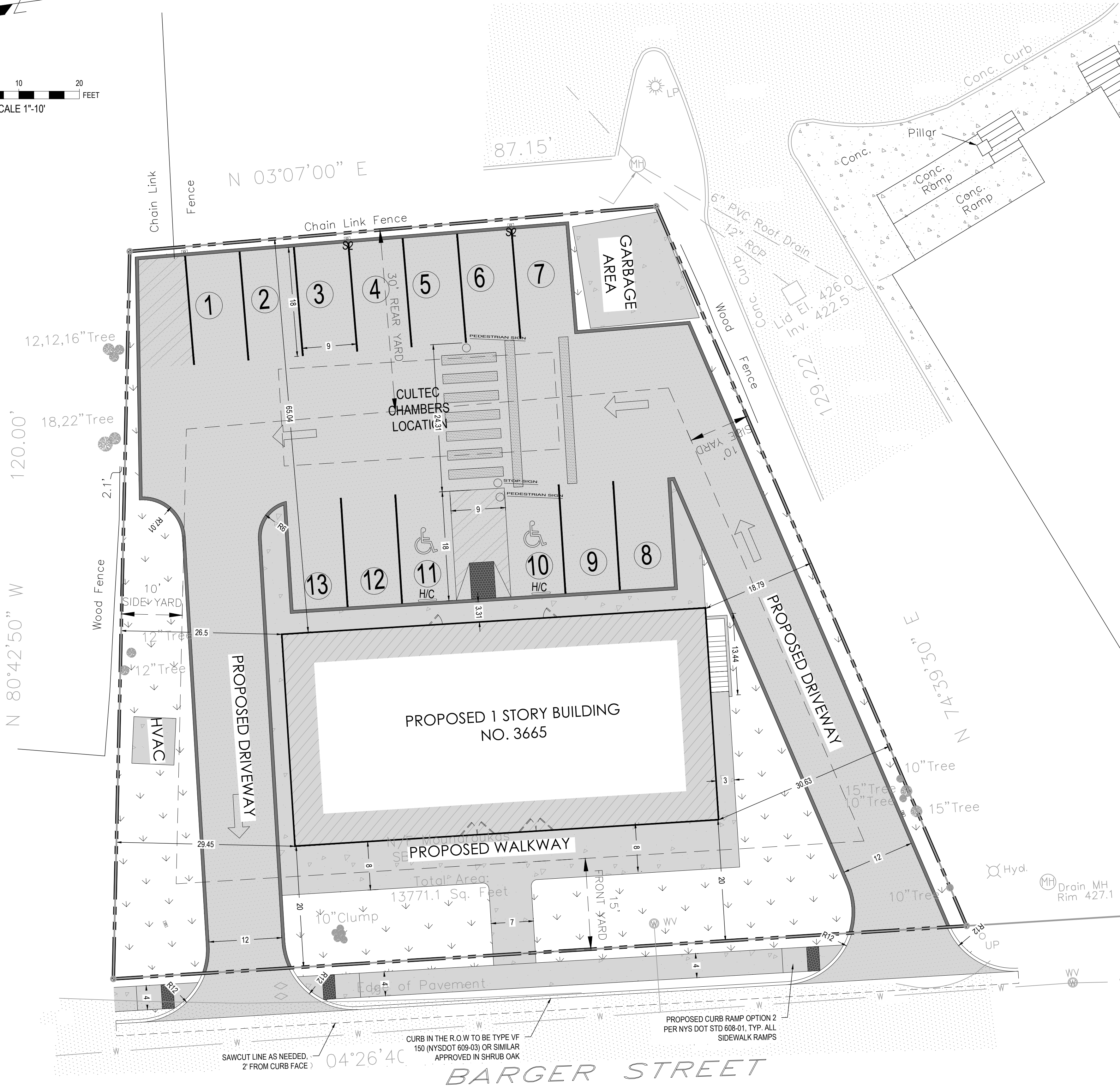
THE SECOND PHASE WILL BE THE EXCAVATION OF THE BUILDING. AND INSTALLATION OF ROADWAY UTILITIES.

PHASE III

THE THIRD PHASE OF CONSTRUCTION WILL ENTAIL THE CONSTRUCTION OF THE STORMWATER SYSTEM AND ENTRY DRIVEWAY. IN CONJUNCTION WITH THIS CONSTRUCTION WILL BE THE INCREASE IN IMPERVIOUS SURFACES. AS MENTIONED ABOVE, SUBSURFACE RETENTION SYSTEMS WILL BE INSTALLED TO CAPTURE STORMWATER RUNOFF FROM IMPERVIOUS SURFACES. (I.E., ROOF TOPS, PATIOS DRIVEWAY, ETC.).

PHASE IV

FINAL FINE GRADING, LANDSCAPING AND STABILIZATION, REMOVAL OF TEMPORARY EROSION AND SEDIMENT CONTROLS, RESTORE AND STABILIZE ANY DISTURBED AREAS REMAINING UPON REMOVAL OF TEMPORARY ESC MEASURES



ZONING DATA TABLE

ZONE - (C-2)	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA - (SF)	NONE	13,771 SQ. FT.	13,771 SQ. FT.
WIDTH AT FRONT YARD SETBACK (FT)	25'	141'	141'
MINIMUM YARD DIMENSIONS			
FRONT YARD (FT)	15'	30.7'	20.0'
ONE SIDE YARD (FT)	10'	35.3'	18.79'
BOTH SIDE YARDS (FT)	20'	81.2'	45.29'
REAR YARDS (FT)	30'	43.8'	65.04'
COVERAGE & BUILDING HEIGHT			
MAX GFA PER SECTION 202 TABLE 2		<=XXX S.F.	<=XXX S.F.
MAXIMUM BUILDING HEIGHT (FT)	35'	<35'	<35'
MAXIMUM BUILDING COVERAGE (%)	30%	<30%	<30%

*For lots with buildings having greater than 3,500 square feet of gross floor area

TOTAL PROPOSED IMPERVIOUS SURFACE		
TOTAL LOT AREA	13,771	0.32
HOUSE	SF	AC
HOUSE	2,450	S.F.
DRIVEWAY	6,643	S.F.
WALKWAYS	1,181	S.F.
HVAC	54	S.F.
GARBAGE AREA	284	S.F.
STEPS	44	S.F.
TOTAL PROPOSED IMPERVIOUS AREA	10,656	S.F.
TOTAL PROPOSED IMPERVIOUS AREA	77%	-

LEGEND

PROPERTY LINE	———
PROPOSED SETBACK	———
PROPOSED BELGIAN BLOCK CURB	———
PROPOSED ASPHALT DRIVEWAY	■
PROPOSED WALKWAY/PATIO	■

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ENGINEER:
GREGORY J. CACCIOPPOLI
ENGINEERING

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CACCIOPPOLI ENGINEERING, PLLC
441 CENTRAL PARK AVENUE, SUITE 1238
SCARSDALE, NEW YORK 10583

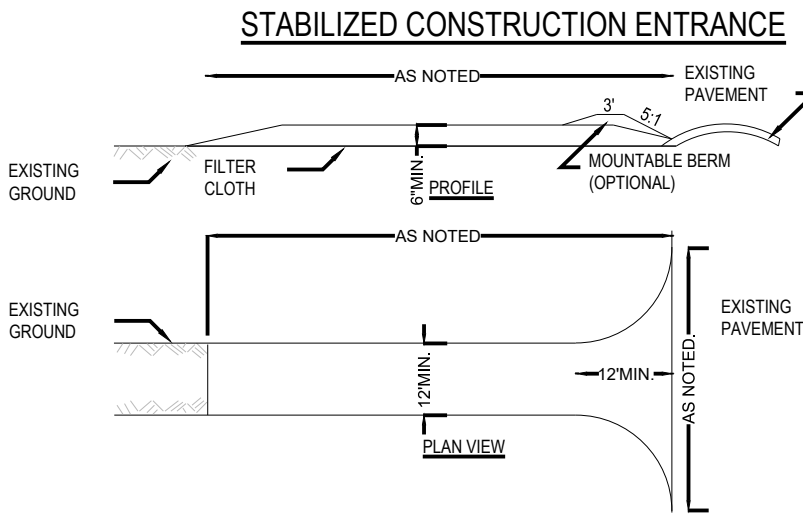
PROPOSED CONDITIONS / SITE PLAN

PROJECT:

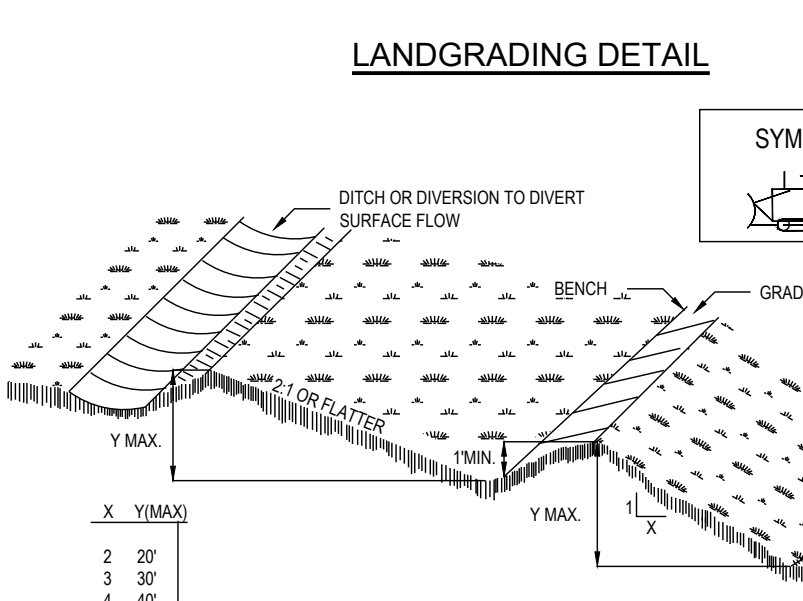
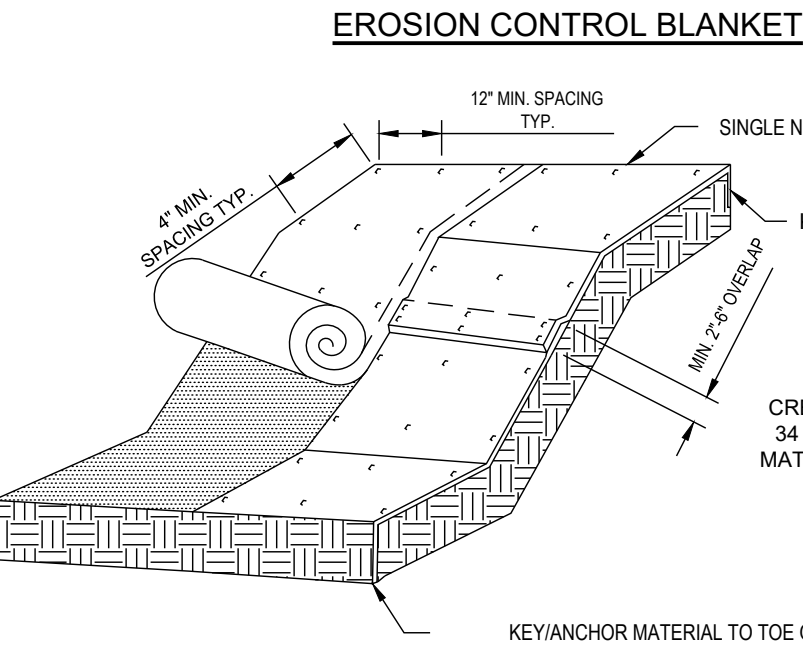
CONSTRUCTION OF NEW BUILDING
3665 BARGER STREET, SHRUB OAK, NY 10588



Date: 8/20/25
Designed By: GC
Checked By: GC
Page No.



- CONSTRUCTION SPECIFICATIONS**
- STONE SIZE - USE 1/4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE - EQUIVALENT.
 - FOOT MINIMUM LENGTH WOULD APPLY.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 - GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PERMITTED BENEATH THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



INSTALLATION & MAINTENANCE OF EROSION CONTROL:

CONSTRUCTION SCHEDULE
NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START.

"IMPORTANT"
CONTRACTOR MUST UTILIZE EROSION CONTROL BLANKETS OR APPROVED EQUAL ON ALL DISTURBED AREAS.

CONTRACTOR MUST PERFORM WEEKLY INSPECTIONS OF THE EROSION CONTROL MEASURES AND BE SURE THE SITE IS CONTAINED BEFORE EVERY RAIN STORM.

EROSION CONTROL MEASURES
INSTALL ALL EROSION CONTROL MEASURES PRIOR TO START OF CONSTRUCTION. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY
MAINTENANCE (TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)

AFTER ANY RAIN CAUSING RUNOFF, CONTRACTOR TO INSPECT HAYBALES, ETC. AND REMOVE ANY EXCESSIVE SEDIMENT AND INSPECT STOCKPILES AND CORRECT ANY PROBLEMS WITH SEED ESTABLISHMENT. INSPECTIONS SHALL BE DOCUMENTED IN WRITING AND SUBMITTED TO THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION.

INSPECTION BY MUNICIPALITY - FINAL GRADING
REMOVE UNNEEDED SUBGRADE FROM SITE. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - LANDSCAPING

SPREAD TOPSOIL EVENLY OVER AREAS TO BE SEED. HAND RAKE LEVEL. BROADCAST 1.25 LB. BAG OF JONATHAN GREEN "FASTGROW" MIX OR EQUAL OVER AREA TO BE SEED. APPLY STRAW MULCH AND WATER WITHIN 2 DAYS OF COMPLETION OF TOPSOILING. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - FINAL LANDSCAPING

GRASS ESTABLISHED. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

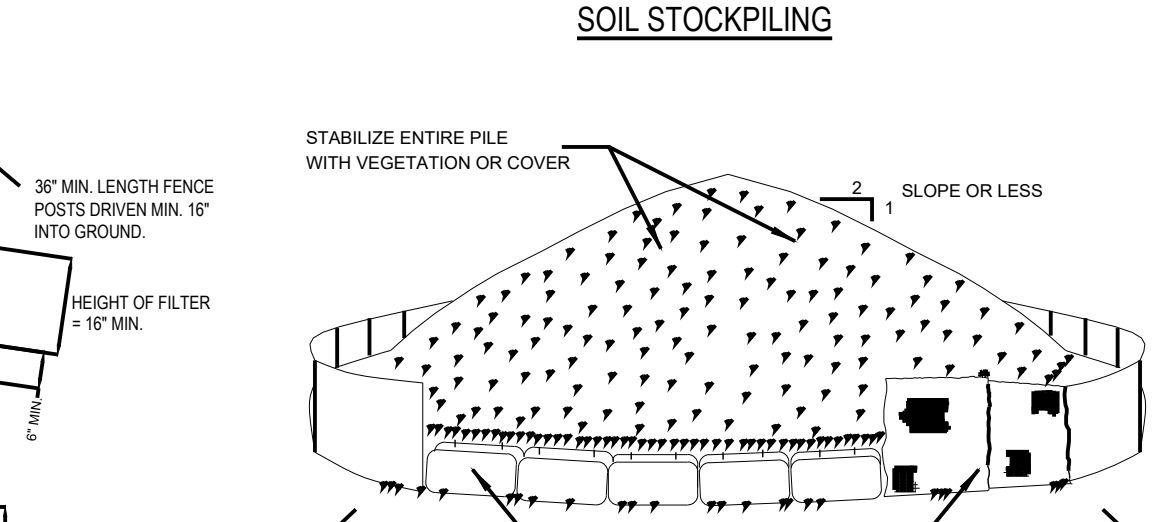
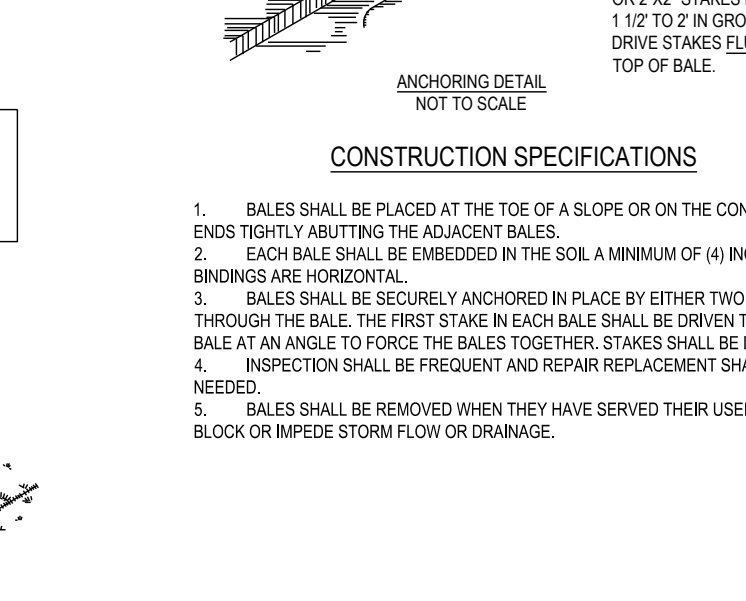
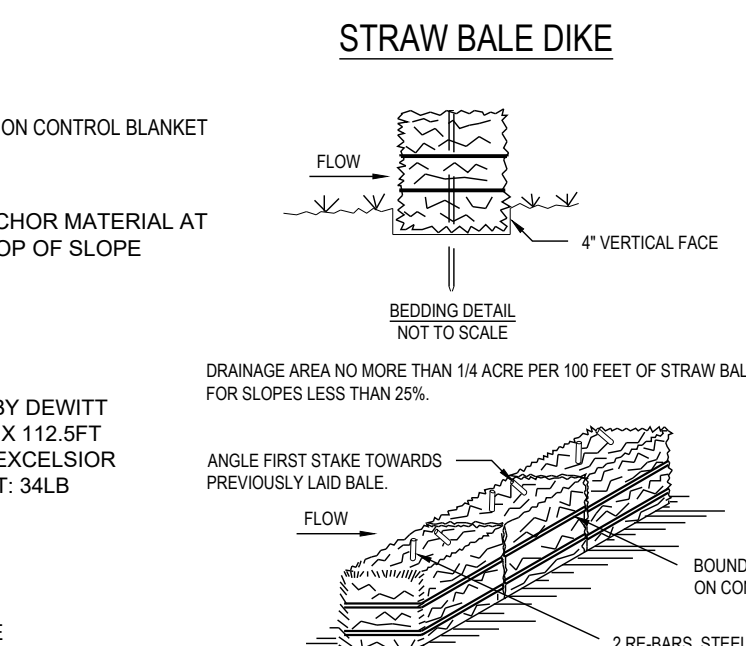
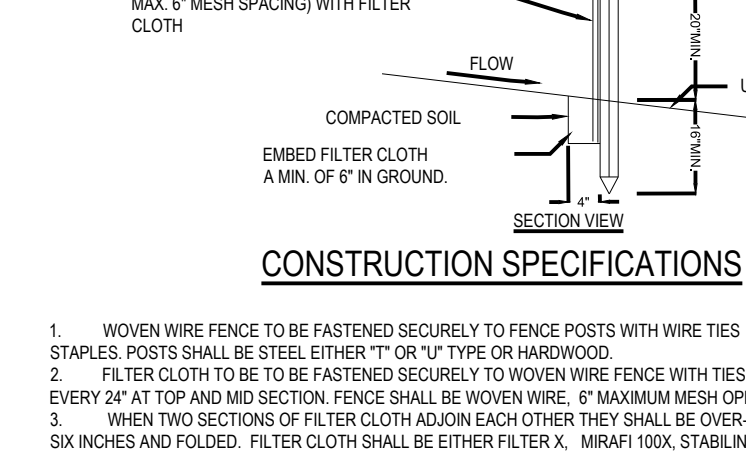
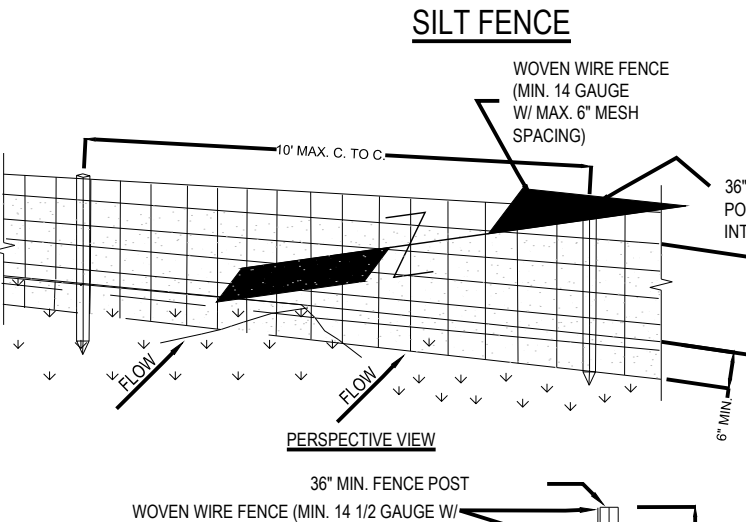
INSPECTION BY MUNICIPALITY - FINAL INSPECTION

ALL EROSION CONTROL MEASURES REMOVED AND GRASS ESTABLISHED. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

AREA OF DISTURBANCE CALC

AREA OF DISTURBANCE	
TOTAL AREA (INCLUDING PROTECTED AREAS):	13,771 SF
AREA OF TREE PROTECTION:	47 SF
AREA OF DISTURBANCE WITHIN THE FLOODPLAIN:	1,537 SF
NET AREA OF DISTURBANCE:	13,724 SF

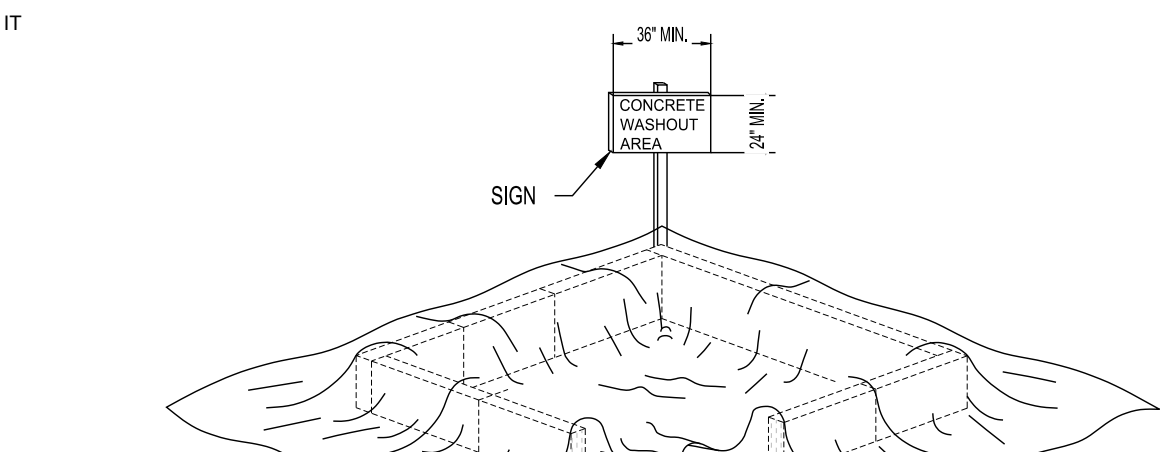
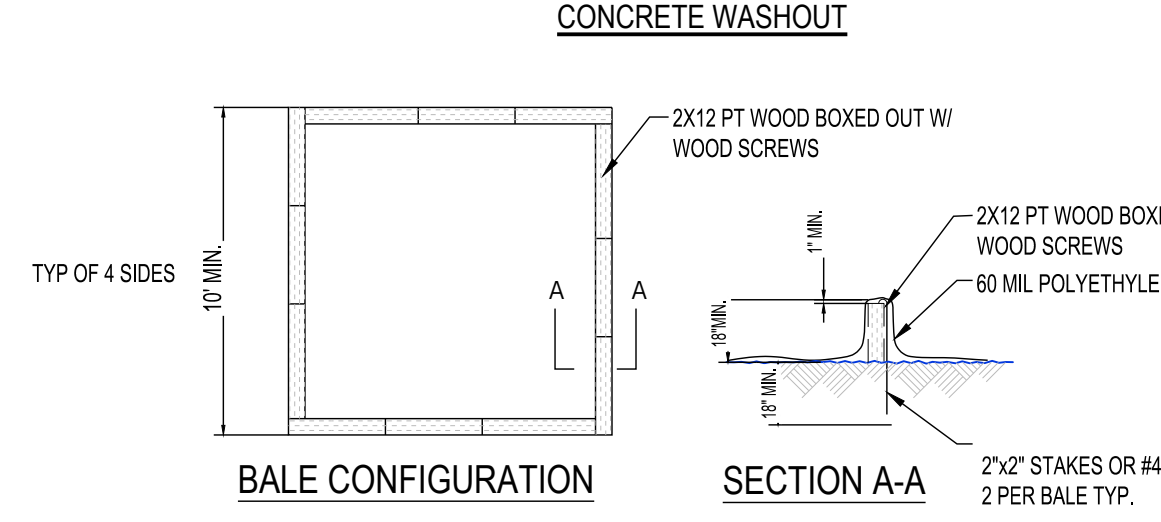
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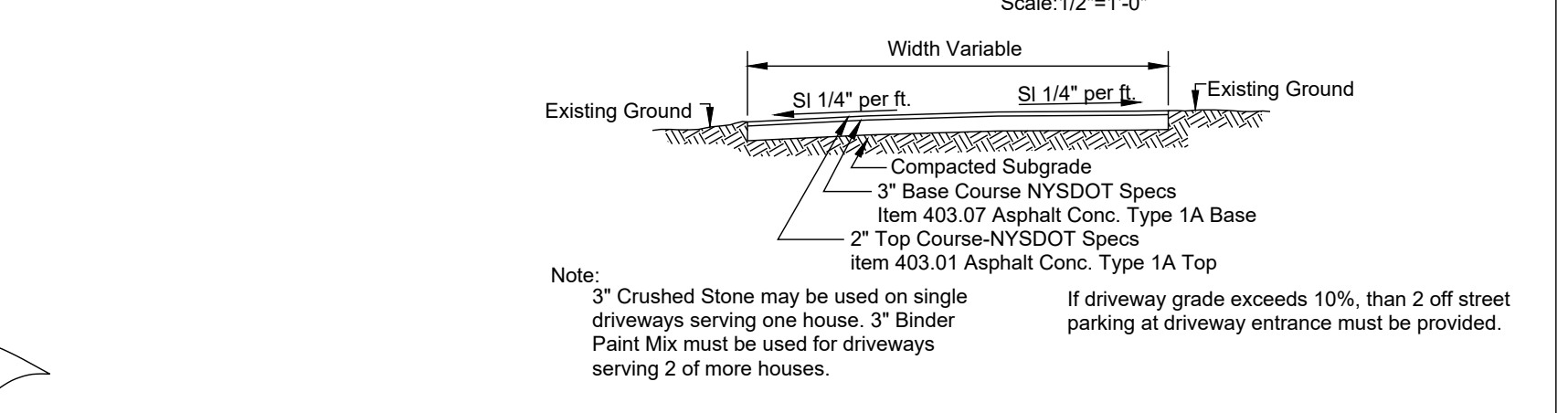
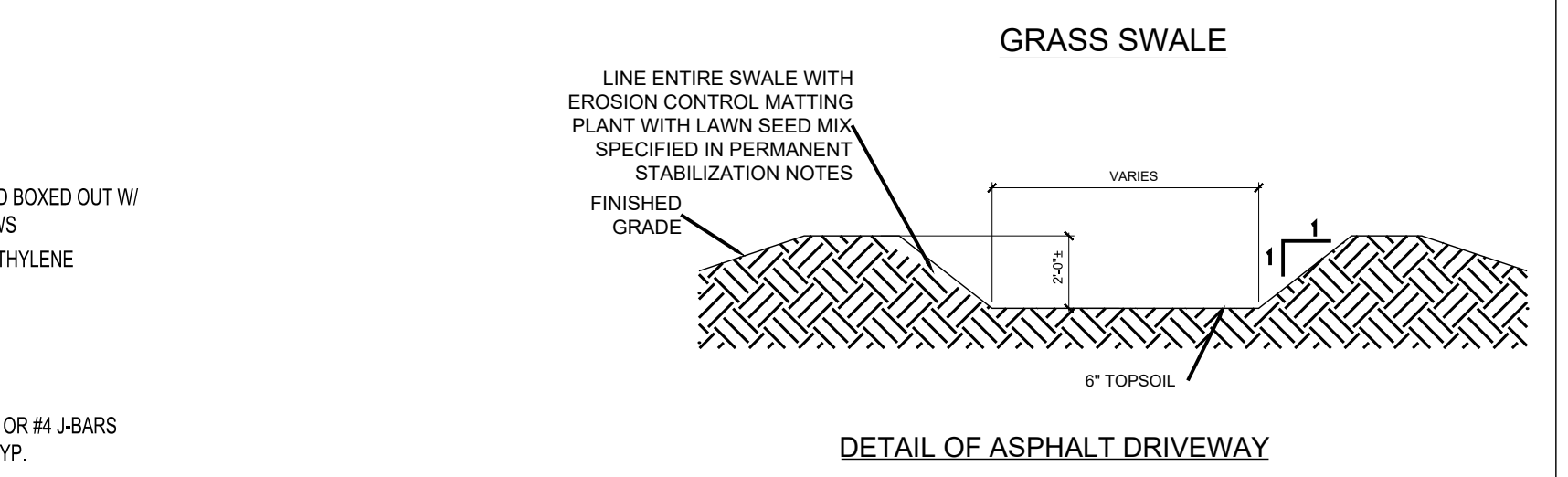
- INSTALLATION NOTES**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 - SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEVEL PORTIONS OF THE SITE WITH A MINIMUM OF 50 FT SETBACKS FROM TEMPORARY DRAINAGE SWALES.
 - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
 - STOCKPILES REMAINING IN PLACE FOR MORE THAN A WEEK SHOULD BE SEED AND MULCHED OR COVERED WITH GEOTEXTILE FABRIC SURROUNDED BY SILT FENCE.
 - SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.



- TREE PROTECTION NOTES:**
- THE CONTRACTOR SHALL INSTALL 3" OF WOOD CHIPS OR MULCH, WITH BURLAP LAID OVER IT WITHIN THE FENCED AREA PROTECTING THE TREE WHERE NOTED.
 - THE CONTRACTOR SHALL TAKE SPECIAL CARE TO PROTECT ALL EXISTING TREES AND THEIR SYSTEMS. ANY EXCAVATION WITHIN DRIP LINES SHALL BE KEPT TO A MINIMUM AND MUST BE COMPLETED BY HAND, ONLY IN THE PRESENCE OF THE CONSTRUCTION INSPECTOR AND AT NO ADDITIONAL EXPENSE TO THE COUNTY. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY REMEDIAL WORK SUCH AS ROOT AND TOP PRUNING REQUIRED AND NECESSARY TO PREVENT LOSS OF PLANT MATERIAL. ALL CORRECTIVE WORK SHALL BE ACCORDING TO STANDARD ACCEPTED HORTICULTURAL PRACTICE AND PERFORMED BY A NEW YORK STATE LICENSED ARBORIST.
 - THE LIMITS OF THE PROPOSED TREE PROTECTION SHALL BE AT THE TREE DRIP LINE.
 - ANY DAMAGE TO EXISTING TREES DURING CONSTRUCTION WILL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL REPLACE SUCH DAMAGED TREES TO THE SATISFACTION OF THE VILLAGE ARBORIST, AT THE CONTRACTOR'S EXPENSE.
 - THE TREE PROTECTION SHALL BE INSTALLED PRIOR TO ANY WORK AND SHALL REMAIN UNTILL THE END OF ALL WORK.

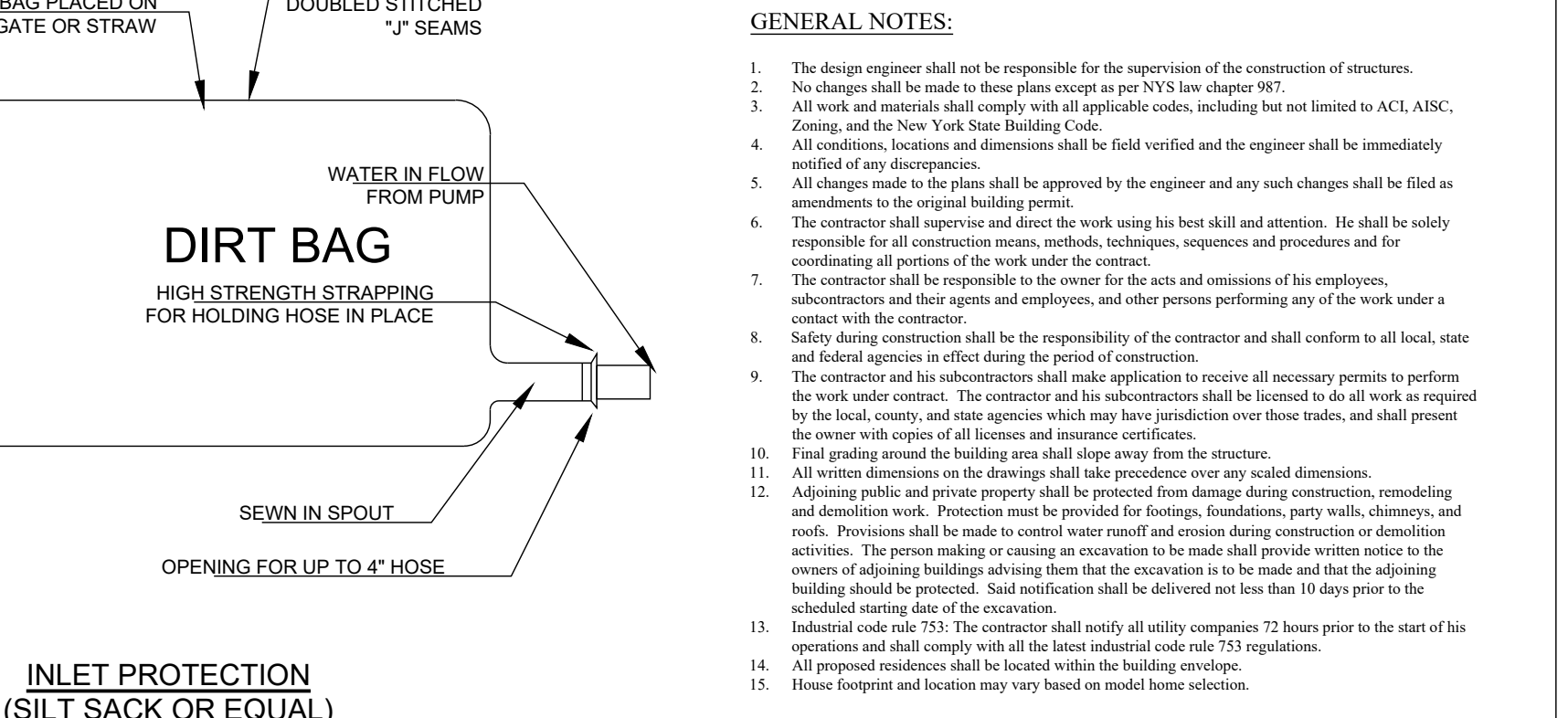


- DE-WATERING SEDIMENT BAG**
-



GENERAL NOTES:

- The design engineer shall not be responsible for the supervision of the construction of structures.
- No changes shall be made to these plans except as per NYS law chapter 90.
- All work and materials shall comply with all applicable codes, including but not limited to ACL, ASCE, Zoning, and the New York State Building Code.
- All conditions, locations and dimensions shall be field verified and the engineer shall be immediately notified of any discrepancies.
- All changes made to the plans shall be approved by the engineer and any such changes shall be filed as amendments to the original building permit.
- The contractor shall supervise and direct the work using his best skill and attention. He shall be solely responsible for all construction means, methods, techniques, sequences and procedures and for coordinating all portions of the work under the contract.
- The contractor shall be responsible to the owner for the acts and omissions of his employees, subcontractors and their agents and employees, and other persons performing any of the work under a contract with the contractor.
- Safety during construction shall be the responsibility of the contractor and shall conform to all local, state and federal agencies in effect during the period of construction.
- The contractor and his subcontractors shall make application to receive all necessary permits to perform the work under contract. The contractor and his subcontractors shall be licensed to do all work as required by the local, county, and state agencies which may have jurisdiction over these trades, and shall present the owner with copies of all licenses and insurance certificates.
- All written dimensions on the drawings shall take precedence over any scaled dimensions.
- Final grading around the building area shall slope away from the structure.
- Adjoining public and private property shall be protected from damage during construction, remodeling and demolition work. Protection must be provided for footings, foundations, party walls, chimneys, and roofs. Provisions shall be made to control water runoff and erosion during construction or demolition activities. The person making or causing an excavation to be made shall provide written notice to the owners of adjoining buildings advising them that the excavation is to be made and that the adjoining building should be protected. Such notification shall be delivered not less than 72 hours prior to the scheduled starting date of the excavation.
- Industrial code rule 753. The contractor shall notify all utility companies 72 hours prior to the start of his operations and shall comply with all the latest industrial code rule 753 regulations.
- All proposed residences shall be located within the building envelope.
- House footprint and location may vary based on model home selection.



PROJECT INFORMATION:

- Owner Information: Moundrakas Vicki
- Owner Address: 3665 Barger Street, Shrub Oak, NY 10588
- Applicant: Same As Engineer
- Property Location: 3665 Barger Street, Shrub Oak, NY 10588
- TMDN: Section: 16.07 Block: 1 Lot: 2
- Zone: C-2 - Business (Retail Store)
- Total Lot Area: 13,771 sqft (0.32 AC)
- Approximate Start Date: October 2024
- Approximate Completion Date: May 2025
- Survey & topography data shown hereon provided by Ward Carpenter Engineers Inc. Dated: June 29, 2023
- Sewer: Ossining Sewer District
- Water: Briarcliff Manor Village Water District
- Watershed: Pocantico and Saw Mill River Basin
- Soils located on site (USDA Web Soil Survey):
 - Soils on Site: FF FLUVAQUENTS-UDIFLUVENTS COMPLEX, FREQUENTLY FLOODED (1.2%)
 - Uc: UDORTHENTS, WET SUBSTRATUM (78.8%)
 - Ue: URBAN LAND (20%)
- Excavation equipment stored on site and kept within the disturbed areas.

LEGEND

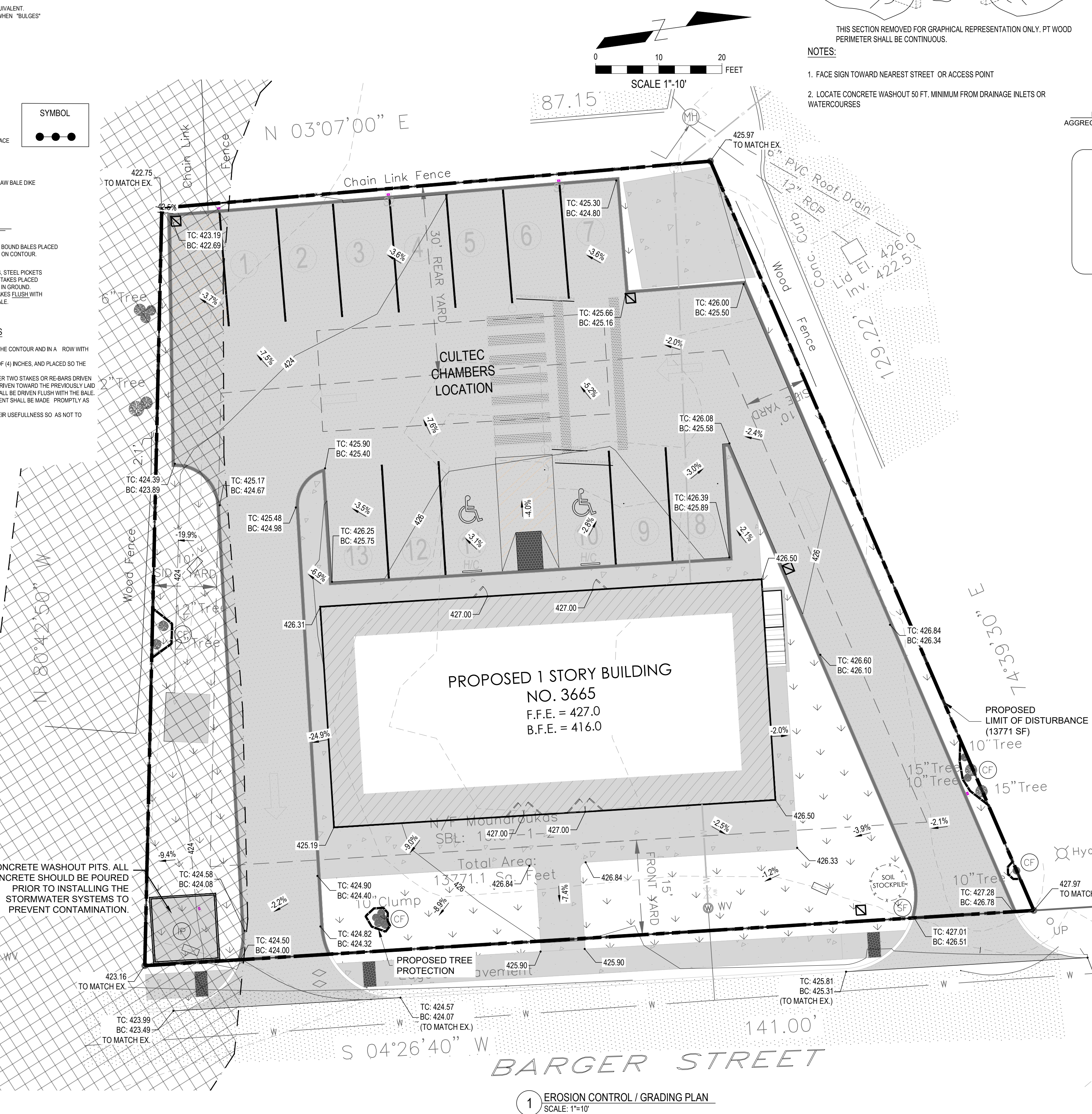
PROPERTY LINE	---	STABILIZED CONSTRUCTION ENTRANCE	---
PROPOSED BELGIAN BLOCK CURB	---	PROPOSED LIMIT OF DISTURBANCE	---
PROPOSED ASPHALT DRIVEWAY	---	PROPOSED CONTOUR	---
PROPOSED WALKWAY/PATIO	---	PROPOSED STORM PIPE	---
TEMPORARY INLET PROTECTION	IP	PROPOSED STORMWATER INFILTRATION SYSTEM	---
TEMPORARY SILT FENCE OR STRAW BALE DIKE	---	PROPOSED GRASS SWALE	---
ORANGE CONSTRUCTION FENCE	---		
TEMPORARY SOIL STOCKPILE AREA	---		

ENGINEER:
GREGORY CACCIOPPOLI, P.E.
CACCIOPPOLI ENGINEERING, PLLC
441 CENTRAL PARK AVENUE, SUITE 1238
SCARSDALE, NEW YORK 10583

PROJECT:
CONSTRUCTION OF NEW BUILDING
3665 BARGER STREET, SHRUB OAK, NY 10588

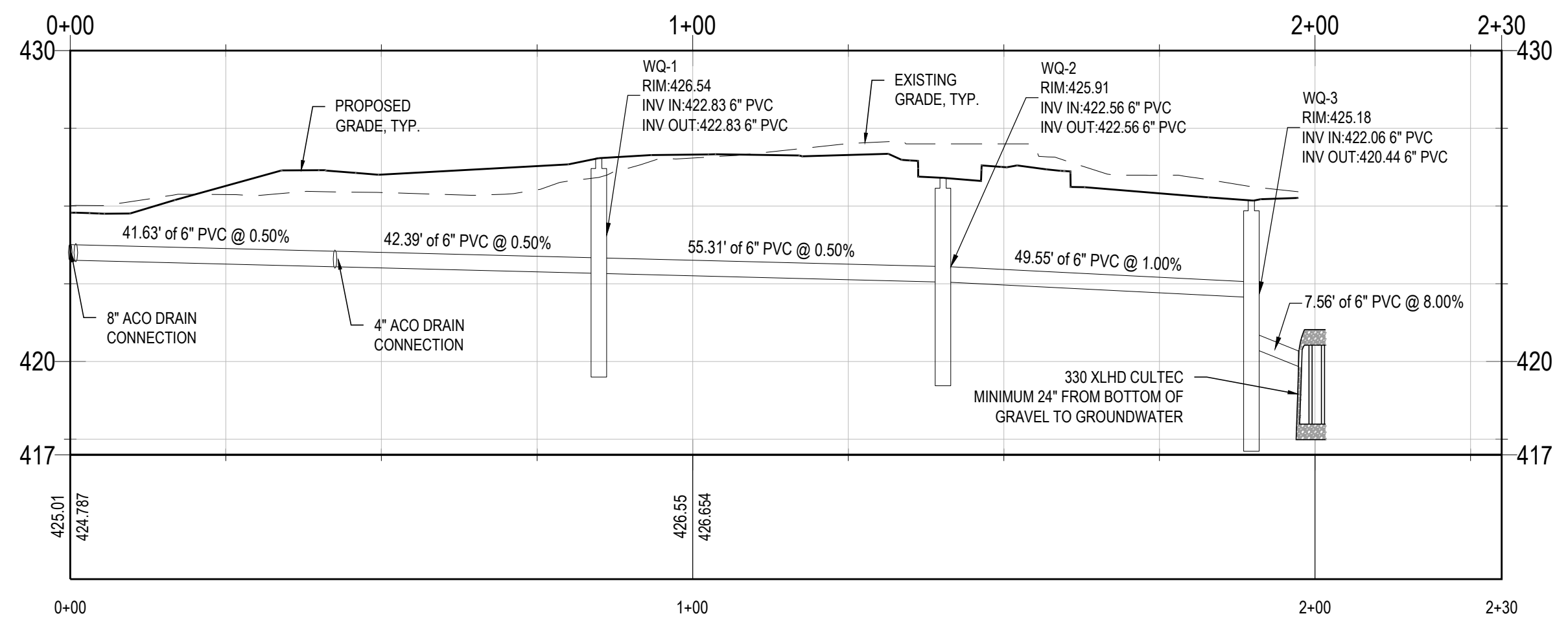
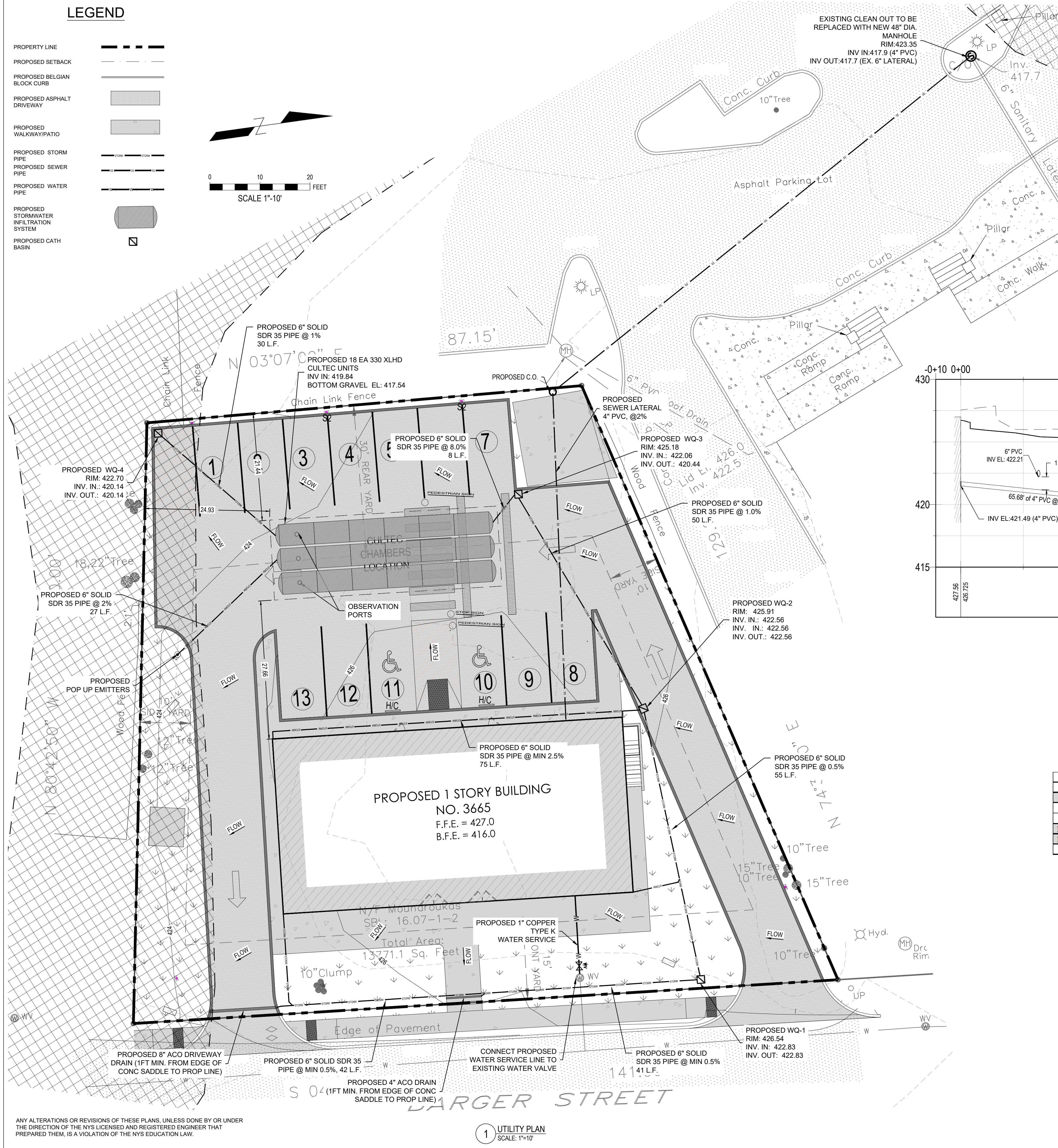
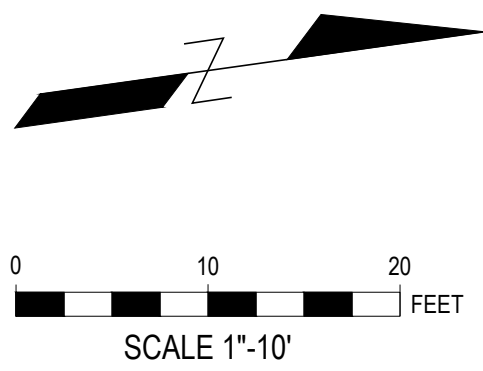
EROSION CONTROL/GRADING PLAN

Date: 8/19/25
Scale: 1"=10'
Designed By: GC
Checked By: GC
Page No: 4/7



LEGEND

- PROPERTY LINE
- PROPOSED SETBACK
- PROPOSED BELGIAN BLOCK CURB
- PROPOSED ASPHALT DRIVEWAY
- PROPOSED WALKWAY/PATIO
- PROPOSED STORM PIPE
- PROPOSED SEWER PIPE
- PROPOSED WATER PIPE
- PROPOSED STORMWATER INFILTRATION SYSTEM
- PROPOSED CATCH BASIN



2 ACO-1.330XRLHD CULTEC RECHARGER PROFILE
SCALE: HOR: 1"=20'
VERT: 1"=4'

DRAINAGE CALCULATION

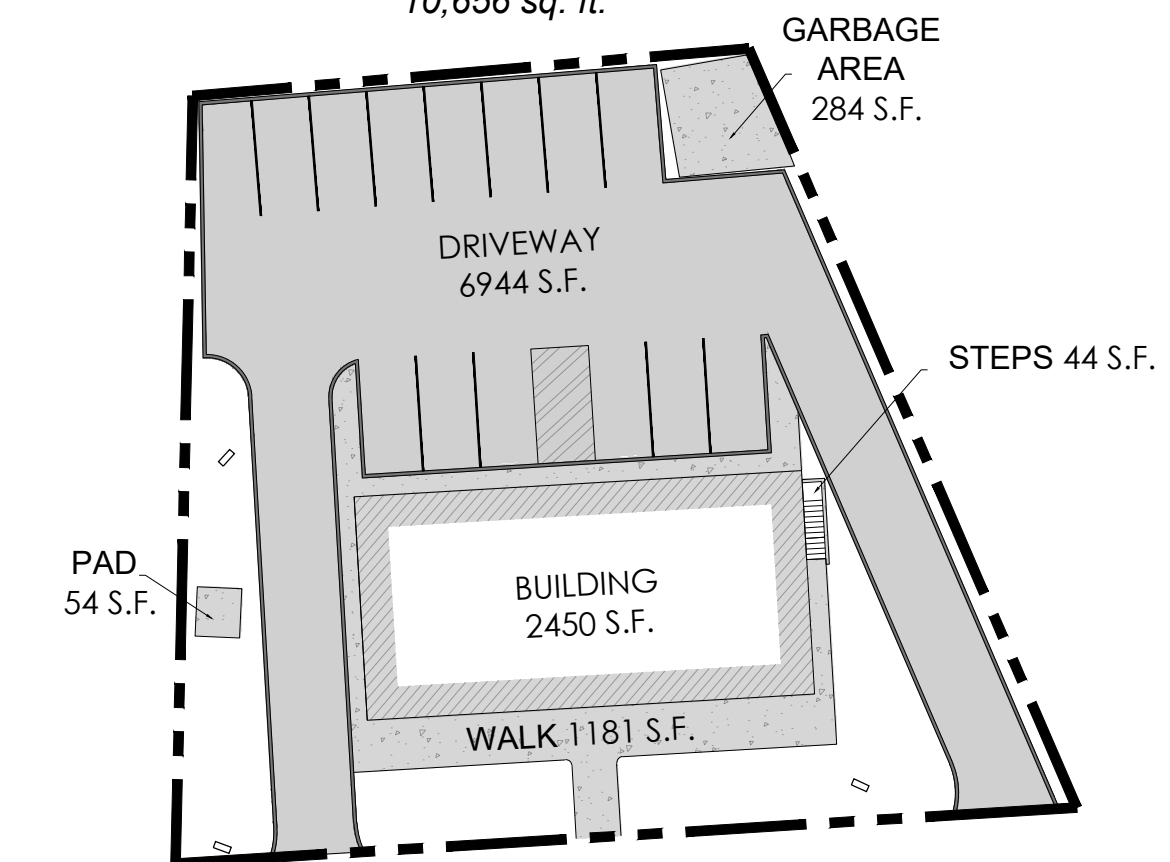
Soil and Percolation Rate			
Soil percolation Tests were done at the site and performed in accordance with the procedure outlined in the "New York State Stormwater Management Design Manual" and "New York Standards and Specifications for Erosion and Sediment Control". The rate on the tests performed were as follows:			
Perc Test Hole	36 inch deep 12 inch dia.	Rate	10 min/3" DROP
Drywell Design			
This design procedure follows the procedure outlined in section 4.6 of the above mentioned Manual.			
Design Criteria			
The impervious surface = 6,531 S.F.			
1. Use the design storm criteria of 25 Year Storm, 24 Hour, Zero net increase in runoff.			
2. Provide subsurface disposal system consisting of Cultec Recharger 330XL embedded in 1.5" to 2" crushed stone as per detail.			
3. Determine Soil Percolation Rate.			
A. Area of Soil Percolation (Ap)			
Surface Area of Cylinder (Ac)			
Ac = π X Dia X (Avg depth of water)			
Ac =	3.14 X	1 X	1
Ac =	3.14 S.F.		
Bottom Area of Cylinder (Ab)			
Ab = π X r²			
Ab =	3.14 X	0.5'²	
Ab =	3.14 X	0.25	
Ab =	0.79 S.F.		
Ap =	Ac +	Ab	
Ap =	3.93		
B. Volume of Percolation (Vp)			
Vp = Ab X h			
Vp =	0.79 X	0.25	
Vp =	0.20		
C. Soil Percolation Rate (Sr)			
Sr = (Volume/Vp) / Area (Ap) (Time Rate PER 3" DROP) X 60 min. X 24hr.			
Sr =	0.20 /	3.93 /	10 x
Sr =	7.20 C.F./S.F./DAY		1440
Sr =	7.20 - 25% CLOGGING FACTOR		
Sr =	5.40		
4. Calculate Required Storage Volume (Vs)			
25 Yr. Storm 24 Hour Rainfall is 6.4 inches			
According to National Engineering Handbook, Part 650, (EPH), Amend. IASO, Nov. 2007, Residential districts by average lot size: 1/3 acre (Average percent impervious area 30 %), and Hydrologic Group (A) for soils of this type.			
The existing CN= 57 The CN number for pavement is 98.			
Using Figure 4.4 on Page 4-13 for a 25 Yr. Storm the depth of runoff			
CN=	98 runoff is	7.05 inch	0.59 ft.
Volume of Storage Required (Vs)			
Vs =	Area X	Volume	X Area of Impervious Surface
Vs =	0.59	X	6531
Vs =	3837 C.F.		
5. Calculate Volume of Cultec Chamber (per L.F.)			
Vw =	Volume of Chamber	+	Volume of Gravel
Vw =	14.9 C.F./L.F.	+	8.65 C.F.
Vw =	23.55 C.F./L.F.		
6. 24 Hour Percolation Rate Volume Per Cultec Chamber (Vp) (per L.F.)			
Vp =	Side Surface Area of Gravel		
Vp =	X Soil Perc Rate (Sr)		
Vp =	7.08 x	5.40	
Vp =	38.23 C.F./L.F./Day		
7. 24 Hour Volume per Cultec Chamber (Vt) (per L.F.)			
Vt =	Vw +	Vp	
Vt =	23.55 +	38.23	
Vt =	61.78 C.F./L.F./Day		
8. Required Number of Cultec Chambers			
Dwr =	Required Volume of Storage/ Total Volume per Cultec Chamber (Vt) (per L.F.)		
Dwr =	3837 C.F. /	61.78 C.F./L.F./Day	
Dwr =	62.10 L.F.		
Du =	Number of Units Required		
Du =	62.10 L.F. /	7 L.F. per unit	
Du =	8.9 Units		
Since 1 Unit = 2 EA 330 XL Cultec Chambers			
USE 18 EA - 330 XL Cultec Chambers			

PERC TEST DATA

TEST 1	-	0.58 MIN/INCH
TEST 2	-	0.25 MIN/INCH
TEST 3	-	0.25 MIN/INCH
TEST 4	-	0.25 MIN/INCH
ASSUMED PERCOLATION RATE	:	0.33 MIN/INCH

TOTAL PROPOSED IMPERVIOUS SURFACE		
TOTAL LOT AREA	13,771	0.32
	SF	AC
TOTAL EXISTING IMPERVIOUS AREA	4,125	S.F.
TOTAL PROPOSED IMPERVIOUS AREA	10,656	S.F.
NET CHANGE IN IMPERVIOUS SURFACE AREA	6,531	S.F.
NET CHANGE IN IMPERVIOUS SURFACE AREA	47%	-
TOTAL OPEN SPACE / LANDSCAPED AREA	3,115	S.F.

IMPERVIOUS AREA TOTAL
10,656 sq. ft.



ENGINEER:
GREGORY CACCIOPPOLI, P.E.
CACCIOPPOLI ENGINEERING, PLLC
441 CENTRAL PARK AVENUE, SUITE 1238
SCARSDALE, NEW YORK 10583

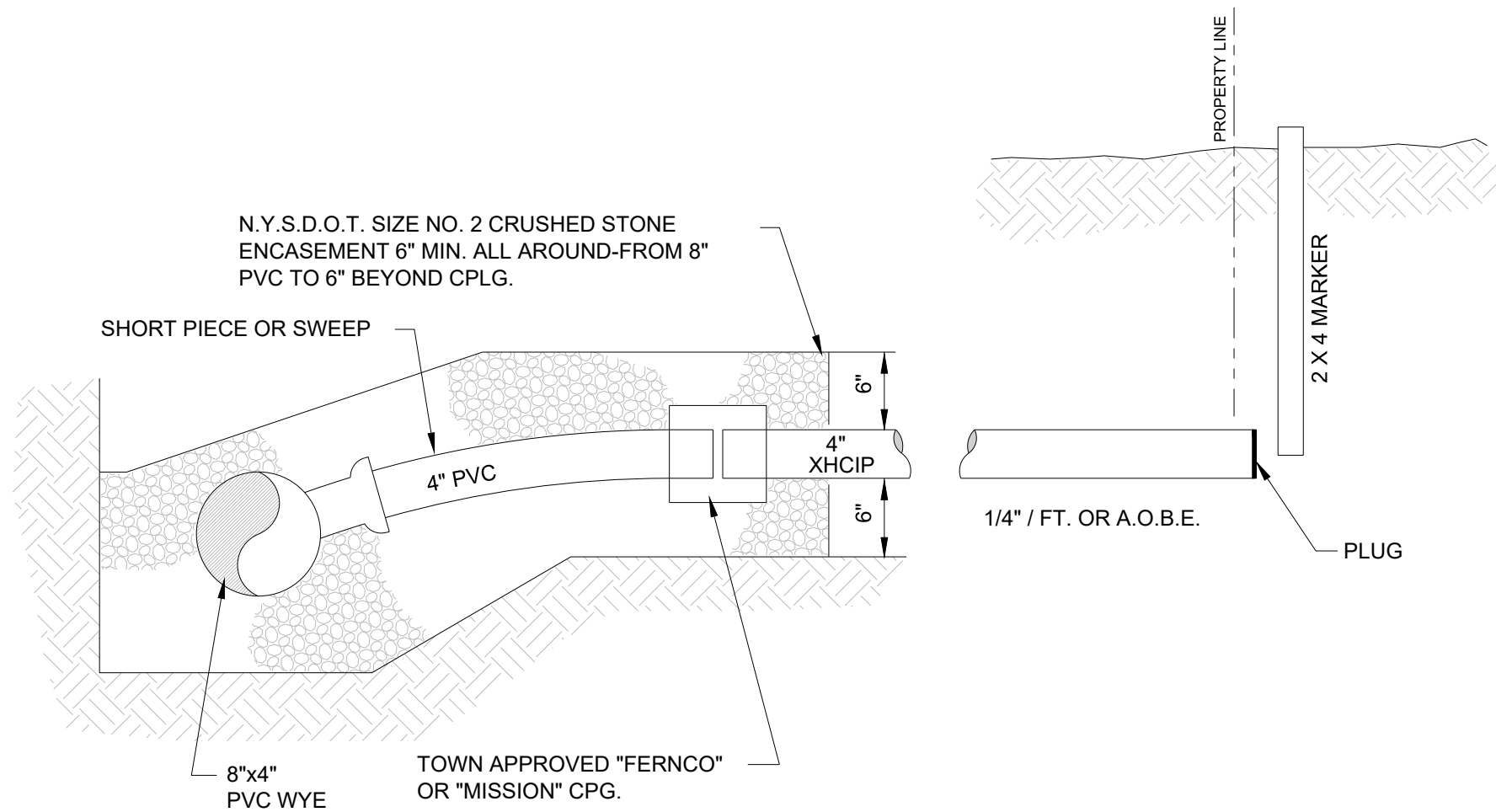
PROJECT:
CONSTRUCTION OF NEW BUILDING
3665 BARGER STREET, SHRUB OAK, NY 10588

UTILITIES PLAN

Date: 8/20/25
Scale:
Designed By: GC
Checked By: GC
Page No: 5/7

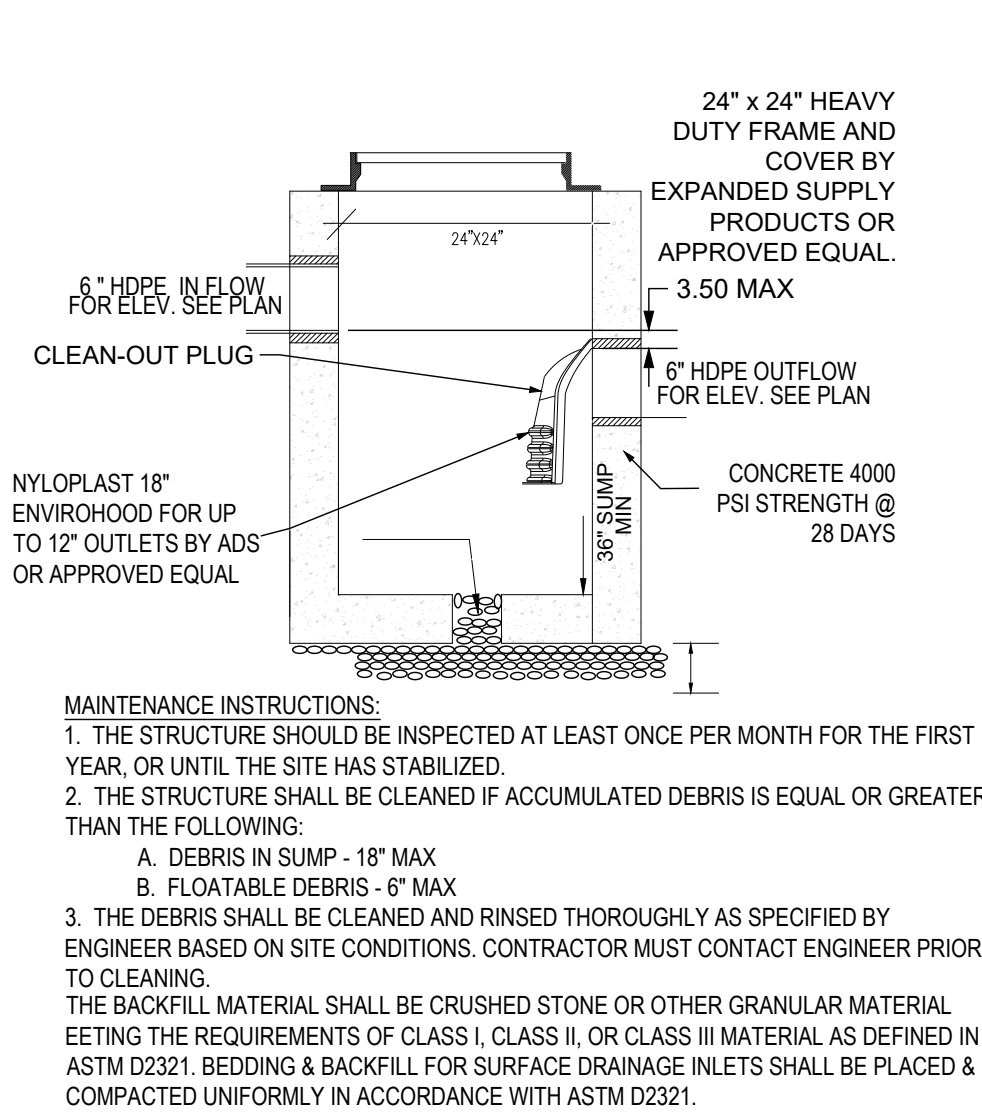
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1 UTILITY PLAN
SCALE: 1"=10'

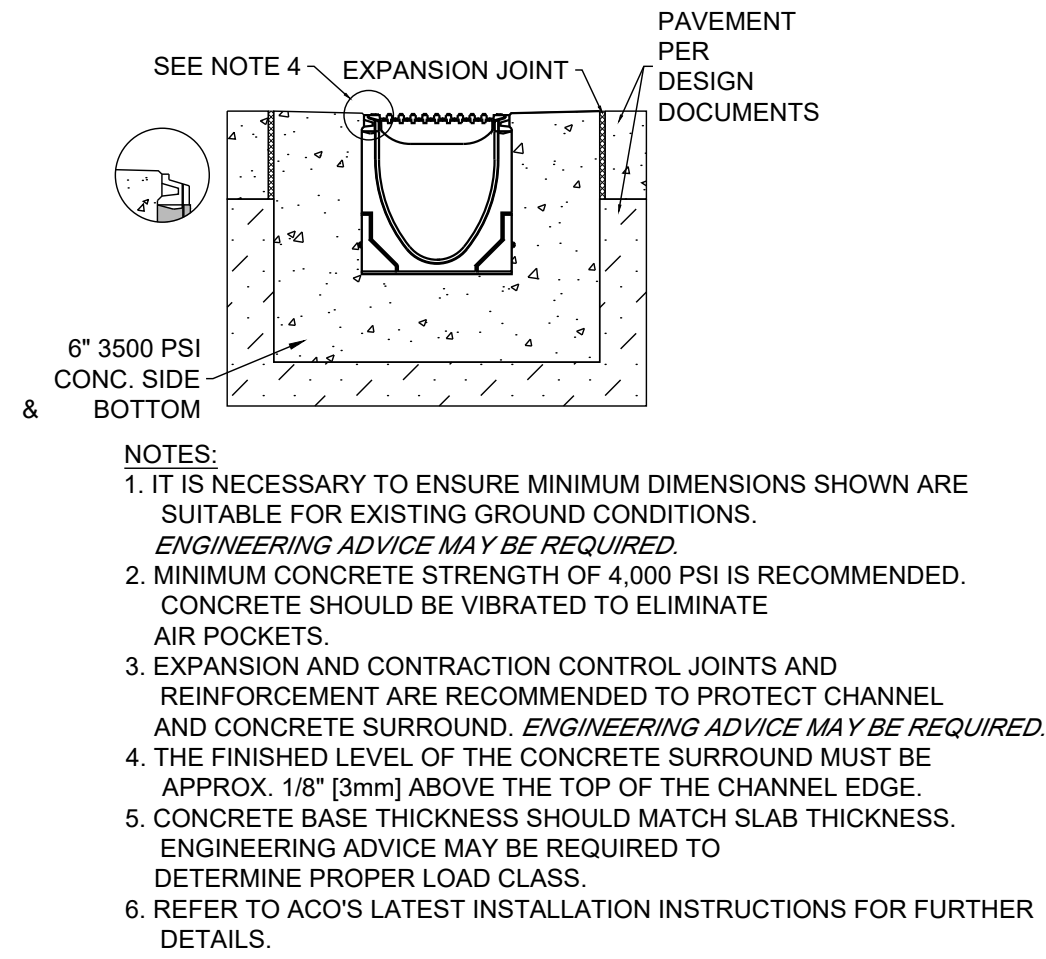


DETAIL - CONNECTION 4" PVC TO 4" X.H.C.I.P. SANITARY SEWER SERVICE LINES

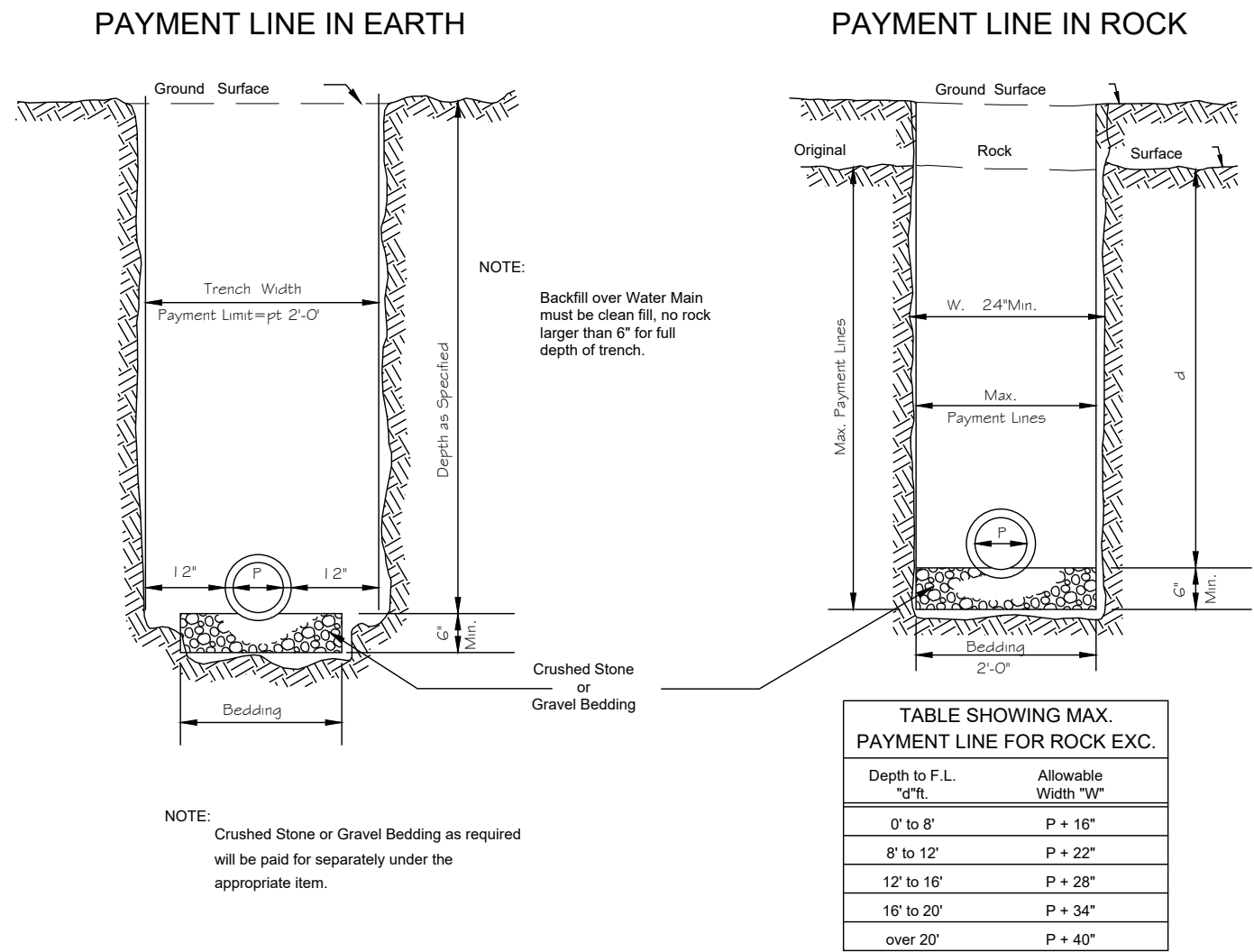
NOTE: IF WALL EXISTS AT PROPERTY LINE; EXTEND SERVICE LINE UNDER WALL.



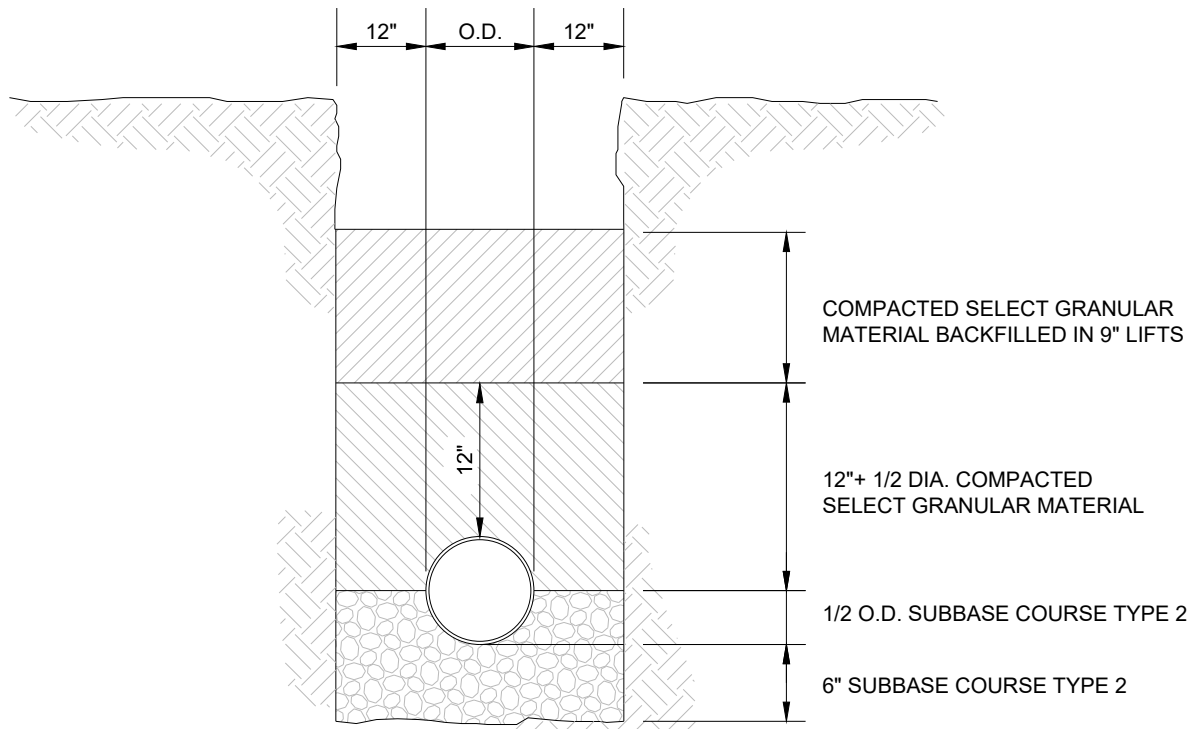
WATER QUALITY STRUCTURE (WQ) 24X24



ACO-DRAIN DETAIL

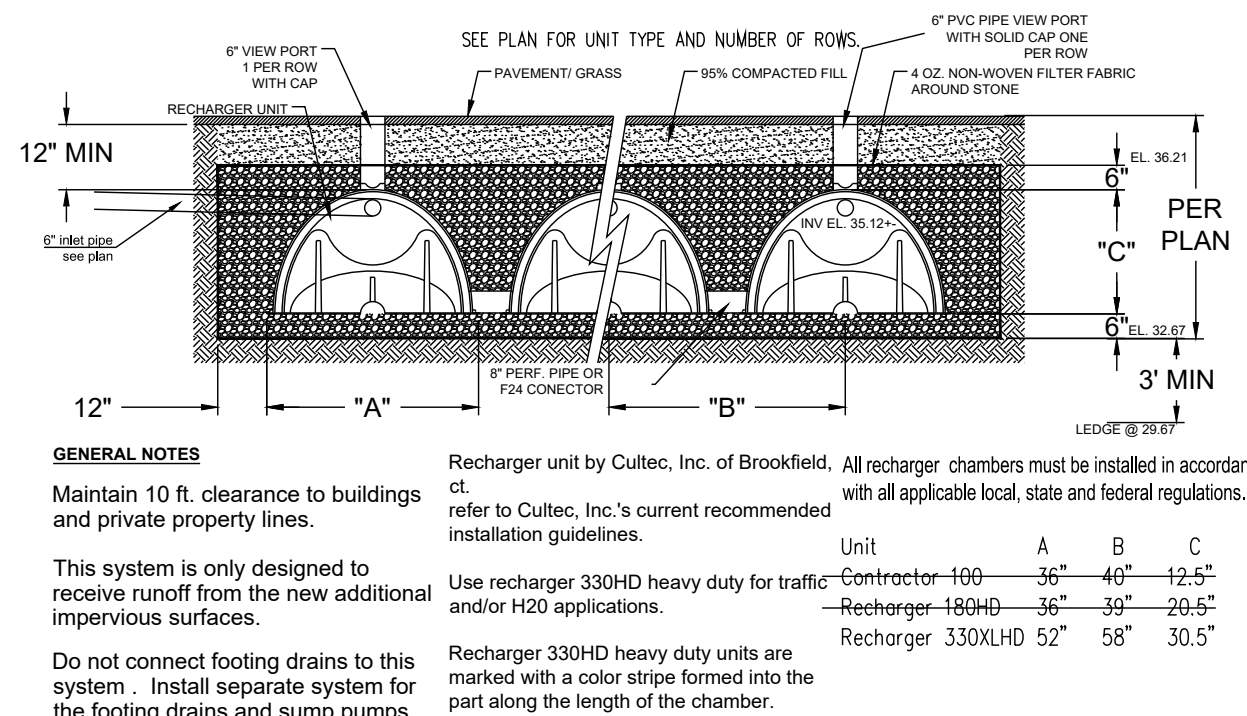


DETAIL OF TYPICAL TRENCH SECTIONS N.T.S.

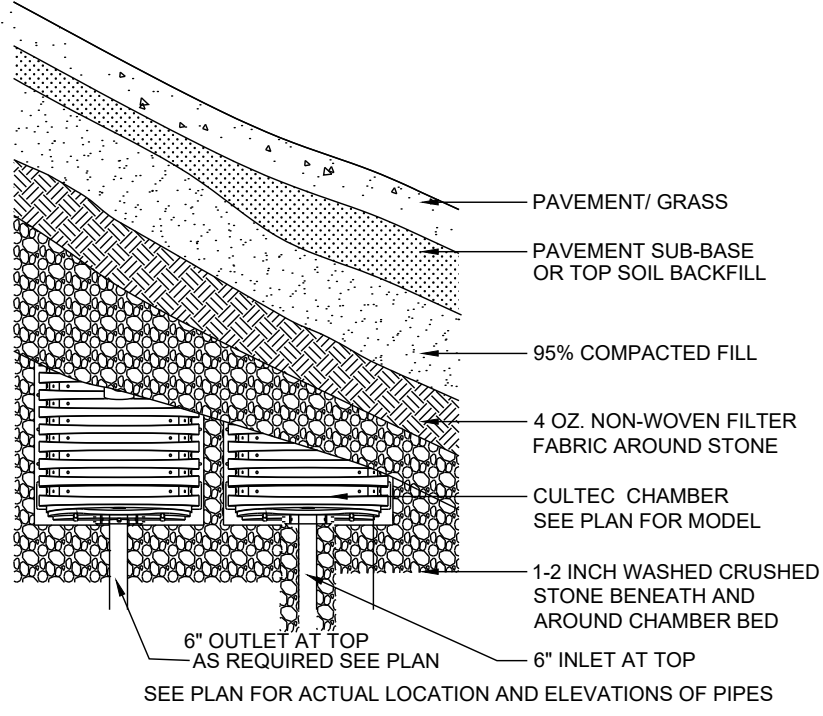


TRENCH BEDDING

1. THE APPLICANT/CONTRACTOR SHALL BE REQUIRED TO BACKFILL UTILITY TRENCHES IN THE PUBLIC RIGHT-OF-WAY WITH 50 PSI CONTROLLED DENSITY BACKFILL (K-CRETE).
2. STONES FOUND IN THE TRENCH SHALL BE REMOVED FOR A DEPTH OF AT LEAST SIX (6) INCHES BELOW AND ON EACH SIDE OF ALL PIPES.

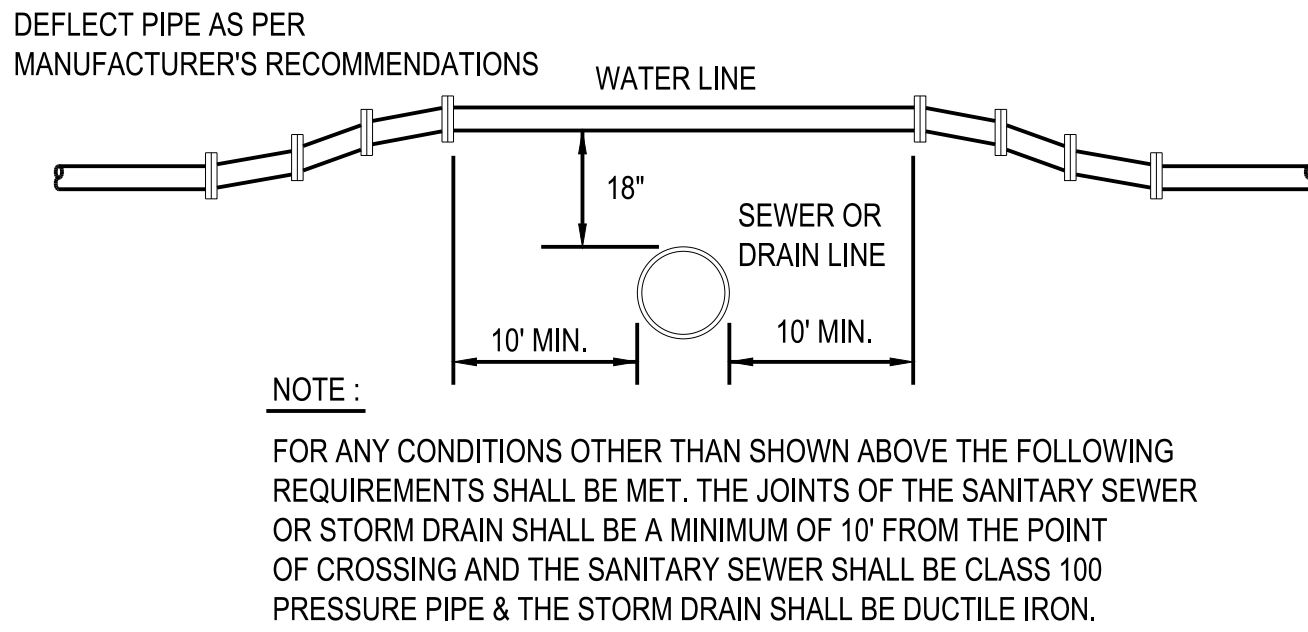


PROPOSED INFILTRATION UNITS - CULTEC 330 XL UNITS

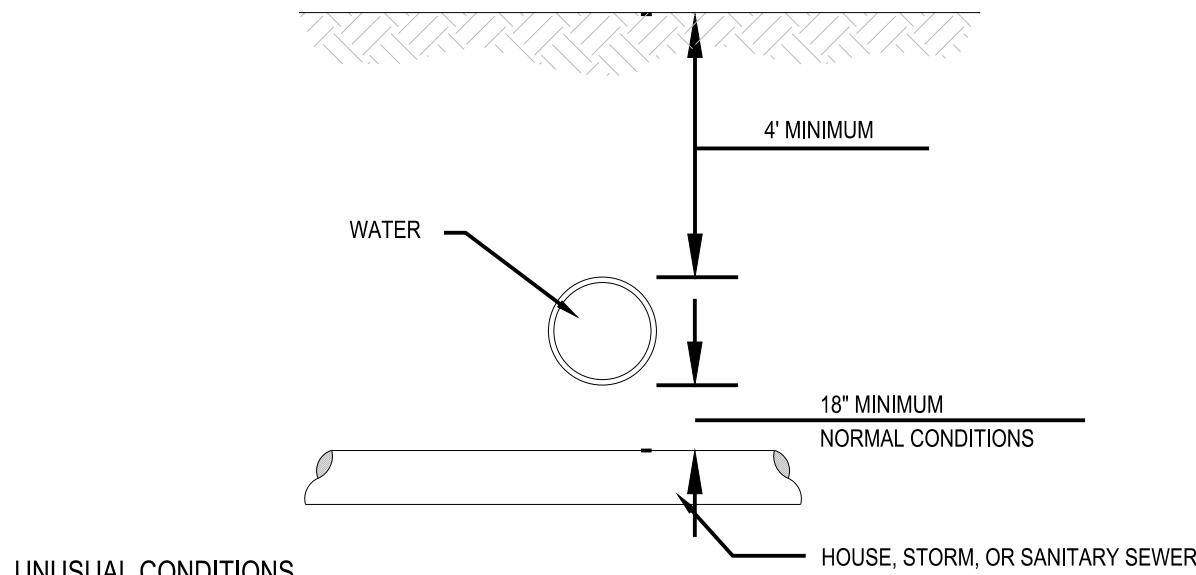


SEWER CLEANOUT DETAIL (GRAVITY)

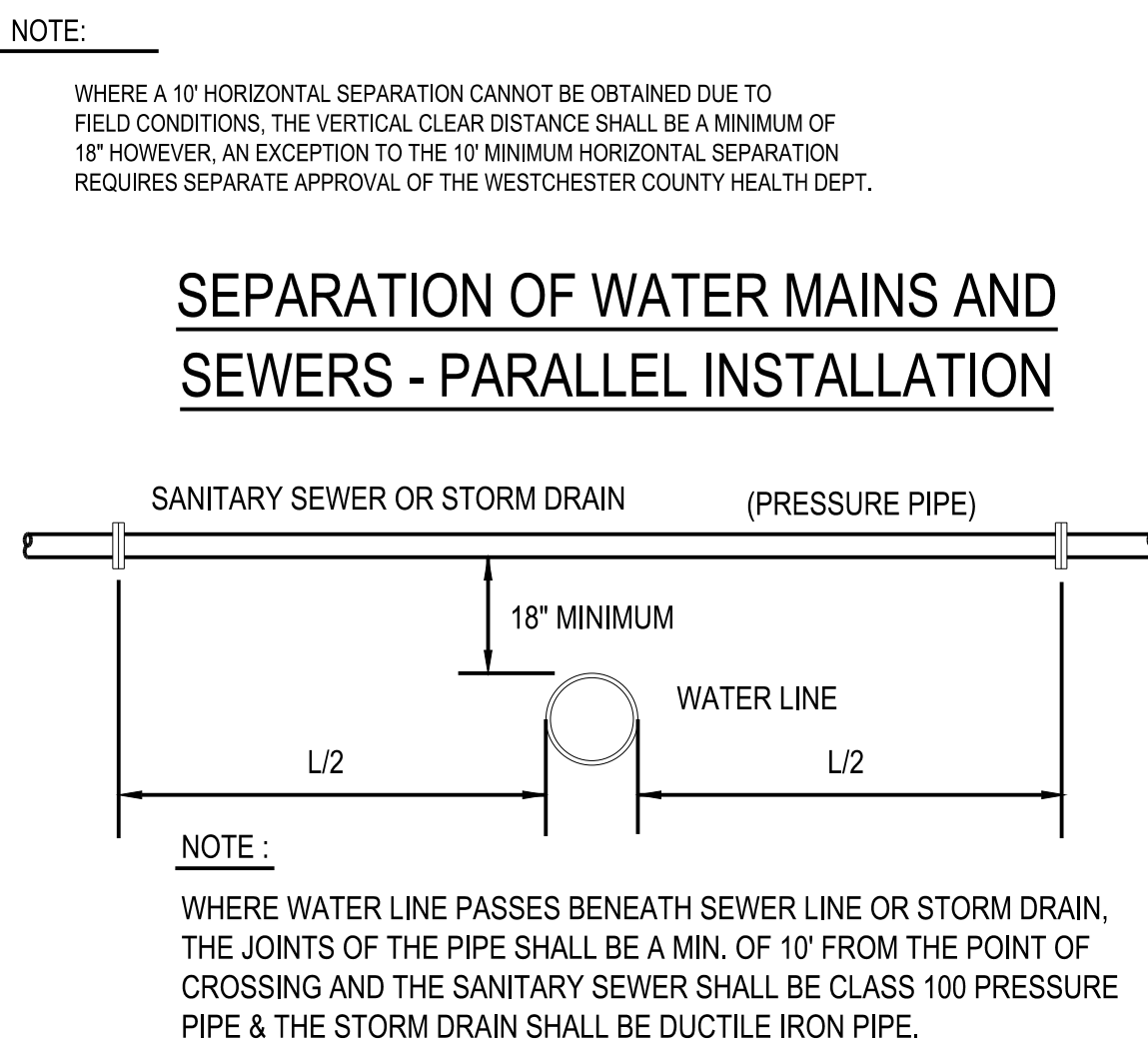
- NOTES:
1. ALL SEWER SERVICES TO BE 4\"/>



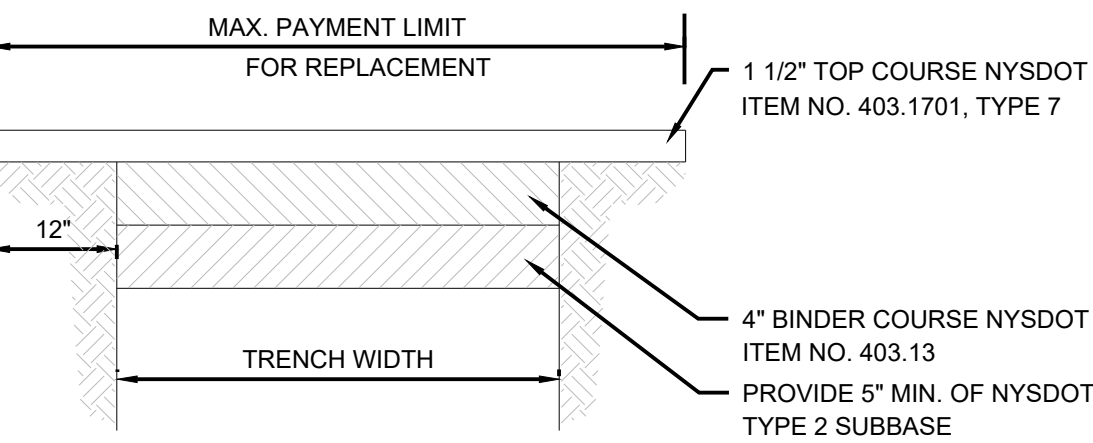
CROSSING OF WATER LINE OVER SANITARY SEWER OR STORM DRAIN



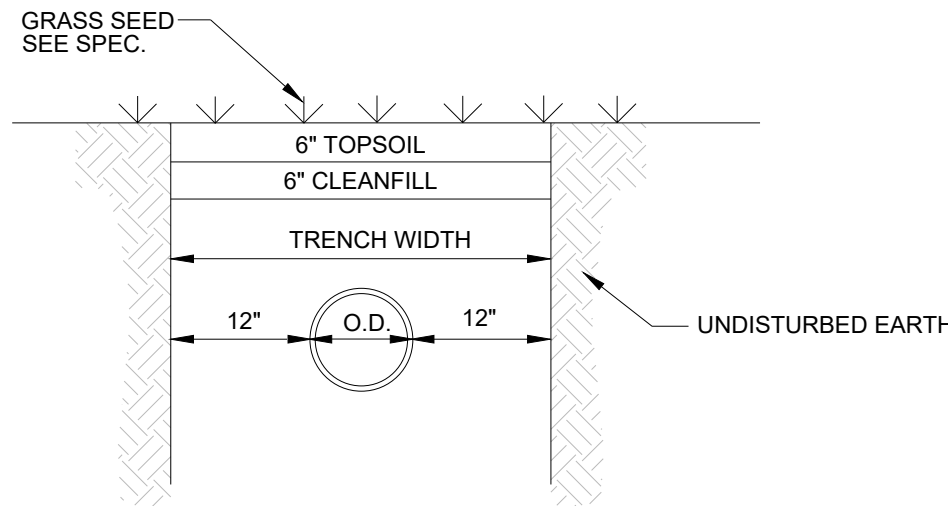
SEPARATION OF WATER MAINS AND SEWER CROSSINGS



CROSSING OF WATER LINE UNDER SANITARY SEWER OR STORM DRAIN





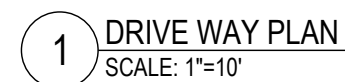
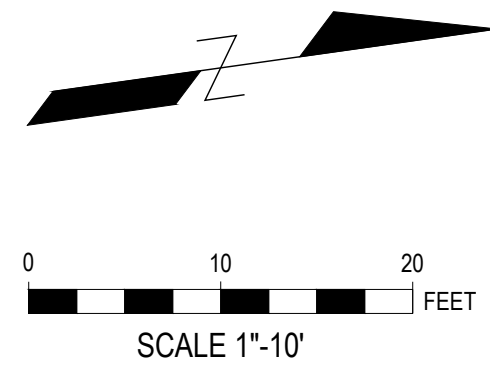
ASPHALTIC MACADAM PAVEMENT REPLACEMENT




SHOULDER RESTORATION

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ENGINEER:  GREGORY J. CACCIOPPOLI, P.E. CACCIOPPOLI ENGINEERING, PLLC 441 CENTRAL PARK AVENUE, SUITE 1238 SCARSDALE, NEW YORK 10583		 Date: 8/19/25 Scale: _____ Designed By: GC Checked By: GC Page No.
PROJECT: CONSTRUCTION OF NEW BUILDING 3665 BARGER STREET, SHRUB OAK, NY 10588		
UTILITY DETAILS		
1. _____ 2. _____ 3. _____ 4. _____ 5. _____ 6. _____ 7. _____ 8. _____ 9. _____ 10. _____		



- PROJECT INFORMATION:**
1. Owner Information: Moundroukas Vicki
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 3. Applicant: Same As Engineer
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Water: Briarcliff Manor Village Water District
Watershed: Pocantico and Saw Mill River Basin
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Soils on Site: FF: FLUVAQUENTS-UDIFLUVENTS COMPLEX,
FREQUENTLY FLOODED (1.2%)
Uc: UDORTHENTS, WET SUBSTRATUM (78.8%)
UF: URBAN LAND (20%)
 9. Excavation equipment stored on site and kept within the disturbed areas.

THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEER'S SEAL & SIGNATURE	ENGINEER: <div></div>		GREGORY CACCIOPPOLI, P.E. CACCIOPPOLI ENGINEERING, PLLC 441 CENTRAL PARK AVENUE, SUITE 1238 SCARSDALE, NEW YORK 10583		<div></div>
	DRIVEWAY PLAN & PROFILE				
	PROJECT:				
	CONSTRUCTION OF NEW BUILDING 3665 BARGER STREET, SHRUB OAK, NY 10588				
	Date: 8/19/25				
	Scale:				
	Designed By: GC				
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	717				