

# IMAGINE VR STUDIOS

## NEW BACK ENTRANCE

JEFFERSON VALLEY MALL  
JEFFERSON VALLEY, NEW YORK



Michael Piccirillo Architecture

NOTE:  
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**ABBREVIATIONS**

AB	ANCHOR BOLT	DIAM	DIAMETER	INCL	INCLUDING	PTD	PAINTED	TELE	TELEPHONE
AT	ACOUSTICAL TILE	DIM	DIMENSION	I.D.	INSIDE DIAMETER	P.LAM	PLASTIC LAMINATE	TV	TELEVISION
A.F.F	ABOVE FINISHED FLOOR	DN	DOWN	INSUL	INSULATION	PLWD	PLYWOOD	THK	THICKNESS
ADD.	ADDENDUM	DWG	DRAWING	INT	INTERIOR	PVC	POLYVINYL CHLORIDE	T&G	TONGUE AND GROOVE
AC	AIR CONDITIONING	D.F.	DRINKING FOUNTAIN	INV	INVERT	P.C.F.	POUNDS PER CUBIT FOOT	T&B	TOP AND BOTTOM
ALT	ALTERNATE	ELEC	ELECTRICAL	JT	JOINT	P.S.F.	POUNDS PER SQUARE FOOT	T.O.S.	TOP OF SLAB
ALUM	ALUMINUM	E.W.C.	ELEC. WATER COOLER	LAM	LAMINATE	P.S.I.	POUNDS PER SQUARE INCH	T.O.STL	TOP OF STEEL
ANOD	ANODIZED	ELEV	ELEVATION	LAV	LAVATORY	POL	POLISHED	T.O.W.	TOP OF WALL
ARCH	ARCHITECTURAL	EQ	EQUAL	L.F.	LINEAR FOOT	PLAS	PLASTER	T	TREAD (S)
BSMT	BASEMENT	EXP	EXPOSED	MTL	METAL	RCP	REFLECTED CEILING PLAN	TYP	TYPICAL
BIT	BITUMINOUS	EXT.	EXTERIOR	MAS	MASONRY	RE	REFERENCE	T.O.C.	TOP OF CURB
BLKG	BLOCKING	EXP. JT.	EXPANSION JOINT	MFR	MANUFACTURER	REF	REFINISHED	UL	UNDERWRITERS LABORATORY
BD	BOARD	FIN	FINISH	M.O.	MASONRY OPENING	REIN	REINFORCED	UNO	UNLESS NOTED OTHERWISE
BLDG	BUILDING	F.F.E.	FINISHED FLOOR ELEV.	MFR	MANUFACTURER	REV	REVISION	UR	URINAL
CAB	CABINET	F.P.S.C.	FIRE-PROOF, SELF-CLOSING	MFR	MANUFACTURER	REQ	REQUIRED	V.C.T.	VINYL COMPOSITION TILE
CIP	CAST IN PLACE	FLR	FLOOR	MFR	MANUFACTURER	RM	ROOM	VB	VAPOR BARRIER
CPT	CARPET	FTG	FOOTING	MECH	MECHANICAL	R	ROOM	VERT	VERTICAL
C.B.	CATCH BASIN	FND	FOUNDATION	MIN	MINIMUM	R.O.	ROUGH OPENING	W	WITH
CG	CEILING	NOM	NOMINAL	N.I.C.	NOT IN CONTRACT	SIM	SIMILAR	WC	WATER CLOSET
CEM	CEMENT	N.T.S.	NOT TO SCALE	O.A.I.	OUTSIDE AIR INTAKE	SPEC	SPECIFICATION	WCOT	WAINSCOT
C.T.	CERAMIC TILE	GA	GALVANIZED	O.C.	ON CENTER	SQ	SQUARE	WP	WATERPROOFING
COL	COLUMN	GYP. BD.	GYP. BOARD	O.H.	OVERHANG	S.F.	SQUARE FOOT	WR	WATER RESISTANT
CONC	CONCRETE	HD. WD.	HARDWOOD	O.PNG	OPENING	S.Y.	SQUARE YARD	WS	WEATHERSTRIPPING
CMU	CONC. MASONRY UNIT	HDR	HEADER	OPNG	OPENING	S.S.	STAINLESS STEEL	WT	WEIGHT
CONST	CONSTRUCTION	HT	HEIGHT	OPP	OPPOSITE	STD	STANDARD	W.W.F.	WELDED WIRE FABRIC
CONT	CONTINUOUS	HM	HOLLOW METAL	O.D.	OUTSIDE DIAMETER	STL	STEEL	W	WIDE, WIDTH
C.F.	CUBIC FEET	HB	HOLLOW BIB	OPT	OPTION OR OPTIONAL	SYM	SYMBOL	WD	WOOD
C.Y.	CUBIC YARD								

**GENERAL NOTES**

1. ALL WORK SHALL CONFORM TO THE 2015 INTERNATIONAL BUILDING CODE AND LOCAL CODES. ALL ELECTRICAL, PLUMBING, AND MECHANICAL WORK SHALL CONFORM TO ALL NATIONAL, STATE, AND LOCAL CODES.
2. THIS LAYOUT WAS BASED ON THE GIVEN CONFIGURATION AND FEATURES OF THE EXISTING STRUCTURE. DIMENSIONS ARE GIVEN AS GUIDES TO ESTABLISH THE LAYOUT WITHIN THE EXISTING STRUCTURE. THE GENERAL CONTRACTOR & EACH SUBCONTRACTOR SHALL CAREFULLY SURVEY AND EXAMINE THE EXISTING STRUCTURE IN ESTABLISHING LAYOUT OF THE WORK IN ORDER TO ASSURE PROPER FIT AND ALIGNMENT OF THE NEW WORK WITH PROPER RELATIONSHIP TO EXISTING FEATURES. WHEN ESTABLISHING LAYOUT, CONTRACTOR SHALL CONTACT ARCHITECT FOR APPROVAL BEFORE COMMENCING WITH CONSTRUCTION.
3. BEFORE SUBMITTING A PROPOSAL THE CONTRACTOR SHALL VISIT THE PREMISES, FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS & SATISFY THEMSELVES AS TO THE NATURE AND SCOPE OF THE WORK & THE DIFFICULTIES THAT ATTEND TO ITS EXECUTION.
4. MATERIALS, WORKMANSHIP AND INSTALLATION SHALL BE IN STRICT COMPLIANCE WITH NOT ONLY THE MANUFACTURERS' PRINTED INSTRUCTIONS, BUT ALSO THE STANDARDS OF RECOGNIZED AGENCIES OR ASSOCIATIONS.
5. ALL MATERIALS SHALL BE NEW, UNLESS OTHERWISE SPECIFIED.
6. PROVIDE TEMPORARY PROTECTION OF MATERIALS AND EQUIPMENT.
7. CONTRACTOR SHALL PROTECT EXISTING PREMISES FROM DAMAGE DURING CONSTRUCTION.
8. IT IS INTENDED THAT THE CONTRACTOR PROVIDE A COMPLETE JOB. ANY OMISSIONS IN THESE GENERAL INSTRUCTIONS OR THE OUTLINE OF WORK ARE NOT TO BE CONSTRUED AS REMOVING SUCH ITEMS FROM THE RESPONSIBILITIES OF THE CONTRACTOR.
9. TIME REQUIRED TO COMPLETE THE PROJECT SHALL BE STATED IN CONTRACTOR'S PROPOSAL. AFTER AWARD OF JOB, CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE FOR REVIEW, INDICATING THE SEQUENCE OF OPERATIONS AND TIME REQUIRED FOR EACH, ESTABLISHING A TARGET DATE.
10. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN THE APPROPRIATE TRADES. CONTRACTOR SHALL KEEP SUFFICIENT WORKMEN ON THE JOB AT ALL TIMES TO PERFORM THE WORK IN THE MOST EXPEDITIOUS MANNER CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE AND IN THE BEST INTERESTS OF THE PROJECT.
11. NO SUBSTITUTIONS WILL BE ACCEPTED UNLESS SUBMITTED IN WRITING TO ARCHITECT/OWNER & APPROVED BY ARCHITECT/OWNER.
12. CONTRACTOR SHALL PROVIDE PROPER PROTECTION FOR ALL EXISTING WORK, FURNISHINGS AND FIXTURES LIKELY TO BE DAMAGED. WHEN EXTERIOR OPENINGS ARE MADE IN EXISTING WORK, THEY SHALL BE COVERED WITH WATERTIGHT PROTECTION AT THE END OF THE DAY'S WORK.
13. PATCH, REPAIR AND REPLACE ALL EXISTING WALLS, CEILINGS AND FLOORS DAMAGED DUE TO NEW CONSTRUCTION.
14. STARTING TIME AND COMPLETION FOR CONSTRUCTION IS TO BE COORDINATED WITH OWNER AND AGREED UPON BY BOTH PARTIES.
15. CONTRACTOR IS EXPECTED TO WORK ON JOB WITHOUT ANY UNREASONABLE DELAY. IF A DELAY IS TO OCCUR, NOTIFICATION TO THE OWNER SHALL BE REQUIRED.
16. WORK PERFORMED OVER ANY SURFACE CONSTITUTES ACCEPTANCE OF THAT SURFACE FOR THE SPECIFIED QUALITY OF THE WORK BEING PERFORMED THEREON.
17. THE CONTRACTOR IS TO NOTIFY ARCHITECT IN WRITING OF ANY ADAPTATIONS TO THESE DRAWINGS OR SPECIFICATIONS REQUIRED BY LOCAL LIFE AND SAFETY CODES OR ANY OTHER GOVERNING AGENCY.
18. SINCE IT IS NOT POSSIBLE TO INDICATE ON THE DRAWINGS ALL THE EXISTING WORK TO BE REMOVED BY DASHED LINES OR NOTES, THE CONTRACTOR IS ADVISED TO ACQUAINT HIMSELF WITH THE ACTUAL CONDITIONS AT LOCATIONS WHERE ALTERATIONS OCCUR.
19. THE CONTRACTOR SHALL REPORT TO ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK OF THIS CONTRACT.
20. ALL CONSTRUCTION AND SUBCONTRACTED WORK IS TO BE PERFORMED BY CONTRACTORS LICENSED IN THE STATE WHERE THE WORK IS BEING EXECUTED.
21. ALL CONTRACTORS ARE RESPONSIBLE TO CONFORM TO THE OWNER'S INSURANCE REQUIREMENTS AND TO PROVIDE A CERT. OF INSURANCE TO ALL PARTIES UPON AWARD OF CONTRACT.
22. ALL CONTRACTORS ARE TO CONFORM WITH THE BUILDING OWNER'S REQUIREMENTS FOR DELIVERY TO THE SITE AND STORAGE OF ALL CONSTRUCTION MATERIALS.
23. REMOVE DEBRIS AND ABANDONED ITEMS FROM AREA AND FROM CONCEALED SPACES. CONTRACTOR TO COORDINATE REMOVAL OF DEBRIS FROM SITE SO THAT IT DOES NOT INTERFERE WITH OWNER'S ACTIVITIES.
24. PROPERLY PREPARE ALL SURFACES BEFORE APPLICATION OF FINISHES, IN STRICT ACCORDANCE WITH THE PRINTED RECOMMENDATIONS.
25. EXECUTE PRIOR TO FINAL INSPECTION: CLEAN INTERIOR AND EXTERIOR SURFACES EXPOSED TO VIEW; REMOVE TEMPORARY LABELS, STAINS AND FOREIGN SUBSTANCES. CLEAN FIXTURES AND CABINETS TO A SANITARY CONDITION.
26. PERMITS:  
A. GENERAL CONTRACTOR / SUBCONTRACTOR IS RESPONSIBLE FOR ALL INFORMATION AND DESIGN (INCLUDING ELECTRICAL, SPRINKLER, AND MECHANICAL) REQUIRED BY LOCAL BUILDING OFFICIAL TO OBTAIN ALL NECESSARY BUILDING PERMITS FOR CONSTRUCTION.  
B. GENERAL CONTRACTOR SHALL PAY FOR ALL PERMITS REQUIRED, UNLESS OTHERWISE SPECIFIED BY OWNER.  
C. GENERAL CONTRACTOR SHALL OBTAIN FINAL CERTIFICATE OF OCCUPANCY UPON COMPLETION OF WORK AND SHALL FORWARD SAME TO OWNER.  
D. VERIFY PERMIT REQUIREMENTS WITH THE AUTHORITY HAVING JURISDICTION. ALL WORK BY TENANT'S EXPENSE.
27. CLEANING:  
A. MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATIONS OF WASTE, DEBRIS AND RUBBISH, CAUSED BY OPERATIONS.  
B. AT COMPLETION OF WORK, REMOVE WASTE MATERIALS, RUBBISH, TOOLS, EQUIPMENT, MACHINERY AND SURPLUS MATERIALS AND CLEAN ALL SIGHT-EXPOSED SURFACES. LEAVE PROJECT CLEAN AND READY FOR OCCUPANCY.
28. WARRANTIES:  
A. CONTRACTOR SHALL WARRANT THE WORK WILL BE FREE FROM DEFECTIVE MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER THE DATE OF OWNER'S ACCEPTANCE OR WITHIN SUCH PERIOD OF TIME AS MAY BE PRESCRIBED BY THE TERMS OF ANY APPLICABLE SPECIAL WARRANTY REQUIRED BY THE CONTRACT DOCUMENTS.
29. CONTRACTOR AGREES THAT HE IS SKILLED AND EXPERIENCED IN THE USE AND INTERPRETATION OF PLANS AND SPECIFICATIONS. HE HAS CAREFULLY REVIEWED THE PLANS AND SPECIFICATIONS FOR HIS PROJECT AND HAS FOUND THEM TO BE FREE OF AMBIGUITIES. FURTHER, HE HAS CAREFULLY EXAMINED THE SITE OF THE WORK AND FROM HIS OWN OBSERVATIONS HAS SATISFIED HIMSELF AS TO THE NATURE AND LOCATION OF THE WORK; THE CHARACTER, QUALITY, AND QUANTITY OF MATERIALS; THE DIFFICULTIES LIKELY TO BE ENCOUNTERED AND OTHER ITEMS FOUND ON THE JOB.
30. THE CONTRACTORS' EXPERIENCE, EXPERTISE AND PROFESSIONAL JUDGMENT SHALL NOT BE DISREGARDED DURING THE CONSTRUCTION PROCESS. THE CONTRACTORS' INPUT, COMMENTS AND RECOMMENDATIONS WILL BE WELCOMED AND EXPECTED BY THE OWNER AND THE ARCHITECT. CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED AND EMBRACED IF THEY HAVE MERIT AND A BETTER RESULT CAN BE ACHIEVED. SUCH CHANGES MAY NOT TAKE PLACE WITHOUT THE EXPRESS APPROVAL OF THE ARCHITECT/OWNER.
31. TENANT IS RESPONSIBLE FOR CODE COMPLIANCE
32. NOTHING SHALL BE CONSTRUED TO EXPAND LANDLORD'S SCOPE OF WORK BEYOND THAT IS CALLED FOR IN THE LEASE AGREEMENT.
33. ALL WORK ON APPROVED DRAWINGS IS BY TENANT.
34. TENANT GC MUST SCHEDULE PRE-CONSTRUCTION WITH MALL MANAGEMENT / OPERATION.
35. ALL ROOFING, FIRE ALARM AND FIRE PROTECTION MUST BE COMPLETED BY MALL REQUIRED CONTRACTORS AT THE TENANT'S EXPENSE.
36. MUST INSTALL BARRICADE WITH GRAPHICS PRIOR TO DEMO

**ALL NEW INTERIOR FINISHES SHALL COMPLY WITH 2015 INTERNATIONAL BUILDING CODE 2017 NEW YORK STATE SUPPLEMENTARY CODE 2015 EXISTING BUILDING CODE**

- INTERIOR WALL AND CEILING FINISHES & CORRIDOR FINISHES SHALL BE A MIN CLASS "C" FLAME SPREAD AND SMOKE DEVELOPMENT INDEX
- EXIT PASSAGE FINISHES SHALL BE A MIN CLASS "B" FLAME SPREAD AND SMOKE DEVELOPMENT INDEX
- INTERIOR FLOOR FINISHES SHALL COMPLY WITH THE DOC FF 1 "PILL TEST"

- PORTABLE FIRE EXTINGUISHERS**  
-EXISTING SPRINKLER SYSTEM SHALL BE MODIFIED PER NEW CONSTRUCTION TO PROVIDE THE REQUIRED COVERAGE FOR NEWLY CREATED SPACES. ALL SPRINKLER WORK/MODIFICATIONS SHALL BE DONE IN ACCORDANCE WITH NFPA 72.  
-G.C. SHALL PROVIDE ENGINEER STAMPED SPRINKLER DRAWINGS

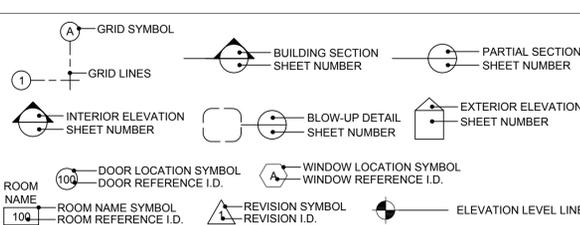
- PLUMBING**  
-ALL PLUMBING FIXTURES AND DRAINS USED TO RECEIVE OR DISCHARGE LIQUID WASTE SHALL BE DIRECTLY CONNECTED TO THE SANITARY DRAINAGE SYSTEM IN ACCORDANCE WITH 2015 IPC.  
-ALL PLUMBING FIXTURES AND APPLIANCES USING WATER SHALL BE CONNECTED TO THE WATER SUPPLY SYSTEM IN ACCORDANCE WITH 2015 IPC.  
-THE SUPPLY LINES AND FITTINGS FOR EVERY PLUMBING FIXTURE SHALL BE INSTALLED SO AS TO PREVENT BACKFLOW IN ACCORDANCE WITH ASME A 112.18.1  
-STRAINER PLATES AND DRAIN INLETS SHALL BE DESIGNED AND INSTALLED SO THAT ALL OPENINGS ARE NOT GREATER THAN 0.5" IN LEAST DIMENSION  
- OPENINGS FOR PIPES MADE IN FLOORS, WALL, AND CEILINGS SHALL BE CLOSED AND PROTECTED BY INSTALLATION OF APPROVED METAL COLLARS THAT ARE FASTENED TO THE STRUCTURE. EXTERIOR WALL AND ROOF OPENINGS SHALL BE MADE WATER TIGHT WITH APPROVED FLASHING.  
-BURIED PIPING SHALL BE SUPPORTED THROUGHOUT ITS ENTIRE LENGTH. PIPE TRENCHES SHALL BE LINED WITH FINE GRAVEL.  
-THE DESIGN OF WATER DISTRIBUTION SYSTEM SHALL CONFORM TO ACCEPTED ENGINEERING PRACTICE. METHODS UTILIZED TO DETERMINE PIPE SIZES SHALL BE APPROVED.  
-WATER SERVICE AND DISTRIBUTION PIPE SHALL CONFORM TO NSF 61.  
-NEW PLUMBING FIXTURES SHALL BE ACCESSIBLE FIXTURES.

- ANY CHANGES AND / OR UPGRADES TO TENANT'S EXISTING PLUMBING SYSTEMS SHALL COMPLY WITH 2015 IPC AND MALL CRITERIA. EXISTING SYSTEMS SHALL POSSESS THE CAPACITY TO HANDLE ANY AND ALL CHANGES IN LOAD.  
- ALL WATER LINES SHALL BE COPPER - PVC IS NOT PERMITTED. THERE SHALL BE NO PIPING JOINTS OF FITTINGS INSTALLED IN WATER PIPING BELOW THE FLOOR SLAB.  
ALL DRAIN, WASTE AND VENT FITTINGS ABOVE GRADE MUST BE CAST IRON PIPE.  
-PLUMBING IS NOT PERMITTED IN ANY DEMISING PARTITIONS. FURR OUT THE WALL AS NECESSARY. EXHAUST AND PLUMBING VENTS SHALL BE LOCATED A MINIMUM OF 10'-0" AWAY FROM ANY OUTSIDE AIR INTAKE, AND 5'-0" FROM ANY DEMISING WALL VERTICAL PLANE.  
-ALL FLOOR DRAINS ARE REQUIRED TO HAVE TRAP PRIMERS.  
-TOILET ROOMS REQUIRE FLOOR DRAINS WITH TRAP PRIMERS  
-ANY UNUSED PLUMBING EQUIPMENT, PIPING, ETC. WITHIN OR SERVING THE PREMISES MUST BE COMPLETELY REMOVED TO POINT OF ORIGIN. DO NOT ABANDON IN PLACE.  
-ALL FLOOR PENETRATIONS MUST BE CORE BORED, SLEEVED, GROUTED, SEALED AND MADE WATERPROOF. SLEEVES MUST EXTEND A MINIMUM OF 4" AFF.  
-IF NOT ALREADY EXISTING, INSTALL A SHUT OFF VALVE ON DOMESTIC WATER LINE INSIDE SPACE.  
-TENANT IS REQUIRED TO INSTALL A WATERPROOF MEMBRANE IN ALL WET AREAS (RESTROOMS, KITCHENS, FOOD SERVICES, ETC.) OF THE SPACE. TENANT SHALL USE A 30 MIL POLYETHYLENE CLEAVAGE MEMBRANE (EQUAL TO NOBLESEAL TS) INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND ANSI A108. MEMBRANE MUST BE EXTENDED UP THE WALL A MINIMUM OF 4" OR EQUAL TO THE HEIGHT OF THE FLOOR BASE.  
-DO NOT CONNECT HAND-WASH SINKS, TOILET ROOM FIXTURES OR GARBAGE DISPOSALS TO THE GREASE INTERCEPTOR.  
-PROTECTION IS NEEDED IN WET AREAS.

- GAS**  
-TENANT SHALL PROVIDE AN EMERGENCY GAS SHUT-OFF VALVE FOR ALL GAS SUPPLIED KITCHEN EQUIPMENT, LOCATE IN READILY ACCESSIBLE AREA.

- ELECTRICAL**  
-NEW ELECTRICAL COMPONENTS, INCLUDING OUTLETS & LIGHTING, AND ALTERATIONS TO EXISTING ELECTRICAL INSTALLATIONS SHALL CONFORM TO NFPA 70.  
-ALL ELECTRICAL PANELS TO BE MOUNTED ON PLYWOOD BACKER BOARD.  
-ABSOLUTELY NO FLEXIBLE CONDUIT IS PERMITTED IN DEMISING WALLS. FLEXIBLE CONDUIT IS PERMITTED FOR SHORT, FINAL CONNECTIONS ONLY (6'-0" OR LESS).

**REFERENCE SYMBOLS**



**ELECTRICAL (CONTINUED):**

- EXPOSED CONDUIT SHALL BE INSTALLED IN STRAIGHT LINES, PARALLEL OR IN RIGHT ANGLES TO THE BUILDING STRUCTURE. DO NOT LOOP EXCESS FLEXIBLE CONDUIT IN CEILING SPACE OR WALL CAVITY.
- CABLE TYPES AC AND NM CABLES ARE NOT ACCEPTABLE. TYPE MC CABLE, ELECTRIC METALLIC TUBING (EMT) AND RIGID GALVANIZED CONDUIT ARE PERMITTED.
- ALL EQUIPMENT, DEVICES AND FIXTURES SHALL BE GROUNDED IN COMPLIANCE WITH NEC AND UL REQUIREMENTS.
- ALL PANELS TO BE UL LABELED WITH BOLT ON TYPE CIRCUIT BREAKERS.
- 7 DAY, 24 HOUR TIME CLOCK IS REQUIRED TO CONTROL STOREFRONT SIGNAGE, SHOW WINDOW LIGHTS, SHOW WINDOW RECEPTACLES, STOREFRONT SIGNAGE & MENU BOARD. ILLUMINATED STOREFRONT SIGNS MUST REMAIN LIT DURING ALL MALL BUSINESS HOURS.
- TENANT IS REQUIRED TO MAKE A FIELD SURVEY OF THE EXISTING ELECTRICAL SERVICE TO ENSURE THAT THE TOTAL CONNECTED LOAD DOES NOT EXCEED THE ELECTRICAL SERVICE. ANY / ALL MODIFICATIONS OR UPGRADES NEEDED ARE SUBJECT TO LANDLORD'S PRIOR APPROVAL, AND WILL BE COMPLETED BY TENANT / TENANT'S GC, AT TENANT'S SOLE EXPENSE.
- COORDINATE ALL SERVICE TIE-INS AND SERVICE INTERRUPTIONS WITH THE MALL MANAGER OR OPERATION DIRECTOR.
- PANEL PHASE LOADS TO BE BALANCED WITHIN 10%.
- ELECTRICAL PANELS MAY NOT BE RECESSED IN DEMISING PARTITIONS. SURFACE MOUNT OR FURR OUT WALL TO ACHIEVE FLUSH FINISH APPEARANCE.
- ONLY 30 KVA AND SMALLER TRANSFORMERS MAY BE SUSPENDED FROM BUILDING STRUCTURE. ALL OTHER TRANSFORMERS MUST BE FLOOR SUPPORTED.
- GC TO PROVIDE A LOAD CALCULATION REPORT & DOCUMENTATION IF REUSING EXISTING EQUIPMENT. VERIFY ALL EQUIPMENT IS IN GOOD WORKING CONDITION. REMOVE ALL EQUIPMENT THAT HAS BEEN ABANDONED AND MAKE SAFE.
- ALL PANELS SHALL BE INSTALLED ON PLYWOOD BACKERBOARDS
- ANY CHANGES AND / OR UPGRADES TO TENANT'S EXISTING MECHANICAL SYSTEMS SHALL COMPLY WITH ALL CODES AND MALL CRITERIA. EXISTING SYSTEMS SHALL POSSESS THE CAPACITY TO HANDLE AND ALL CHANGES IN LOAD.  
-NO PITCH POCKETS ARE PERMITTED ON THE ROOF FOR ANY CONDENSATE DRAINS, REFRIGERANT PIPING, POWER OR CONTROL WIRING. ALL CONNECTIONS ARE TO BE MADE INSIDE THE EQUIPMENT CURB OR THROUGH PRE-MANUFACTURED PIPING CURBS.  
-ALL PENETRATIONS TO ROOF MUST BE APPROVED BY LANDLORD. ALL RELATED ROOF WORK MUST BE DONE BY MALL'S DESIGNATED ROOFING CONTRACTOR, AT TENANT'S EXPENSE. COORDINATE ALL WORK WITH PROPERTY MANAGEMENT ON SITE.  
-TENANT MUST REMOVE ALL ABANDONED ROOFTOP AND / OR MECHANICAL EQUIPMENT ABOVE AND WITHIN THE LEASED PREMISES, AT TENANT EXPENSE. PATCH AND REPAIR ROOF AS NEEDED.  
-TENANT'S GC TO LABEL ALL ROOFTOP EQUIPMENT WITH TENANT NAME, SPACE NUMBER AND EQUIPMENT IDENTIFICATION (RTU-1, EF-1), PER MALL SPECIFICATIONS / STANDARDS.  
-ALL PIPING ON ROOF SHALL BE SUPPORTED ON PRE-MANUFACTURED PIPE SUPPORTS INSTALLED ON CARRY TREAD, SPACED PROPERLY TO SUPPORT PIPING. TREATED WOOD SUPPORTS NOT PERMITTED.  
-ALL UNEXPOSED SUPPLY AIR AND OUTSIDE AIR DUCTWORK SHALL BE EXTERNALLY INSULATED WITH 1 1/2" THICK FOIL FACE INSULATION. INTERNALLY LINED DUCTWORK MAY BE USED FOR ACOUSTIC PURPOSES ONLY, NOT AS A SUBSTITUTE FOR EXTERNAL INSULATION.  
-ALL DUCTWORK SHALL BE SHEET METAL. FLEX DUCT MAY ONLY BE USED IN RUNS OF 5'-0" OR LESS.  
-AT CONCLUSION OF PROJECT, HVAC SYSTEM MUST BE TESTED AND BALANCED BY A LICENSED CONTRACTOR. COPY OF BALANCE REPORT MUST BE PROVIDED TO PROPERTY MANAGEMENT OFFICE ON SITE.

**CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA**

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMPERATURE	ICE SHIELD UNDERLYMENT REQUIREMENT	FLOOD HAZARDS
			WEATHERING	FROST DEPTH LINE	TERMITES	DECAY			
45 PSF	90 - 100 MPH	C	SEVERE	42"	MODERATE HEAVY	SLIGHT MODERATE	7° F	YES	361227A 3/84



No.	DATE	ISSUE
1	08/22/19	ISSUED

PROJECT NAME:  
NEW BACK ENTRANCE  
IMAGINE VR STUDIOS

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TITLE SHEET  
NOTES  
LOCATION & TAX MAPS

SCALE:	A5 NOTED	DATE:	08-22-2019
PREPARED BY:	MAP	1-100	1 OF 1
CHECKED BY:	MAP		