

GENERAL CONSTRUCTION NOTES

GENERAL REQUIREMENTS AND INFORMATION

- The Contractor accepts the responsibility to provide all items and services required to perform the required work to complete the project in conformance with all the notes, details, drawings, etc. contained within this set of construction documents.
- It is the responsibility of the Contractor to carry out the work as specified within this set of Drawings and Specifications and in accordance with all codes, rules and regulations governing, along with all the manufacturer's recommendations and installation instructions.
- All work shall be executed and shall comply with local town and county municipalities having authority, The Building Code of New York State and any other applicable codes & agencies having jurisdiction. In all cases, the most restrictive limitation of any applicable code shall be followed by the Contractor. Contractor shall be licensed and insured.
- Contractor and all trades shall refer to all drawings within this set as work for each trade may appear on any drawing. G.C. and all trades shall refer to, follow and adhere to the Specifications within this set and in conjunction with the plans and details.
- Contractor to follow the Building Department approved set of documents. Any previous sets of documents provided by the Owner or Architect are for reference purposes only unless specifically indicated thereon.
- All work shall be executed in accordance with the best acceptable trade practices, per Manufacturers recommendations, & per requirements of the Code. Owner, Building Official and Architect reserve the right to reject unacceptable work at the expense of the Contractor.
- All fixtures, finishes, furnishings, equipment, hardware, etc. as part of the Contractor's scope and responsibility shall be in compliance with this set of Construction Documents and the Code.
- Use dimensions and notes - DO NOT SCALE OFF OF DRAWINGS.
- Contractor to notify the Architect and Owner in a timely manner when the work will begin on the project.
- Contractor to coordinate Owner supplied material with Contractor's work. All furniture by Owner unless otherwise noted.
- It is the Contractor's responsibility to maintain a set of drawings on site that contain any Architect-approved changes made during construction. These are for the purpose of the Contractor to submit as as-built drawings.
- Architect has not been retained by Owner for field-observation services during construction. Architect shall bear no responsibility for inspections, close-out documents, affidavits, as-built drawings, etc.
- No responsibility has been assumed by the Architect for information supplied by others and believed by the Architect to be reliable, nor any latent defects in the existing structure which were concealed or impossible to detect without substantial and/or extensive probing or testing. Architect assumes no liability for any work not in conformance with the Code for existing conditions shown hereon.
- The Architect will not be held liable for any unsatisfactory Work performed, the quality of craftsmanship, means and methods of construction and site safety, exceptions of failed inspections by the local municipality, delays, or any other deficiencies in the work performed.
- These Construction Documents are the property of the Architect. Additional sets of these documents can be provided by the Architect for a fee charged to the requesting party.
- No part of this document or design may be reproduced, stored in any system of any kind, nor distributed in any way without the expressed written permission of the Architect. Any entity using these drawings and/or designs without proper authorization will be liable for legal action and/or compensation to the Architect.

PERMITS

- With exception to the initial building permit, all permits shall be secured by, and at the expense of, the Contractor and shall give all notices and requests for all testing and inspections required by the governing jurisdiction.
- All Trades (i.e. Plumbing, Sprinkler, Fire Alarm, Elevator, Electrical, etc.) shall file for, pay for, and obtain their respective permits and inspections. These Contractors shall obtain all required close-out procedures necessary to receive a final Certificate of Occupancy. These permits and inspections are separate from the main Building Permit. Electrical and Plumbing Contractors are to be fully licensed and insured.
- No work shall start until all the applicable permits are issued.

SUBSTITUTIONS

- No substitutions shall be made without consulting the Architect first.
- Any substitution to any specified materials or assemblies requested by the Contractor shall be presented to the Architect in a timely manner prior to the ordering of materials or starting of associated Work.
- Contractor shall furnish to the Architect all product data, test report data, code related material, etc. regarding the substitution (if applicable) along with a signed approval by the Owner indicating that the Owner has approved such substitution pending the approval of the Architect.
- The Architect reserves the right to reject such substitution for any reason. In the event of a rejection, the Contract amount shall not be increased using the specified material over the requested substitution.

EXECUTION OF WORK

- Contractor to verify all existing conditions prior to the start of related work. Any discrepancies found shall be brought to the Architect's attention in a timely manner and prior to the commencement work at that location or condition.
- All work and installation shall be performed by skilled and professional individuals specializing in that field of work or installation.
- Contractor to institute & maintain all safety measures and shall provide all equipment and temporary construction necessary to safeguard all persons & property.
- Contractor is responsible for all temporary supports and shoring, means and methods of construction, temporary services, protection against weather, coordination of trades and services, etc.
- Contractor shall notify Architect during the demolition phase of any questionable condition of exposed materials that are to remain, along with all load-bearing members, etc. Any discrepancies found between those uncovered in the field and those indicated on the Drawings shall be brought to the Architect's attention in a timely manner.
- The Contractor shall coordinate and cooperate with all other Contractors and shall out, lay and install their work at such a time and manner so that no delay or interference with the carrying forward of the work of other Contractors shall occur.
- All new construction to align with existing unless otherwise indicated.
- Any damage caused by the Contractor(s) during construction shall be repaired or replaced as required. In the case of existing construction, repairs shall be made to match existing. In the case of new construction, repairs shall be made to a like-new condition. All patching & repainting shall be done with material & workmanship to match adjacent.
- All construction debris & refuse shall be collected into dumpsters or other collection devices at the end of each workday and legally disposed of off the property at intervals appropriate to the quantity of debris requiring removal from the site.

INSPECTIONS

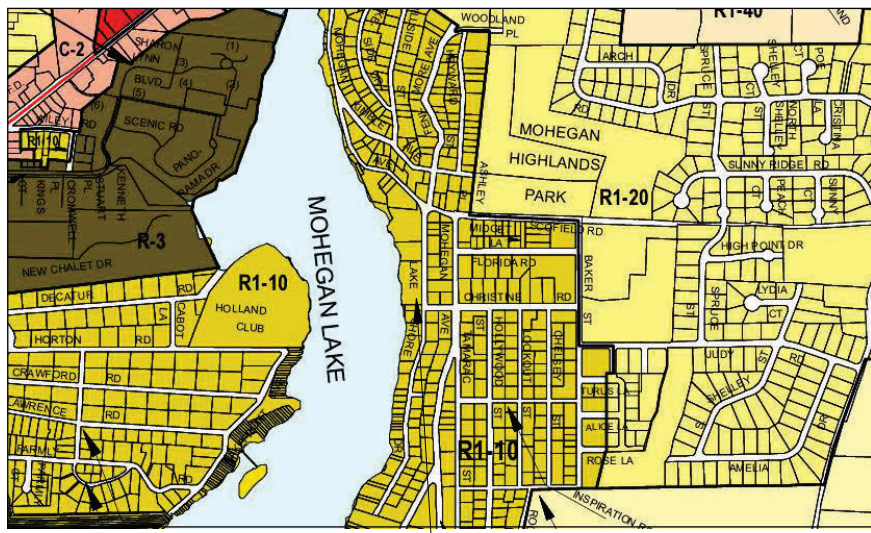
- Contractor responsible for scheduling of all required inspections amongst trades.
- Contractor shall be responsible to coordinate both the work requiring inspections and the scheduling of inspections with the authority having jurisdiction.
- Contractor shall coordinate work with inspections to not delay the progress of the project schedule.
- Contractor is responsible for rectifying any construction, items, assemblies, etc. that has failed inspections or that has been rejected by the inspector at the Contractor's own cost and without delay to the project schedule.
- Architect will not provide inspections, affidavits, certifications or signoffs on any construction or items that require inspection.
- The Architect may arrive on site for field observations. The Architect's presence on the site in no way relieves the Contractor of his duties to perform the Work in accordance with the Contract Documents, the rules and regulations mandated by the local municipality, or the requirements of the Code.
- Architect's site observations are not to be construed as Construction Supervision.
- Any site observations performed are solely for determining if the Contractor is following the Contract Documents for the general design intent. Any items or work found unsatisfactory by the Architect shall be remedied at the Contractor's expense and shall not affect the project schedule.

CLOSE-OUT

- The Contract shall be deemed complete only when all applicable and required close-out documents are in order.
- All applicable and required close-out documents shall be prepared by and filed by the Contractor.
- Contractor shall provide to the Owner all warranty and guaranty information provided by the appropriate manufacturers and installers and shall inform the Owner of all warranties and guaranties associated with said Work.
- Warranty and guaranty and product information for all systems and equipment shall be provided in an organized manner within a binder for the Owner's records.
- Any required surveys (final, progress, foundation, etc.) shall be coordinated between the Owner and Contractor and provided by the Owner.
- Architect (or Engineer) are not retained to provide as-built drawings for this project. If required by the Authority Having Jurisdiction or requested by Contractor / Owner, the Architect (or Engineer) shall provide them for a fee.

HAZARDOUS MATERIALS

- Architect not responsible for the design, designation, location, or assembly of any temporary shoring. If advanced shoring may be required, the Contractor shall provide their own NYS Licensed Structural Engineer to design the appropriate shoring and shall provide signed and sealed drawings for the Building Department as necessary.
- If asbestos, or any other toxic substance, or risk to exposure thereto, is discovered during Work on the project, Contractor shall have the duty to inform the Owner and to coordinate and promptly retain a qualified expert to identify and safely remove or supervise the removal and the monitoring of the removal of such asbestos or other toxic substance.
- The removal and disposal of any asbestos containing materials, hazardous materials, or any toxic or controlled materials, from the premises shall be performed and carried out by the Contractor performing such work in strict accordance with New York State, Federal, and Local Government, OSHA and EPA guidelines and requirements.
- Owner and Contractor shall indemnify and hold Architect harmless from any and all liability on the part of or damage to such entity, including the costs of any legal fees and expenses, as such fees and expenses are incurred, which may result from asbestos or other toxic substance exposure on the project. Contractor shall hold harmless the Owner, the Architect, Engineers, and Professional Consultants related to this project, against claims for damages by any party, including legal fees, which may result in any way from this Work.



LOCATION MAP

No Scale



AERIAL VIEW

No Scale

DEMOLITION NOTES

ADMINISTRATION

- The G.C. and Subcontractors shall perform all demolition work as necessary in order to carry out the Work within this Contract. The contractor shall not consider these demolition notes to be all-inclusive. It is the Contractor's responsibility to inspect and assess each area and to fulfill the intent of the design indicated by the contract documents. Contractor shall coordinate demolition work with HVAC, electrical, fire protection and plumbing trades and proposed work and carry out such work accordingly. All necessary disconnects of equipment and systems shall be included.
- The General Contractor shall visually inspect all existing conditions and shall coordinate any outstanding demo issues with the Architect prior to beginning work. G.C. shall notify Architect of discrepancies between existing conditions and Drawings before proceeding with any Work. Some portions of the Work may not specifically or graphically be shown on the plans but shall be included as a requirement for Work to be performed (i.e. electrical wiring, ductwork, hardware, etc.)
- It shall be the responsibility of the Contractor to apply for, pay for, and obtain Demolition permit. All applicable permits, inspections, approvals, etc. shall be applied for and paid for by the trade Contractor(s) required to do so in the field of their Work. Contractor shall be responsible for the coordination of inspections and approvals of said Work. A copy of the municipality approved plans, stamped with the permit number, shall be kept at site together with any revisions and addenda made during construction.
- Architect is not retained for supervision of construction demolition nor for construction demolition methods, safety procedures and programs, scheduling, delays, or compliance with contract documents. However, the Architect may observe the Work in progress by means of periodic site visits. If requested, the Architect will provide interpretation of the drawings and code requirements as necessary. These observations and interpretations do not relieve the Contractor from any responsibility to carry out the Work in accordance with the Contract Documents or requirements of the Building Code or municipalities having jurisdiction.
- Contractor shall coordinate start date, duration and times of demolition work with Owner. Contractor shall comply with any requirements or restrictions of the local municipality for permitted times of Work.
- Contractor shall comply with hauling and disposal regulations of authorities having jurisdiction. Comply with ANSI A I O.G and NFPA 24 I and all standards required by Authorities having Jurisdiction if required for this project.
- Contractor shall coordinate start date, duration and times of demolition work with Owner. Contractor shall comply with any requirements or restrictions of the local municipality for permitted times of Work.
- Any controlled inspections and/or certifications required by governing authorities having jurisdiction over the project shall be performed and certified by a licensed Professional Engineer either retained by the Owner or the General Contractor. This must be coordinated between the two parties prior to the start of the Work.
- Demolition work is intended to include all associated built-in items such as electrical/data outlets, switches, conduits, controls, piping, mounting blocks, etc. Demolition Work shall include all existing conduit and wiring back to panel and all abandoned plumbing and waste lines back to the supply and waste mains.
- The General Contractor, and/or Plumbing Contractor and Electrical Contractor, must contact the corresponding utility company in advance of any Work requiring removal, modification, or replacement of services and/or meters. Each Contractor is responsible, in a timely manner, for acquiring permits and paying such fees, scheduling inspections and acquiring all approvals and close-out documents and procedures as required by the associated utility company or service.
- Conduct demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and other adjacent occupied and used facilities. Provide temporary barricades and other protection required to prevent injury to people and damage to adjacent buildings and facilities to remain and to ensure safe passage of people around Work area and to and from occupied portions of building.
- All Work in a public Right of Way is subject to the requirements of the D.P.W. and/or Town Engineer. Contractor shall be responsible for acquiring a permit from D.P.W. for this Work, providing and acquiring bond, adhering to all D.P.W. specifications and obtaining written approval from D.P.W. and/or Town Engineer at completion of Work.

HAZARDOUS MATERIALS

- Architect not retained, nor responsible, to locate or for the identification, removal, testing and / or certification of removal relative to any hazardous substance including, but not limited to, PCBs, petroleum, mold infestation, hazardous waste, asbestos, lead paint, lead piping, and similar substances.
- If asbestos, or any other toxic substance, or risk to exposure thereto, is discovered during Work on the project, Contractor shall have the duty to inform the Owner and to coordinate and promptly retain a qualified expert to identify and safely remove or supervise the removal and the monitoring of the removal of such asbestos or other toxic substance.
- The removal and disposal of any asbestos containing materials, hazardous materials, or any toxic or controlled materials, from the premises shall be performed and carried out by the Contractor performing such work in strict accordance with New York State, Federal, and Local Government, OSHA and EPA guidelines and requirements.
- Owner and Contractor shall indemnify and hold Architect harmless from any and all liability on the part of or damage to such entity, including the costs of any legal fees and expenses, as such fees and expenses are incurred, which may result from asbestos or other toxic substance exposure on the project. Contractor shall hold harmless the Owner, the Architect, Engineers, and Professional Consultants related to this project, against claims for damages by any party, including legal fees, which may result in any way from this Work.

STRUCTURE AND SHORING

- Architect not responsible for the design, designation, location, or assembly of any temporary shoring. If advanced shoring may be required, the Contractor shall provide their own NYS Licensed Structural Engineer to design the appropriate shoring and shall provide signed and sealed drawings for the Building Department as necessary.
- Contractor shall provide and be responsible for all temporary shoring (shoring, needle beams, temporary posts, temporary beams, temporary girders, etc.) as may be required for this Work and for the support and stability of the for support of load-bearing elements that are to remain in a safe and secure manner during demolition, modification, erection Work, or any other Work on this project.
- General Contractor shall be responsible for all The General Contractor, or the scaffolding contractor, shall provide to the Architect and (if required) the Building Inspector, a stamped plan or specification prepared by a New York State Licensed Professional Engineer for any lateral and vertical temporary supports and sidewalk bndging.

EXECUTION

- Except for items or materials indicated to be recycled, reused, salvaged, reinstalled, or otherwise indicated to remain Owner's property, remove demolished materials from Project site and legally dispose of them.
- Contractor shall maintain all measures of sanitation (HEPA filters, negative pressurized areas, compartmentalization measures, sticky mats, etc.) as required by applicable Authorities Having Jurisdiction over this project.
- Provide dumpster for debris removal. Coordinate location with Owner. Remove demolition materials by the end of each work day and vacuum public/common areas before leaving Site. Transport demolished materials off property and legally dispose of them at intervals as necessary to prevent build-up or overflow of demolished material.
- Remove debris from elevated portions of building by chute, hoist, or other device that will convey debris to grade level in a controlled descent. Do not allow demolished materials to accumulate on-site. Do not burn demolished materials. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas.
- G.C. shall be responsible to protect all interior walls, ceiling and floors, MEP systems, etc. that are to remain during demolition and construction from damage. G.C. shall be responsible for the replacement, repair and refinishing of any items that are damaged because of demolition activities.
- Maintain existing services/systems to adjacent properties, spaces, tenants, etc. that not part of the Work but that are supplied by any services being affected by the Work. Provide temporary services if existing is insufficient.
- Maintain fire-protection facilities in service during course of the Work as required by the local municipality. Coordinate times, locations and zones of any areas where fire protection or life safety or critical operating services need to be suspended or offline with the Owner in advance of any work that may affect such operation. Do not proceed with any demolition work of these items without obtaining approval and/or notice by the Owner.
- Provide temporary weather protection to prevent water leakage and damage to structure and interior areas. Protect walls, ceilings, floors, and other existing finish Work that are to remain or that are exposed during the Work. Cover and protect furniture, furnishings, and equipment that have not been removed.
- Patch any damage to walls, floors and ceilings separating adjacent tenants and common paths of egress to a condition necessary to maintain the appropriate existing fire separation. This includes the installation of smoke sealant at wall joints, wall to ceiling, wall to floor, and pipe/duct/electrical penetrations.
- Contractor shall maintain all fire separations between occupancies, spaces, shafts, etc. that are required to be rated. Any assemblies discovered that are to be rated, which are not, shall be brought to the Owner's and Architect's attention in a timely manner prior to continuing work associated with that condition.
- Contractor shall provide and maintain temporary lighting for safety purposes and shall provide temporary electric and plumbing as necessary to carry out the demolition work. Contractor shall provide and maintain fire extinguishers on site during the work. Type of extinguisher shall be determined by the nature of the work. Fire extinguishers shall always be readily accessible.
- Patch all construction and assemblies that are to remain in accordance with the contract drawings. Where contractor is designated to make removals, disposition of materials is the responsibility of the contractor. Verify with owner, the disposition and removal of any components of salvageable value.
- Clean spaces, surfaces, adjacent structures and improvements of dust, dirt, and debris caused by demolition operations— this includes areas of travel, dumpster and carting locations and locations outside the Area of Work. Return adjacent areas to condition existing before selective demolition operations began.
- Patch or rebuild any areas to remain that have been damaged or disturbed by HVAC, electrical, fire protection and plumbing demolition.

Toilet Room Repairs

Level-2 Alteration

Mohegan Lake Beach Park

(Mohegan Beach Park District)

Lakeshore Drive

Mohegan Lake, NY 10547

Zone: R1-10 Parcel: 15.20-2-8 Lot Area: 1.35 Acres

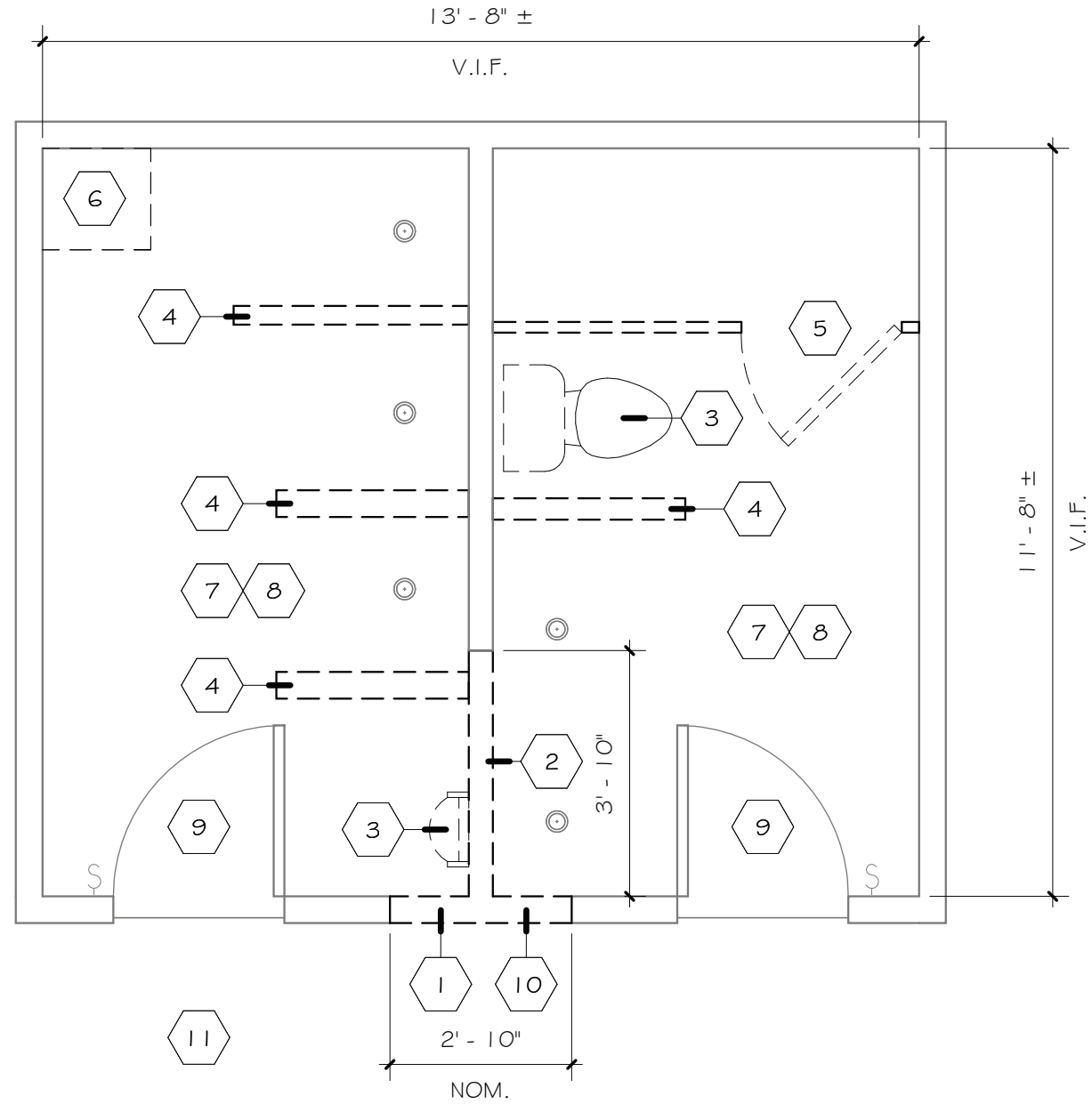
Const. Type: V-B (combustible) Use: B-Use

WALL GRAPHICS LEGEND

EXISTING TO REMAIN

DEMOLISHED

NEW



FLOOR PLAN - DEMOLITION

3/8" = 1'-0"

DEMOLITION KEY



SYMBOL ON PLAN REFERENCES KEYNOTES BELOW

- REMOVE PORTION OF EXISTING EXTERIOR WALL FOR NEW DOOR: SALVAGE SIDING (DAMAGE AS LITTLE AS POSSIBLE) AND PROVIDE TO OWNER FOR FUTURE USE
- REMOVE PORTION OF WALL FOR NEW CLOSET
- REMOVE EXISTING PLUMBING FIXTURE, VALVES AND ROUGH PLUMBING (PREP FOR RE-TOUTING TO NEW LOCATION)
- REMOVE EXISTING TOILET PARTITIONS AND ASSOCIATED POSTS
- REMOVE EXISTING CLOSET AND ASSOCIATED SHELVING AND DOOR
- REMOVE EXISTING VANITY FRANE
- REMOVE EXISTING LIGHTING AND ANY ASSOCIATED WIRING THAT WILL BE ABANDONED
- REMOVE ANY DAMAGED WALL FINISH AFFECTED BY MOLD, ROT OR DAMAGE THAT WOULD INHIBIT THE PROPER INSTALLATION OF PROPOSED FINISHES
- REMOVE EXISTING DOOR LOCKSETS AND PREP FOR NEW LEVER LOCKSETS
- REMOVE EXISTING EXTERIOR LIGHTING FIXTURE AND PREP FOR NEW
- REMOVE PORTIONS OF EXISTING ASPHALT AS NECESSARY FOR CONSTRUCTION OF NEW SLAB ON GRADE

DAVID A. TETRO
ARCHITECT P.C.



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Project Title:

Toilet Room Upgrades

Client:

Mohegan Lake Beach
Park

Address:

Lakeshore Drive
Mohegan Beach, NY 10547

LIST OF DRAWING SHEETS

No.	SHEET NAME
A.01	PROJECT INFORMATION AND DEMOLITION
A.02	PLANS AND ELEVATIONS
A.03	SPECIFICATIONS AND MISC. DETAILS

REVISIONS

No.	Description	Date

Seal:



License No: 028059 expiration May 31, 2027

It is a violation of the New York State Law to alter these documents in any way once the Architect's seal and signature have been applied.

Contractor and all trades shall refer to all drawings within this set as work for each trade may appear on any drawing. G.C. and all trades shall refer to, follow and adhere to the Specifications within this set in conjunction with the plans and details.

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Status:

Issued for Permit and Construction

Project No.:

24 . 39

Issue Date:

01 . 24 . 25

Sheet Title:

PROJECT INFORMATION
AND DEMOLITION

Sheet No.:

A.01

1. All hardware to comply with Chapter 10 and Chapter 11 of the New York State Building Code.
2. Finish all keying and hardware with Owner prior to placing order.
3. Verify all of accessories (lock-plates, wall stops, weather-stripping, etc.) and hardware to be coordinate w/ Owner prior to Contractor completing hardware schedule.
4. Provide silencers on all doors and weather stripping on all rated and exterior doors.
5. All lock sets shall have push-bars (on non panic devices) or lever-actuated handles (on non-panic devices) complying with ANSI A177.1.
6. Door heads shall be aligned with each other and door bottoms shall be under as needed for double doors.
7. Provide compliant hardware at all rated doors.
8. Refer to Specifications for additional information.

1. Contractor shall provide submittals to Architect for approval on all fixtures, hardware and accessories.
2. Toilet shall be floor-mount, two-piece, flush tank type with max. volume per flush of 1.28 gallons. Fixture shall be white vitreous and shall be ANSI A117.1 compliant. Provide toilet seat, American Standard CADET or equal.
3. Lavatory shall be wall-mount with 4" centers for faucet. Fixture shall be white vitreous and shall be ANSI A117.1 compliant. Provide strainer at drain. American Standard DECORUM or equal.
4. Lavatory faucet shall be 4" center-set, wrist-bale, chrome-finish and shall be ANSI A117.1 compliant. American Standard MONTERY or equal.
5. Point of use hot water device (1 per lavatory) to be Rheem RTEX-04 or equal. Provide ANSI A117.1 compliant grab bars as shown on the drawings.
6. Bidnorc or equal.
7. Provide and install mirror (B-165B), toilet roll holder (B-2730), C-Fold paper towel dispenser (B-2620) and soap dispenser (B-2111), Bidnorc or equal.
8. Exposed piping beneath lavatories to be enclosed with pipe protection: TRU-BRO or equal.

NOTE: PROVIDE BLOCKING WITHIN WALLS TO SUPPORT GRAB BARS AS NECESSARY FOR SECURE INSTALLATION

[illegible]

① $1/4'' = 1'-0''$

EXISTING TO REMAIN

DEMOLISHED

NEW

EQ EQ EQ EQ

SMOKE DETECTOR

SWITCH FOR EXHAUST FAN: TYP.

SWITCH WITHIN TOILET (TYP.)

EXTENT WALL, INSULATION AND FINISH AT CENTER AND CLOSET WALLS TO UNDERSIDE OF RAFTERS AND SHEATHING

PRIME AND PAINT ALL EXPOSED RAFTERS AND SHEATHING HAIN BLUE; REMOVE ALL DEBRIS AND ABANDONED ANCHORS, FASTENERS, ELECTRICAL, ETC. PRIOR TO FINISHING

PANASONIC WHISPER GREEN VARIABLE EXHAUST FAN WITH TIMER; DUCT TO REAR WALL; PROVIDE MOTION SENSOR PLUG-N-PLAY FEATURE

NEW 65W LINEAR STRIP LED LIGHTING FIXTURE w/ PENDANT MOUNT KIT WITH INTEGRATED MOTION SENSOR AND INTEGRATED EMERGENCY BACK-UP 'NORA' #NLSTR-BL 334W/EMMS (OR EQUAL) SET AT 3500K; PROVIDE SUSPENSION CABLES (NLSTRA-PK) AND JUNCTION COVER PLATES (NLSTRA-JBCW) AND REMOTE CONTROL FOR MOTION SETTINGS (NLSTRA-MSCONT2)

WALL-MOUNT MOTION-SENSOR LED LIGHTING FIXTURE 'COMMERCIAL ELECTRIC' #53602141

NEW EXTERIOR THREE-HEAD LED FLOOD LIGHT 'HALO' #TG5354103DRRW

SET BOTTOM OF ALL PENDANT AND SUSPENDED FIXTURE ELEVATIONS AT 8'-6" A.F.F.

② $1/4'' = 1'-0''$

(A) FRONT ELEVATION
1/4" = 1'-0"

LEFT ELEVATION
1/4" = 1'-0"

RIGHT ELEVATION
1/4" = 1'-0"

4 BASE DETAILS
4" = 1'-0"

⑥ LAVATORY ELEVATION
3/8" = 1'-0"

⑧ TOE AND KNEE CLEARANCES
3/4" = 1'-0"

10 DOOR TYPE ELEVATIONS
3/8" = 1'-0"

11 SLAB DETAIL
1" = 1'-0"

2x4 wood studs and plates at 16" o.c. w/ 5/8" GWB finish:
Drywall screws at 8" o.c. to fasten into studs, top track and
bottom sill. SAFB 3-1/2" friction fit batts (Thermafiber or
equal).

$$\textcircled{3} \quad | \quad 1/2'' = | \quad 1'-0''$$

5 TOILET GRAB BAR LOCATIONS
1/2" = 1'-0"

7 SHELVING DETAILS
1/2" = 1'-0"

⑨ TYPICAL OPENING HEADER
1/2" = 1'-0"

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Toilet Room Upgrades

Mohegan Lake Beach Park

Lakeshore Drive
Mohegan Beach, NY 10547

No.	Description	Date

Professional Engineer Seal for David Anthony Tetro, State of New York, No. 028059, expires May 31, 2027.

Contractor and all trades shall refer to all drawings within this set as work for each trade may appear on any drawing. G.C. and all trades shall refer to, follow and adhere to the Specifications within this set in conjunction with the plans and details.

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Issued for Permit and Construction

24.39	01.24.25
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PLANS AND ELEVATIONS

A.02

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

- THERMAL INSULATION
- Fiberglass batt insulation installed within enclosed wall cavities shall be unfaced as manufactured by Owens-Corning (or equal). Provide R-Value as indicated on drawings.
 - Rigid foam insulation board shall be Owens-Corning XPS closed-cell T&G 'Foamular' 250 or equal.
 - Contractor shall provide and install spray foam insulation to the required R-Values listed on the drawings and as per Code. Contractor shall provide to the Building Department and Owner an ICC-ES (or similar acceptable) report on the insulation used, a copy of the invoice indicating the amount and thickness of insulation provided, and product data on the insulation provided that includes information on the R-Value per inch of said spray foam product.
 - Contractor shall provide and install a permanent certificate in accordance with The Energy Conservation Construction Code. Certificate shall be posted on or in the electrical service panel and shall not cover or obscure any electrical panel labels, diagrams, circuitry, etc. Certificate shall have all the required information on the insulation values of the walls, ceilings, and floors, U-Values of all fenestration products, and the type and efficiency of heating, cooling and service water equipment. Consult with local municipality for additional requirements. Architect will not provide this certificate.
- SEALANTS AND SMOKE STOPPING
- See BUILDING ENVELOPE notes for additional required locations to receive sealants and caulking.
 - Install continuous bead (min. 1/8") both sides of wall at all perimeters (wall-to-floor, wall-to-wall, wall-to-ceiling/underside of deck) at common walls between sleeping units, dwelling units, corridors, and at all fire and smoke assemblies.
 - Provide all required sealants, backer rod, filler materials, etc. as required and indicated on the drawings. All sealants used shall be of a type designed specifically for that application. Final colors to match adjacent assemblies and as selected by Owner. Treadable Sealant shall be Sonolastic SL-2 pourable urethane by B.A.S.F. or equal; Sill, Window and Door Caulking shall be NP-1 by B.A.S.F. or equal. Consult roofing and water-proofing membrane manufacturers for sealants used at those locations.
 - All penetrations through rated assemblies shall be properly sealed against the passage of smoke with an approved and tested system of sealants, fillers, putties, etc. The penetration assembly shall be rated as the same rating or better as the wall being penetrated.

DIVISION 8 - OPENINGS

- All door hardware shall follow the New York State Building Code and ANSI A117.1 'Accessible and Useable Buildings and Facilities' for Handicap Accessibility.
- All closers shall be in compliance with the maximum opening force as specified within the Code and ANSI A117.1.
- Install hardware at height complying with the applicable codes and regulations.
- H.M. doors shall be min. 18-GA steel factory primed and prepped for field finish (factory applied finish optional). H.M. doors at exterior locations shall be insulated. H.M. frames shall be min. 16-GA steel factory primed and prepped for field finish (factory applied finish optional).
- Keying of doors throughout as per Owner's requirements.
- Rated door assemblies shall bear the required label.
- Interior wood doors for commercial applications shall have wood veneer as specified on the door drawings. Finish shall be a clear or semi-transparent stain w/ varnish/polyurethane finish coat. If no finish is indicated on the drawings, assume birch veneer.
- Doors and frames shall be installed flush and true. Adjust hinges as necessary for level and for proper operation of door swing.
- All door hardware and associated accessories (gaskets, sweeps, door stops, etc.) shall be coordinated between the Owner and the G.C.

DIVISION 9 - FINISHES

- Finishes throughout the building shall conform to Building Code Section 'Interior Wall and Ceiling Finish Requirements by Occupancy' and shall be equal to or better than a Class-C rating for this application. Class-C Flame Spread of 76-200 and Smoke Developed of 0-450. It is recommended (but not required) that finishes installed in Exit Enclosures and Exit Passageways be Class-B or better. (Class-B Flame Spread of 26-75 and Smoke Developed 0-450.
- Where the term MATCH EXISTING' is indicated in the schedule, it shall mean that the existing finish shall be extended into the new or altered area of work - or - shall be replaced. In the case of locations of paint, it shall mean to repaint the surfaces. In the case of hardwood or tile, it shall mean to refinish or replace - coordinate with Owner.
- Refer to finish schedule for additional finish information.
- All finishes shall be per the Owners requirements and the following: flooring shall be non-porous and slip resistant at locations prone to moisture; and, all paints and primers shall be mold resistant and shall be easily cleanable.
- Contractor shall provide and install all window and door units and frames, casing, saddles, hardware and sills, along with all base and crown moldings.
- All gypsum wall board used in fire rated assemblies shall be 5/8" Type-X and shall conform to ASTM C36.
- Provide moisture resistant wall board at locations prone to moisture. This includes but shall not be limited to toilet rooms, along walls with sinks and/or plumbing fixtures, etc.
- All gypsum board assemblies shall be primed with one coat primer and two coats finish. Provide additional coats if necessary to conceal substrate or older finishes.
- Any wallpaper in spaces being affected by construction shall be removed and replaced per Owner: coordinate with Owner.
- Contractor shall prime and paint - or stain - all windows, doors trims, casings, moldings, walls, ceilings, woodwork, etc. that he installs that require site applied finishes.
- All paint shall be acrylic latex - see finish schedule for additional information. Provide one coat primer (compatible for applicable substrate) and two coats finish at all surfaces requiring painting. Color and sheen as selected by Owner. Paint shall be low-VOC (70 grams/liter or less) water-based acrylic latex.
- Provide 2-coats primer at all exterior metal surfaces receiving paint. Primer shall be of a high-quality low-VOC suitable for the material being applied to. Prepare surface material as per the requirements of the paint manufacturer. Provide two coats finish coat of acrylic latex paint suitable for the primer being applied to. Color and sheen as selected by Owner.
- Stain shall be oil-based - Minwax or equal. Color as selected by Owner - Contractor to provide match samples and/or mock-ups using wood species to match that installed.
- Except for those floors that incorporate floor drains, all flooring finishes shall be installed level and without changes in elevation. G.C. to provide all underlayment, levelers, patching, etc. for a clean and safe finished installation. Floors with drains shall be pitched to drain and shall be installed with no areas where water can pond or stand.

DIVISION 22 - PLUMBING

- Plumbing Contractor shall be licensed and insured in order to carry out the Work on this Project.
- This project shall be filed under a separate Plumbing Permit by Plumbing Contractor. Plumber shall request all plumbing inspections and shall provide all inspection affidavits and proof of passed complying inspections as required.
- All equipment, accessories, and devices associated with the Plumbing trades shall be installed using materials and systems as permitted by the NYS Code and the local municipality.
- Plumbing Contractor shall coordinate their work with the General Contractor. Any conflicts shall be resolved between the G.C. and the trade contractor.
- Plumbing Contractor shall prepare for and provide any wet tests or other tests associated with the plumbing portion of the work with the local municipality and shall include such testing in their bid price.
- Plumbing Contractor shall perform any associated site work with modern standard practices with all required and accepted safety measures and in conformance to the Code.
- Plumbing Contractor is responsible for setting all fixtures and hardware and shall make all connections to all plumbing devices, appliances and fixtures.
- Any changes and/ or upgrades to existing plumbing systems shall comply with all codes. Existing systems shall possess the capacity to handle any and all changes in load.
- All water lines shall be copper or PEX (if permitted by local municipality). There shall be no piping joints of fittings installed in water piping below the floor slab.
- All drain, waste and vent fittings above grade must be cast iron pipe or PVC (if permitted by local municipality).
- Exhaust and plumbing vents shall be located a minimum of 10'-0" away from any outside air intake, and 5'-0" from any demising wall vertical plane.
- All floor drains are required to have trap primers.
- Any unused or abandoned plumbing equipment, piping, etc., within or serving the premises must be completely removed to point of origin. Do not abandon in place.
- All floor penetrations must be core bored, sleeved, grouted, sealed and made waterproof. Sleeves must extend a minimum of 4" AFF.
- If not already existing, install a shut off valve on domestic water line supply at service entry.
- Do not exceed maximum allowances of boring, cutting and notching of structural members.
- Architect shall not be requested to apply for permits for, to inspect, to file any inspections nor provide any affidavits for any plumbing Work.

DIVISION 23 - MECHANICAL

- Mechanical Contractor shall be licensed and insured in order to carry out the Work on this Project.
- This project shall be filed under a separate Mechanical Permit by Mechanical Contractor. Mechanical Contractor shall provide all testing and balancing, request all inspections and shall provide all inspection affidavits and proof of passed complying inspections as required.
- All equipment, accessories, and devices associated with the Mechanical trades shall be installed using materials and systems as permitted by the NYS Code and the local municipality.
- Mechanical Contractor shall coordinate proposed systems with Owner including all thermostat controls, fuels sources, air and pipe distribution, etc. in order to provide a complete and operational system meeting the requirements of the Owner.
- Mechanical Contractor shall prepare for and provide for any required blower-door or other mechanical test required by the local municipality and shall include such testing in their bid price.
- Mechanical Contractor shall provide to the Owner and Architect a certified letter indicating that the installation meets all the requirements of the NYS Energy Conservation Code and the NYS Building Code at the close of the project and after all the inspections have been performed.
- New toilet rooms shall receive an exhaust fan (min. 100 c.f.m.) vented to the exterior. Control of fan shall be per code. Toilet rooms without a window shall have the fan connected to the primary lighting switch or shall be of a constant-running system.
- Any changes and/ or upgrades to existing mechanical systems shall comply with all codes. Existing systems shall possess the capacity to handle any and all changes in load.
- No pitch pockets are permitted on the roof for any condensate drains, refrigerant piping, power or control wiring. All connections are to be made inside the equipment curb or through pre-manufactured piping curb.
- G.C. to label all equipment with the name, space, number, and equipment identification (RTU-1, EF-1) of the area it serves, per Building Owner's specifications/ standards.
- All piping on roof shall be supported on pre-manufactured pipe supports installed on curb tread, spaced properly to support piping. Treated wood supports are not permitted.
- All unexposed supply air and outside air ductwork shall be externally insulated with 1 1/2" thick foil face insulation. Internally lined ductwork may be used for acoustic purposes only, not as a substitute for external insulation.
- All ductwork shall be sheet metal. Flex duct may only be used in runs of 5'-0" or less.
- At conclusion of project, HVAC system must be tested and balanced by a licensed contractor. Copy of balance report must be provided to Property Management Office on-site.
- Do not exceed maximum allowances of boring, cutting and notching of structural members.
- Architect shall not be requested to apply for permits for, to inspect, to file any inspections nor provide any affidavits for any Mechanical Work.

DIVISION 26 - ELECTRICAL

- Electrician Contractor shall be licensed and insured in order to carry out the Work on this Project.
- This project shall be filed under a separate Electrical Permit by Electrician. Electrician shall request all electrical inspections and shall provide all inspection affidavits and proof of passed complying inspections as required.
- All Electrical and Alarm components, systems, wiring, installation, accessories, and operations shall be in conformance with the applicable sections of the New York State Building Code, the most current versions of the applicable portions of the NEC and NFPA standards and along with all local Codes governing and Authority Having Jurisdiction.
- Electrician Contractor shall coordinate their work with the General Contractor. Any conflicts shall be resolved between the G.C., Electrical Contractor and Owner/Architect.
- Electrician shall coordinate all equipment (appliances, mechanical equipment, controls, electrical systems, AV equipment requiring power, miscellaneous equipment requiring home-run circuits, etc.) with Owner and shall provide and install all required receptacles, circuits, G.F.C.I.'s, etc. as required for the complete function of same throughout the Area of Work.
- All electrical fixtures, devices, wiring and associated accessories shall be UL listed.
- All panels to be UL labeled with bolt on type circuit breakers, panels to be mounted on plywood backer board, and all panel phase loads to be balanced within 10%.
- All fixtures shall have a cover, a globe, shall be self-contained, or equipped with acceptable protection - no bare-bulb fixtures permitted.
- Coordinate type and locations all fixtures, switches, devices and outlets per the Contract Documents, the requirements of the NEC and along with any authorities having jurisdiction. Electrician shall coordinate final electrical device and controls locations with the Owner and Contract Documents as locations and/or types may have changed since the drawings were printed.
- Electrician Contractor shall coordinate low-voltage work required by the Owner (security, data and communication, etc.) with the Owner.
- Electrician Contractor shall provide conduit and drag lines for all IT, Telecom, Security, etc.
- Provide GFCI Protection per the requirements of NFPA 70 422.52.
- All equipment, devices and fixtures shall be grounded in compliance with NEC and UL requirements.
- All fixtures located within toilet rooms, kitchen areas and other locations prone to high moisture shall be rated for damp locations.
- All fixtures and devices located outside shall be rated for wet / exterior locations and shall be installed on conformance to all governing Codes for such locations.
- Exposed conduit shall be installed in straight lines, parallel or in right angles to the building structure. Do not loop excess flexible conduit in ceiling space or wall cavity.
- Do not exceed maximum allowances of boring, cutting and notching of structural members.
- Architect shall not be requested to apply for permits for, to inspect, to file any inspections nor provide any affidavits for any electrical Work.
- Electrician Contractor shall see DIVISION 28 - FIRE DETECTION AND ALARM for specification of required Life Safety Devices and installation. Electrician Contractor shall be responsible for providing and installing such systems.

DIVISION 28 - LIFE SAFETY SYSTEMS

- Electrician shall provide and install any required Life Safety system specified for this Project. Life Safety Systems shall include, but not necessarily be limited to, Smoke Detection, Carbon Monoxide Detection, Heat Detection, Controls, Duct Detectors, Horns, Strobes, Exit Signs, Emergency Lighting, etc.
- All Alarm Devices, Control Devices, Panels, Wiring, etc., along with the installation and controls of same, shall comply with all applicable portions of the New York State Codes, local Codes, NFPA, NEC and the Authority Having Jurisdiction.
- All Life Safety Alarm systems shall be filed separately with the Fire Marshall as required by the Municipality.
- Life Safety Devices for Non-Residential Projects shall be installed per the requirements of the New York State Building Code, NEC, NFPA, the Authority Having Jurisdiction and all applicable rules and regulations.

