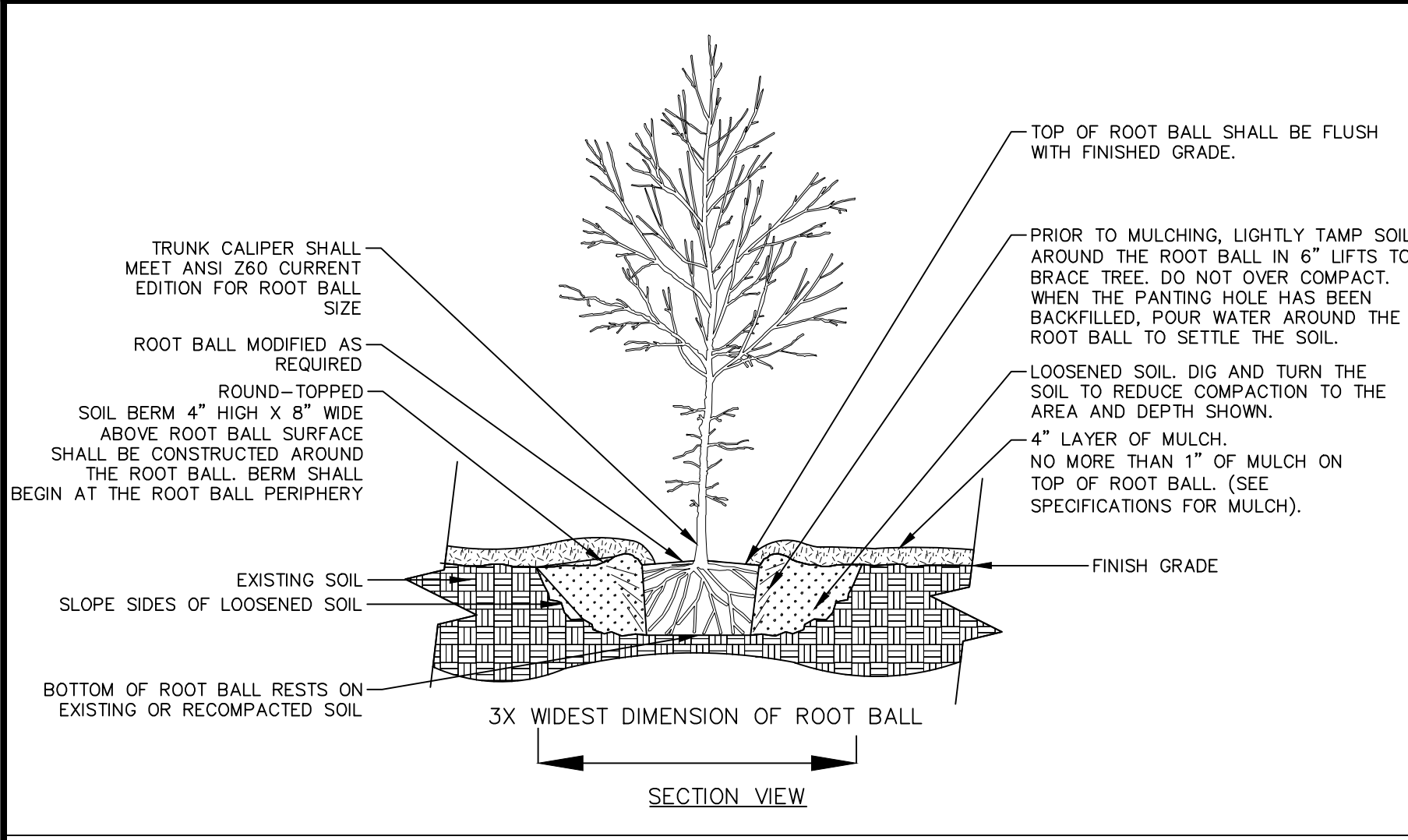
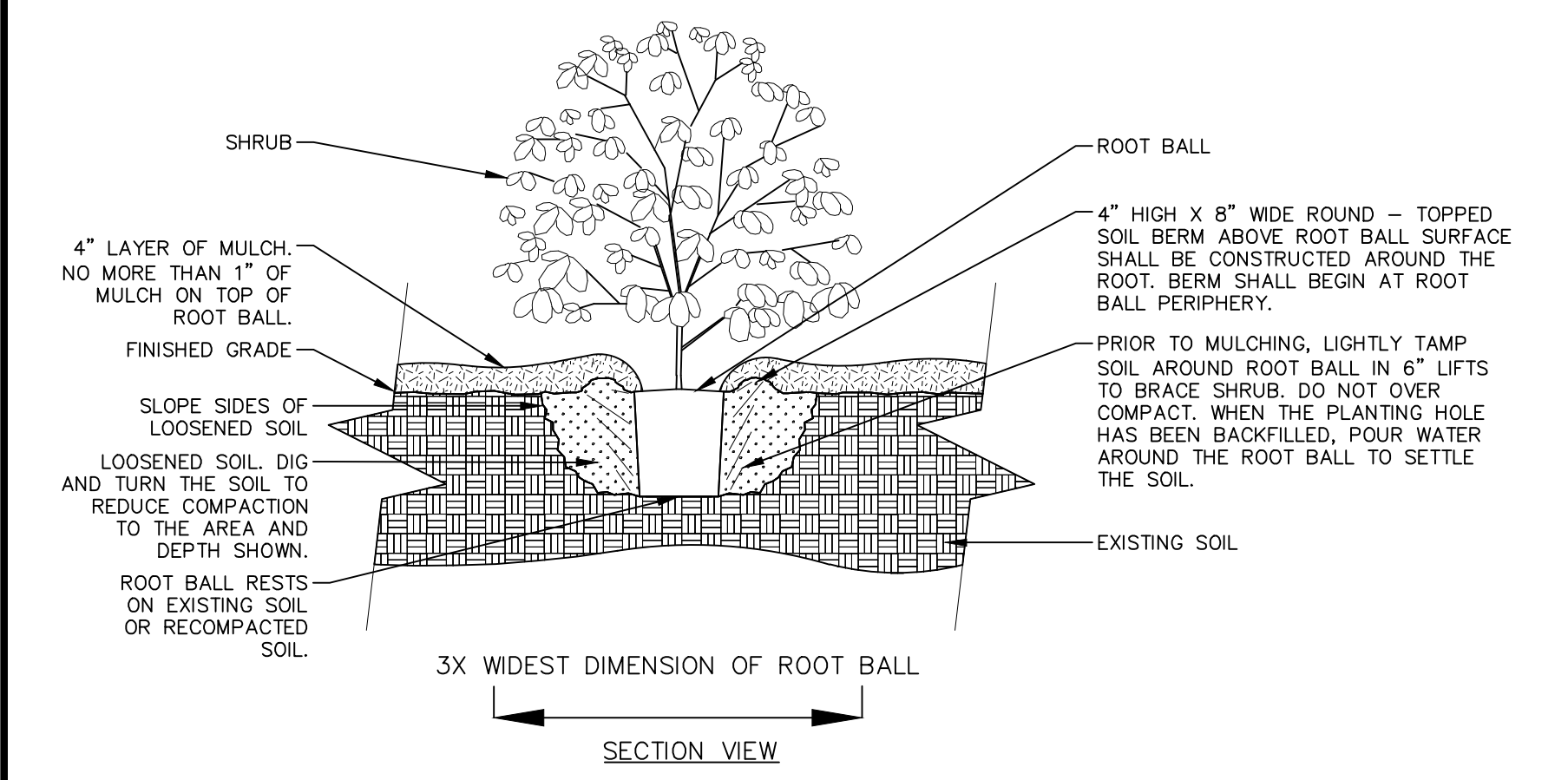




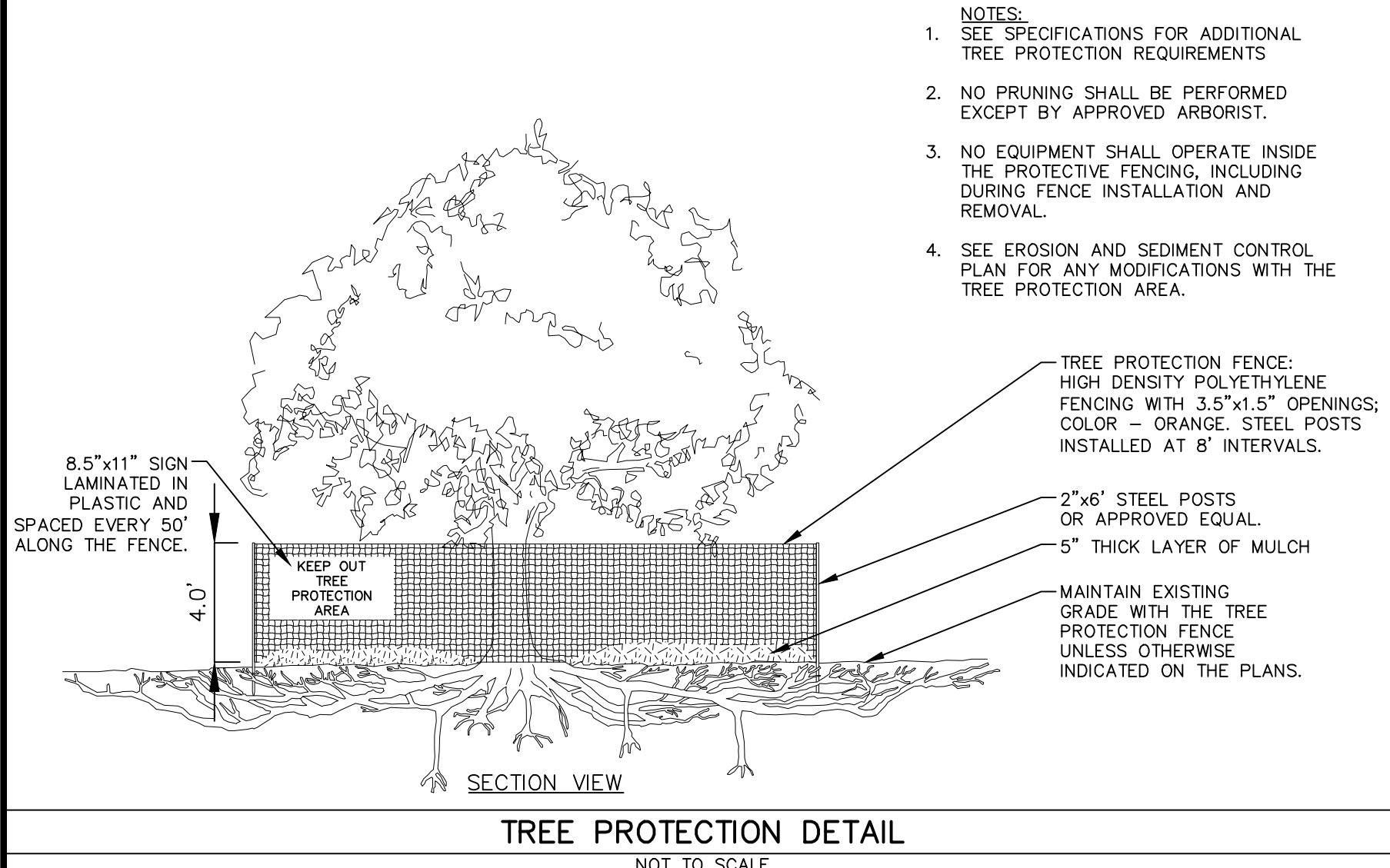
TREE PLANTING IN UNMODIFIED SOIL DETAIL

NOT TO SCALE



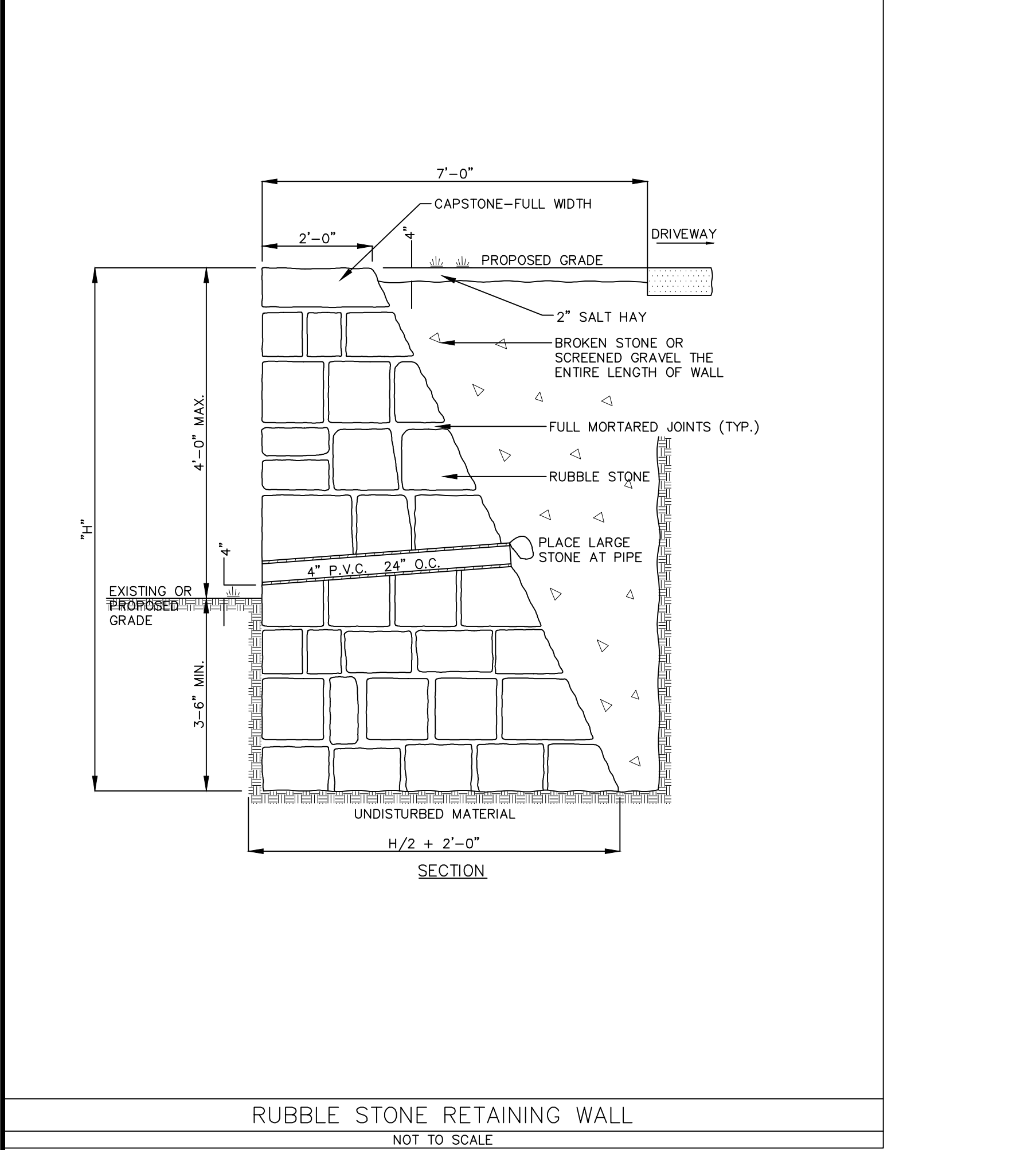
SHRUB PLANTING DETAIL

NOT TO SCALE



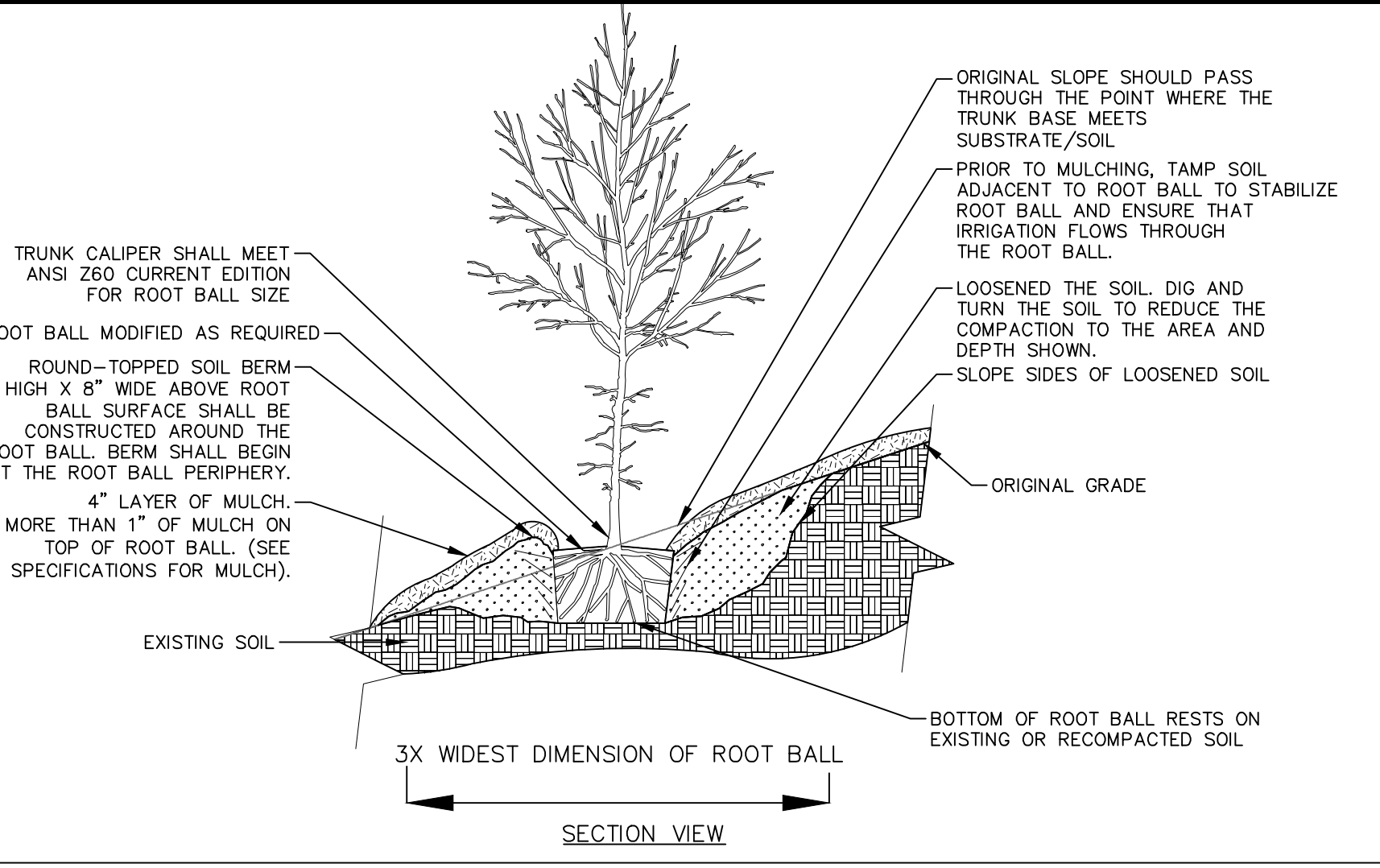
TREE PROTECTION DETAIL

NOT TO SCALE



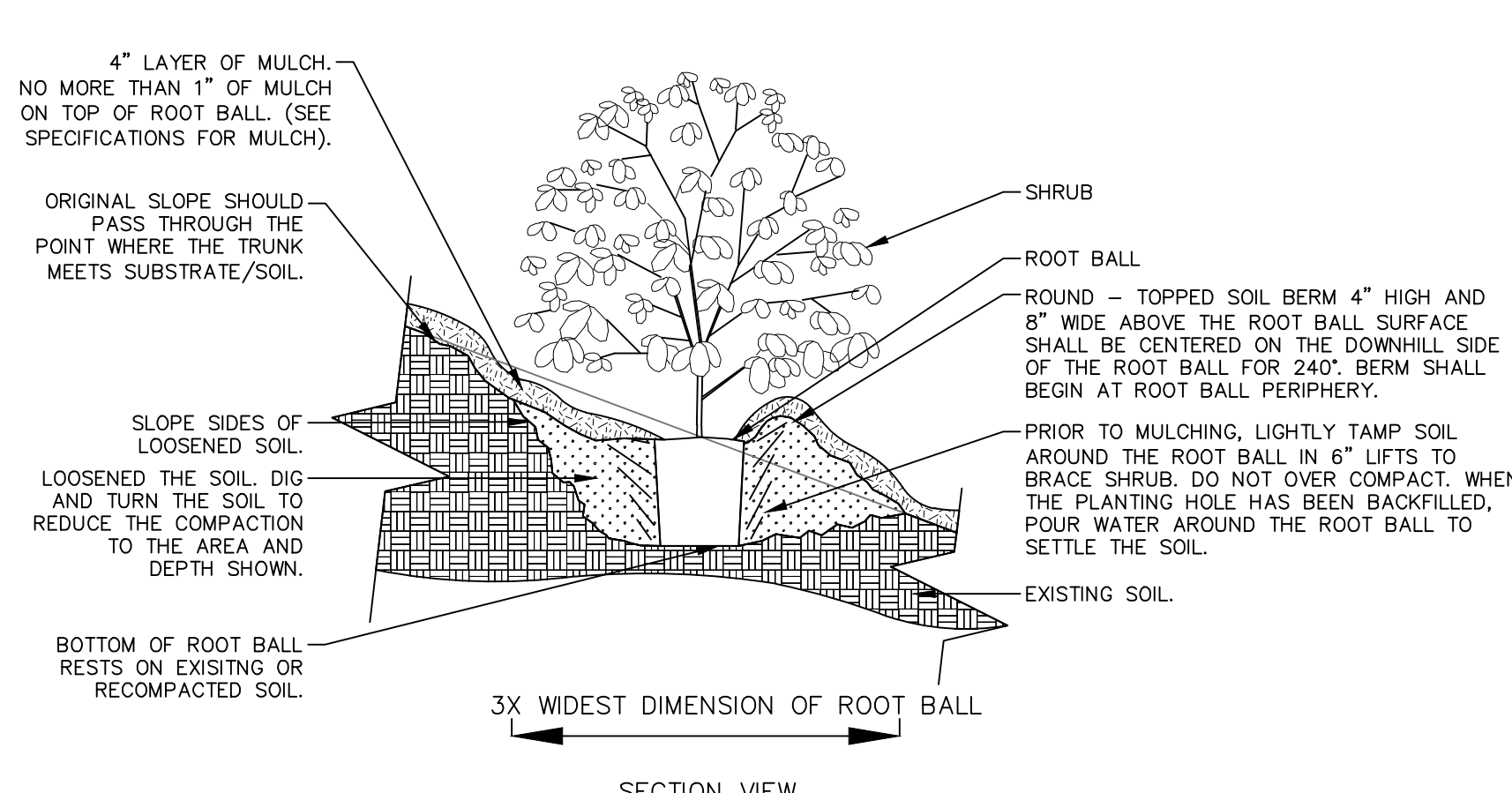
RUBBLE STONE RETAINING WALL

NOT TO SCALE



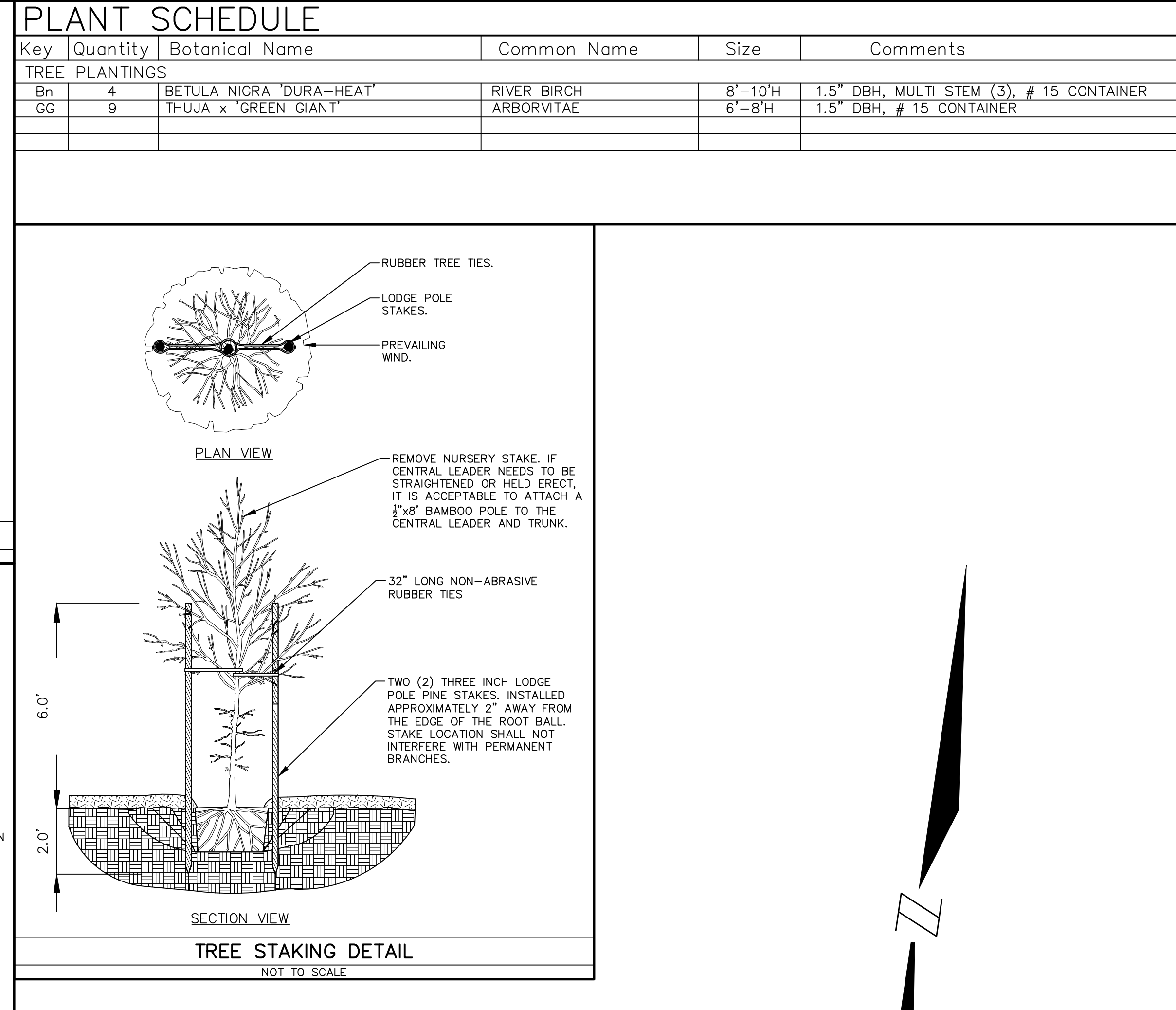
TREE PLANTING ON 5%-20% SLOPE DETAIL

NOT TO SCALE



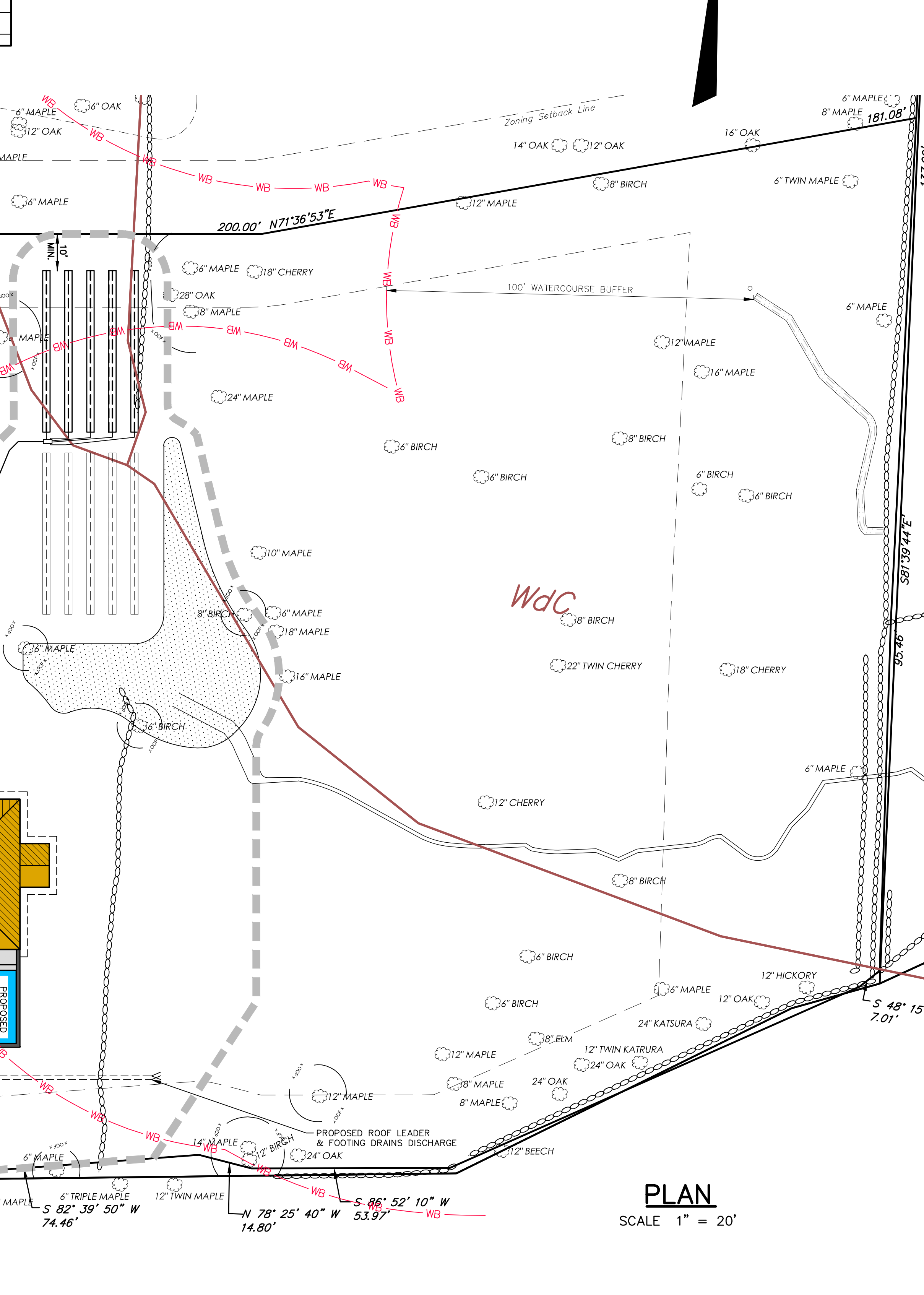
SHRUB PLANTING ON 5%-20% SLOPE DETAIL

NOT TO SCALE



TREE STAKING DETAIL

NOT TO SCALE



PLAN

SCALE 1" = 20'



Betula nigra 'Dura-Heat'
River Birch



Thuja x 'Green Giant'
Arborvitae

PLANT SCHEDULE					
Key	Quantity	Botanical Name	Common Name	Size	Comments
TREE PLANTINGS					
Bn	4	BETULA NIGRA "DURA-HEAT"	RIVER BIRCH	8"-10'H	1.5" DBH, MULTI STEM (3), # 15 CONTAINER
GG	9	THUJA x "GREEN GIANT"	ARBORVITAE	6"-8'H	1.5" DBH, # 15 CONTAINER

LANDSCAPE NOTES:

NO TREES OR SHRUBS SHALL BE PLANTED ON EXISTING OR PROPOSED UTILITY LINES.

THE OWNER IS RESPONSIBLE FOR MAINTAINING THE SITE LANDSCAPING AS SHOWN ON THE APPROVED SITE PLAN THROUGHOUT THE DURATION OF USE.

THE LANDSCAPE CONTRACTOR SHALL CAREFULLY CORRELATE CONSTRUCTION ACTIVITIES WITH THAT OF THE EARTHWORK CONTRACTOR AND OTHER SITE DEVELOPMENT.

THE CONTRACTOR SHALL VERIFY DRAWING DIMENSIONS WITH ACTUAL FIELD CONDITIONS AND INSPECT RELATED WORK AND ADJACENT SURFACES. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL FINISH GRADES WITHIN THE WORK AREA. THE CONTRACTOR SHALL REPORT TO THE LANDSCAPE ARCHITECT AND OWNER ALL CONDITIONS WHICH PREVENT PROPER EXECUTION OF THIS WORK.

ANY OF THE EXISTING ON-SITE VEGETATION AND TREES THAT ARE NOT IDENTIFIED FOR REMOVAL SHALL BE MAINTAINED IN GOOD CONDITION AND REPLACED AS NECESSARY ALONG WITH ANY NEW LANDSCAPING INSTALLED BY THE OWNER.

THE EXACT LOCATION OF ALL EXISTING UTILITIES, STRUCTURES AND UNDERGROUND UTILITIES, WHICH MAY NOT BE INDICATED ON THE DRAWINGS, SHALL BE DETERMINED BY THE CONTRACTOR. THE CONTRACTOR SHALL PROTECT EXISTING STRUCTURES AND UTILITY SERVICES AND IS RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED.

THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS AT ALL TIMES AND SHALL ARRANGE MATERIAL STORAGE SO AS NOT TO INTERFERE WITH THE OPERATION OF THE PROJECT. ALL UNDESIRABLE MATERIALS, RUBBISH AND DEBRIS SHALL BE REMOVED FROM THE SITE. ALL LANDSCAPED AREAS MULCHED UNLESS OTHERWISE NOTED.

WARRANTY:

ALL PLANT MATERIAL (LAWNS, TREES, SHRUBS, ETC.) AND PLANTING SUPPLIES (EDGING, BARK, MULCH, ETC.) SHALL BE WARRANTED FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM THE DATE OF COMPLETION OF THE LANDSCAPING INSTALLATION. ALL REPLACEMENT STOCK SHALL BE SUBJECT TO THE SAME WARRANTY REQUIREMENTS AS THE ORIGINAL STOCK. ANY DAMAGE DUE TO REPLACEMENT OPERATIONS SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT THE END OF THE WARRANTY PERIOD. INSPECTIONS SHALL BE MADE JOINTLY BY LANDSCAPE ARCHITECT, OWNER, TENANT AND LANDSCAPE CONTRACTOR. ALL PLANT AND LAWN AREAS NOT IN A HEALTHY GROWING CONDITION SHALL BE REMOVED AND REPLACED WITH PLANTS AND TURF COVER OF A LIKE KIND AND SIZE BEFORE THE CLOSE OF THE NEXT PLANTING SEASON.

SPECIES AND VARIETY AS SPECIFIED ON THE DRAWINGS AND DELIVERED TO THE SITE SHALL BE CERTIFIED TRUE TO THEIR GENUS, SPECIES AND VARIETY AND AS DEFINED WITHIN THE CURRENT EDITION OF INTERNATIONAL CODE OF NOMENCLATURE FOR CULTIVATED PLANTS, ISSUED BY THE INTERNATIONAL UNION OF BOTANICAL SOCIETIES. SUBSTITUTIONS ARE NOT PERMITTED WITHOUT TENANT'S LANDSCAPE ARCHITECT'S WRITTEN APPROVAL.

PLANTING STOCK SHALL BE WELL-BRANCHED AND WELL-FORMED, SOUND, VIGOROUS, HEALTHY, FREE FROM DISEASE, SUN-SCALD, WINDBURN, ABRASION, AND HARMFUL INSECTS AND INSECT EGGS, AND SHALL HAVE HEALTHY NORMAL UNBROKEN ROOT SYSTEMS. DECIDUOUS TREES AND SHRUBS SHALL BE SYMMETRICALLY DEVELOPED, OF UNIFORM HABIT OF GROWTH, WITH STRONG, STABLE, AND FREE FROM OBJECTABLE DEFECTS. EVERGREEN TREES AND SHRUBS SHALL HAVE WELL-DEVELOPED SYMMETRICAL TOPS WITH TYPICAL SPREAD OF BRANCHES FOR EACH PARTICULAR SPECIES OR VARIETY. ONLY VINES AND GROUND COVER PLANTS WELL ESTABLISHED SHALL BE USED. PLANTS BUDGING INTO LEAF OR HAVING SOFT GROWTH SHALL BE SPRAYED WITH AN ANTI-DESCENDANT AT THE NURSERY BEFORE DIGGING.

ALL STOCK SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN STOCK. BARE ROOT STOCK OF ANY KIND IS UNACCEPTABLE.

SEED:

EXPPOSED SLOPES AND ALL GRADED AREAS SHALL BE SEED WITH THE FOLLOWING GRASS SEED MIX IMMEDIATELY UPON COMPLETION OF ITS CONSTRUCTION, OR IF PLANNED TO BE LEFT UNDISTURBED FOR MORE THAN 14 DAYS. GRASS SEED MIX TO BE APPLIED AT A RATE OF 50 POUNDS PER ACRE IN THE FOLLOWING PROPORTIONS:

KENTUCKY BLUEGRASS	40%
CREeping RED FESCUE	40%
RYE GRASS	20%

GRASS SEED MIX MAY BE APPLIED BY EITHER MECHANICAL OR HYDROSEEDING METHODS. HYDROSEEDING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE NYSOT STANDARD SPECIFICATIONS, CONSTRUCTION AND MATERIALS, SECTION 610-3.02, METHOD NO. 1.

SEEDING AREAS SHALL BE MULCHED WITH STRAW AT A RATE OF 2 TONS PER ACRE, OR 90 LBS. PER 1,000 SQUARE FEET, SUCH THAT IT FORMS A CONTINUOUS BLANKET.

SEED SHALL BE A BLEND OF CERTIFIED LAWN GRASS AND/OR GROUND COVER PLANT SEEDS COMMON TO THE SITE LOCATION. PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH ESTABLISHED TOLERANCES FOR GERMINATION AND PURITY IN.

ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER THE LATEST EDITION OF THE FEDERAL SEED ACT, SEED SHALL BE MIXED BY THE DEALER AND SHALL BE DELIVERED TO THE SITE IN SEALED CONTAINERS WHICH SHALL BEAR THE DEALER'S GUARANTEED ANALYSIS.

MULCHES FOR PLANTINGS:

SHREDED BARK MULCH, MEDIUM SIZE, NO PIECES OVER TWO INCHES (2") IN GREATEST DIMENSION, FREE FROM SAWDUST, STONES, DEBRIS, AND OTHER UNDESIRABLE MATERIALS.

ALL VEGETATION SHOWN ON THIS PLAN SHALL BE MAINTAINED IN A HEALTHY AND VIGOROUS GROWING CONDITION THROUGHOUT THE DURATION OF THE PROPOSED USE. ALL VEGETATION NOT SO MAINTAINED SHALL BE REPLACED WITH NEW VEGETATION AT THE BEGINNING OF THE NEXT GROWING SEASON.

ALL AREAS OF SITE NOT OCCUPIED BY BUILDINGS OR PAVEMENT AND NOT SPECIFIED AS BEING PLANTED WITH TREES, SHRUBS OR GROUND COVER SHALL BE SEED.

NO TREES OR SHRUBS SHALL BE PLANTED ON EXISTING OR PROPOSED UTILITY LINES.

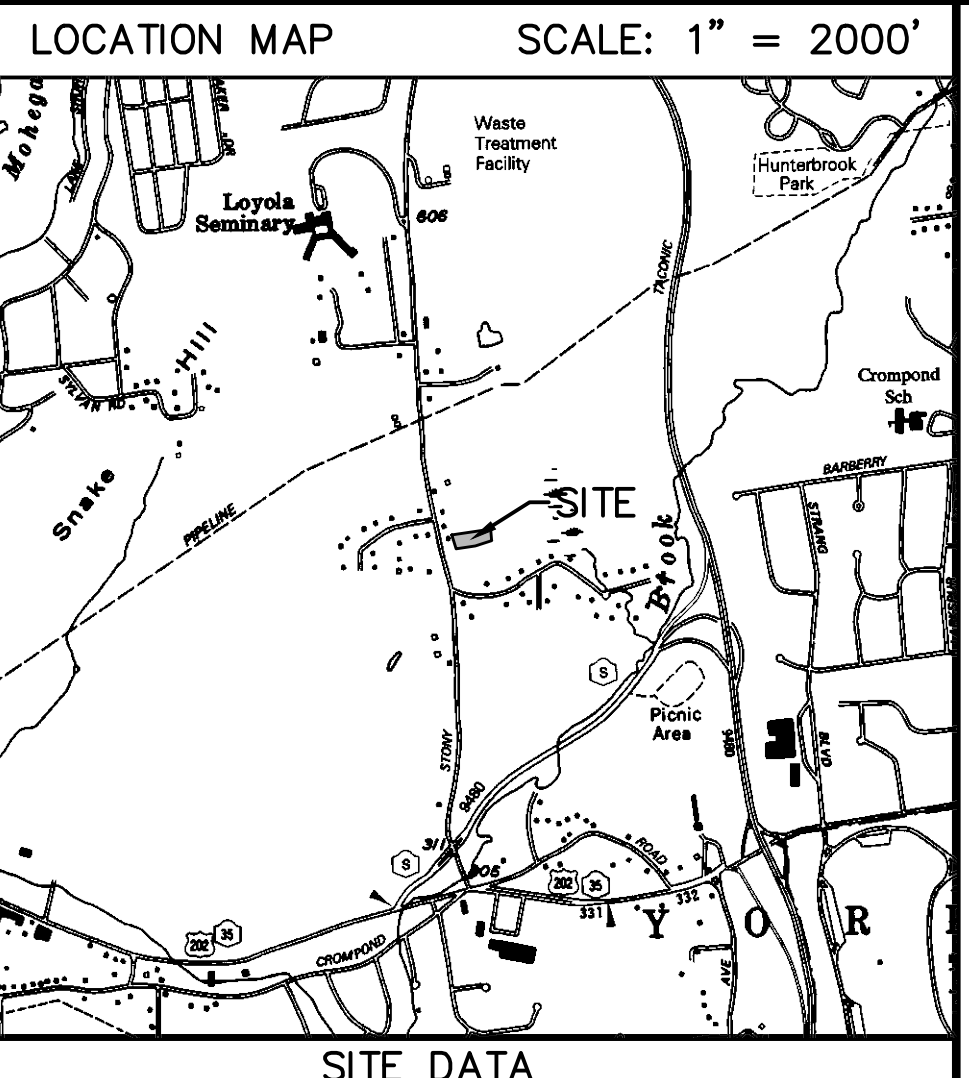
LONGTERM PLANTING MAINTENANCE NOTES:

THE OWNER/OPERATOR SHALL BE RESPONSIBLE FOR THE LONG-TERM MONITORING AND MAINTENANCE OF THE PLANTINGS WITHIN THE SITE AND PROPERTY AND TO THE SATISFACTION OF THE TOWN.

THE COVERAGE OF THE SEEDING AREAS SHALL BE UNIFORM WITH NO BARE AREAS LARGER THAN ONE-HALF SQUARE FEET.

THE ACCEPTABLE DENSITY OF COVERAGE SHALL BE A MINIMUM OF EIGHTY-FIVE PERCENT (85%) OF LANDSCAPE QUANTITY PLANTS SHOWN ON THE APPROVED PLANTING PLAN. IF LESS THAN EIGHTY-FIVE PERCENT (85%) OF A PARTICULAR PLANT SPECIES SURVIVES, REPLACEMENT WITH SAME AND/OR ALTERNATIVE PLANT SPECIES ACCEPTABLE TO THE TOWN PLANNING BOARD SHALL OCCUR, SERVING THE INTENDED FUNCTION OF THE ORIGINALLY PROPOSED PLANTINGS.

LANDSCAPING NOTES



SITE DATA

TAX MAP NUMBER

SECTION: 26.14

BLOCK: 1

LOT: 10

FILED MAP INFORMATION

SUBDIVISION NAME: SUSAM ESTATES

SUBDIVISION LOT NO: 13.1

DEED MAP NO: 19814

DATE FILED: JUNE 7, 2024

NOTES:

1. PROPERTY BOUNDARY SHOWN HEREON IS AS SHOWN ON THAT CERTAIN MAP TITLED SURVEY OF PROPERTY PREPARED FOR COW BAY SPRINKLER CORP. PREPARED BY TOWN OF YORKTOWN SURVEYORS, DATED MARCH 31, 2023.

2. TOPOGRAPHIC DATA SHOWN HEREON IS AS SHOWN ON THAT CERTAIN MAP TITLED SURVEY OF PROPERTY PREPARED FOR COW BAY SPRINKLER CORP. PREPARED BY TOWN OF YORKTOWN SURVEYORS, DATED MARCH 31, 2023.

3. VERTICAL DATUM HEREON IS NAVD 1988

SPECIAL NOTES

SLOPE STABILIZATION NOTES:

ALL OUTCUT SLOPES AND EMBANKMENT FULL ARE TO BE IMMEDIATELY LAND BOUND AND STABILIZED AS FOLLOWS

- GRADE TO FINISHED SLOPES.
- SOILS SHALL BE SCORPED.
- TOPSOIL WITH NOT LESS THAN FOUR (4) INCHES OF SUITABLE TOPSOIL MATERIAL.
- SEED WITH A GRASS MIXTURE OF 40% CREEPING RED FESCUE AND 20% PERENNIAL RYE GRASS AT THE RATE OF NOT LESS THAN 2 POUNDS PER 1,000 SQUARE FEET.
- MULCH WITH NOT LESS THAN ONE (1) INCH AND NOT MORE THAN THREE (3) INCHES OF STRAW.

SPECIAL ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES, AS WARRANTED BY FIELD CONDITIONS, AND AS SPECIFIED BY THE ENGINEER, THE TOWN OF YORKTOWN BUILDING INSPECTOR OR THE TOWN ENGINEER SHALL BE INSTALLED BY THE CONTRACTOR WHEN SO DIRECTED.

FOOTING DRAIN NOTES:

SLAB ON GRADE GARAGE TYPICALLY DOES NOT REQUIRE A FOOTING DRAIN. IF DURING CONSTRUCTION THE CONTRACTOR PERCEIVES ONE IS WARRANTED IT WILL BE CONNECTED TO THE FOOTING DRAIN FROM THE HOUSE.

LEGEND

F.F.	FIRST FLOOR ELEVATION
G.A.R.	GARAGE FLOOR ELEVATION
B.F.	BASEMENT FLOOR ELEVATION
T.W.	TOP OF WALL ELEVATION
B.W.	BOTTOM OF WALL ELEVATION
PROPOSED DRIVE	
PROPOSED HOUSE FOOTING DRAIN	
PROPOSED CONTOUR	
PROPOSED SPOT ELEVATION	
PROPOSED WATER LINE	
STABILIZED CONSTRUCTION AREA	
PROPOSED GRADING & LANDSCAPING LIMITS	
PROPOSED STONE WALL	
PROPOSED FRAME AND COVER	
PROPOSED FRAME AND GRATE	
PROPOSED CATCH BASIN	
PROPOSED UNDERGROUND ELECTRIC LINE	
PROPOSED UNDERGROUND ELECTRIC LINE	
EXISTING TREE TO BE REMOVED	
PROPOSED TREE PROTECTION	
PROPOSED SILT FENCE	
PROPOSED GRADE CONSTRUCTION FENCE	
PROPOSED ROLLED EROSION CONTROL	
WG	WATERCOURSE BUFFER

REVISIONS

DATE	DESCRIPTION
03/17/25	ORIGINAL DRAWING
04/22/25	TOWN COMMENTS
05/01/25	REVISE PLANTING PLAN ADD WALL
06/11/25	TOWN COMMENTS

PROJECT LOCATION

2824 STONEY STREET, MOHEGAN LAKE (10547)
TOWN OF YORKTOWN
COUNTY OF WESTCHESTER
STATE OF NEW YORK

PROJECT DESCRIPTION

EROSION AND SEDIMENT CONTROL PLAN NEW SINGLE FAMILY DWELLING WITH TOWN WATER SUPPLY.

PREPARED FOR

DIAMOND BAY DEVELOPMENTS INC.
22 CRESSY
HEMPSTEAD, QUEBEC, CANADA H3X1R4

PLAN SET

DIAMOND BAY DEVELOPMENTS INC.

LANDSCAPE PLAN

SCALE: AS NOTED

PRINTED

August 11, 2025

BADEY & WATSON

Surveying & Engineering, D.P.C.

LICENSE NO. 465021

COPYRIGHT 2025 BY BADEY & WATSON, SURVEYING & ENGINEERING, D.P.C.

UNDERGROUND WARNING - NYS CODE RULE 753

NEW YORK STATE INDUSTRIAL CODE 53 REQUIRES EXCAVATORS TO CALL UDIG NY, INC. (800-962-7962) FOR A MEMBER-UTILITY LOCATION REQUEST AT LEAST TWO (2) WORKING DAYS, BUT NOT MORE THAN TEN (10) WORKING DAYS BEFORE ANY EXCAVATION OR DEMOLITION STARTS, REGARDLESS OF LOCATION. NOT ALL UTILITIES AND MUNICIPALITIES ARE MEMBERS OF DIG SAFELY NEW YORK, INC., AND NON-MEMBER UTILITY OPERATORS MUST BE CONTACTED DIRECTLY.

WARNING STAMP

ALTERATION OF THIS DOCUMENT, IN ANY WAY, BY ANY PERSON NOT UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, AS APPROPRIATE, IS A VIOLATION OF THE EDUCATION LAW OF THE STATE OF NEW YORK

3063 Route 9
Cold Spring, NY 10516
www.Badey-Watson.com

846-260-9017
877.3.141593 (Toll Free)

SHEET 3 OF 3

FILE NO. 23-172