



LOCATION MAP
NOT TO SCALE



SITE DATA:

OWNER / DEVELOPER: PANBAR REALTY, LLC
361 ROUTE 6
MAHOPAC, NY, 10541

PROJECT LOCATION: HOLLYWOOD STREET
YORKTOWN, NY,
R1-10, ONE-FAMILY RESIDENTIAL

EXISTING TOWN ZONING: CLASS, DESCRIPTION
PROPOSED USE: 16.17-4-20, 16.17-4-22

TOWN TAX MAP DATA: 10,000 SF

SITE AREA : PUBLIC SEWERS

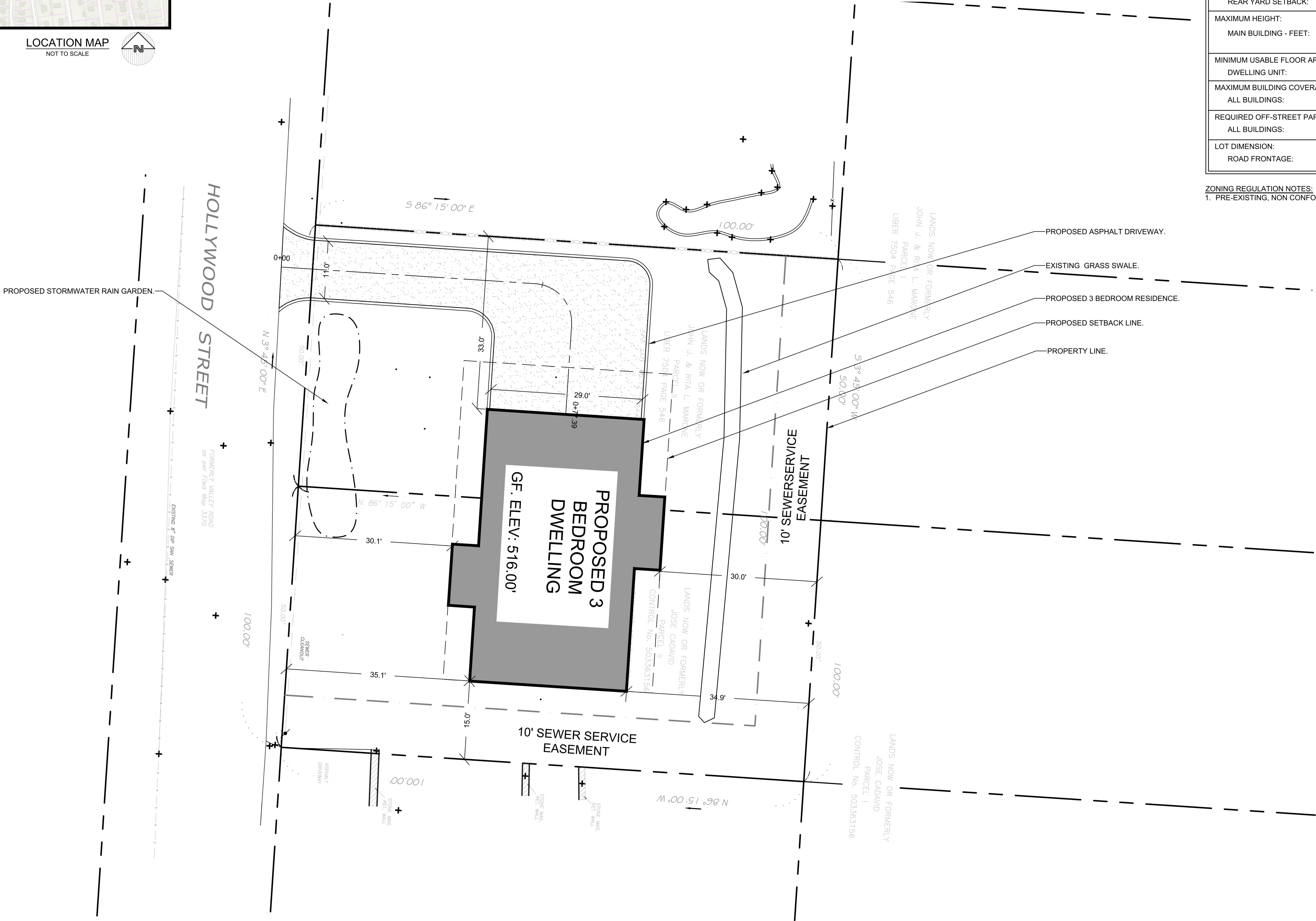
SEWAGE FACILITIES: PUBLIC WATER FACILITIES

WATER FACILITIES:

ZONING SCHEDULE:

ZONING DISTRICT: R1-40, ONE FAMILY RESIDENTIAL			
DIMENSIONAL REGULATIONS:	REQUIRED	PROVIDED	VARIANCE REQUIRED
MINIMUM SIZE OF LOT:			
MINIMUM LOT AREA:	40,000 SF.	48,333 SF.	NONE
MINIMUM LOT WIDTH:	150 FT.	100 FT.	NONE
MINIMUM LOT DEPTH:	150 FT.	100 FT.	NONE
MINIMUM YARD DIMENSIONS:			
PRINCIPAL BUILDING:			
FRONT YARD SETBACK:	30 FT.	30.1 FT	NONE
ONE SIDE YARD SETBACK:	15 FT.	15.0 FT.	NONE
COMBINED SIDE YARD SETBACK:	24 FT.	33.0 FT.	NONE
REAR YARD SETBACK:	30 FT.	30.0 FT.	NONE
MAXIMUM HEIGHT:			
MAIN BUILDING - FEET:	35 FEET	35 FT MAX	NONE
MINIMUM USABLE FLOOR AREA:			
DWELLING UNIT:	800 SF	? SF.	NONE
MAXIMUM BUILDING COVERAGE:			
ALL BUILDINGS:	25% OF LOT AREA	30 % OF LOT AREA	YES
REQUIRED OFF-STREET PARKING PER DWELLING UNIT:			
ALL BUILDINGS:	1 PARKING SPACE	2 PARKING SPACE	NONE
LOT DIMENSION:			
ROAD FRONTAGE:	80 FT.	100 FT. (1)	NONE

ZONING REGULATION NOTES:
1. PRE-EXISTING, NON CONFORMING CONDITION.



NOTE:
1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY NAME OF SURVEYOR, DATED XXXXXX, LAST REVISED XXXXXX. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

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NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

PROJECT # 23-19

Site Design Consultants
Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com

Revisions:	No.	Date	Comments
1	9-10-25	Site Plan	

SCALE: 1" = 10'	DRAWN BY: MA	DATE: 9-10-2025
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SITE PLAN

SEWER CONNECTION PLAN
PREPARED FOR
PANBAR REALTY, LLC.
HOLLYWOOD STREET
Town of Yorktown
Westchester County, NY

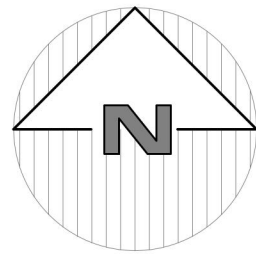
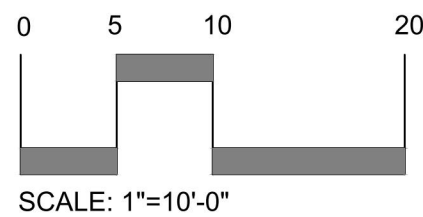
Sheet 1 of 9

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HOLLYWOOD STREET
Town of Yorktown Westchester County, NY

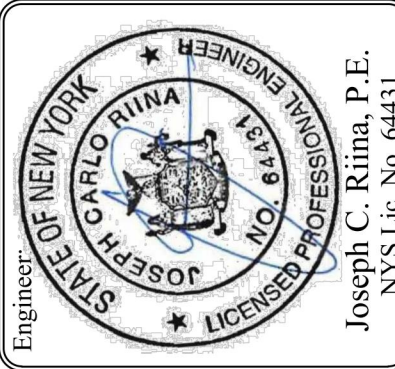
**EXISTING
PLAN**

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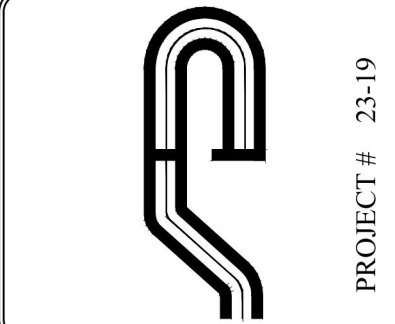
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9-10-2025

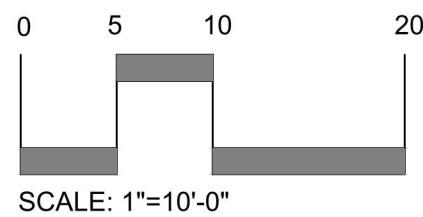
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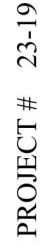


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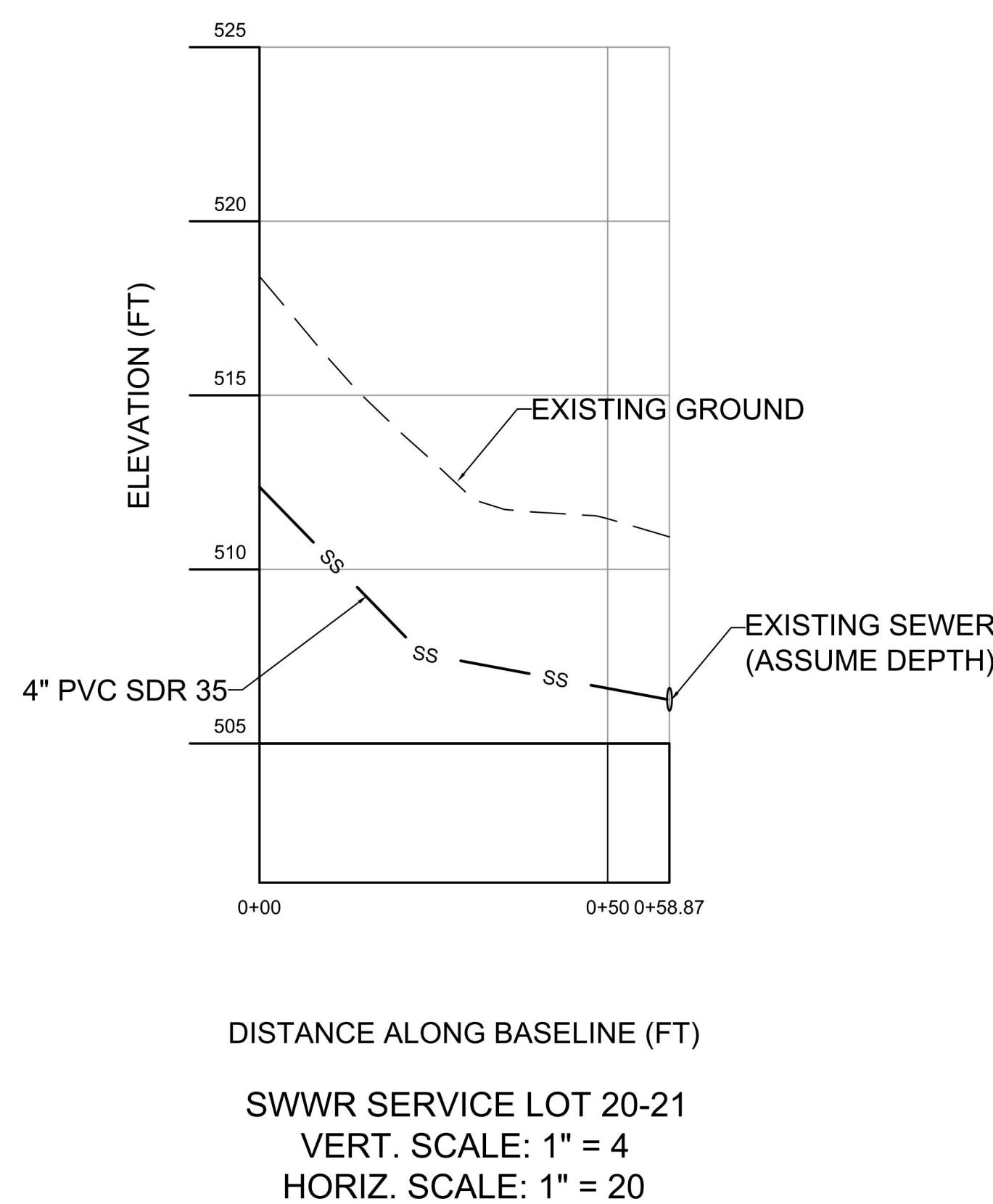
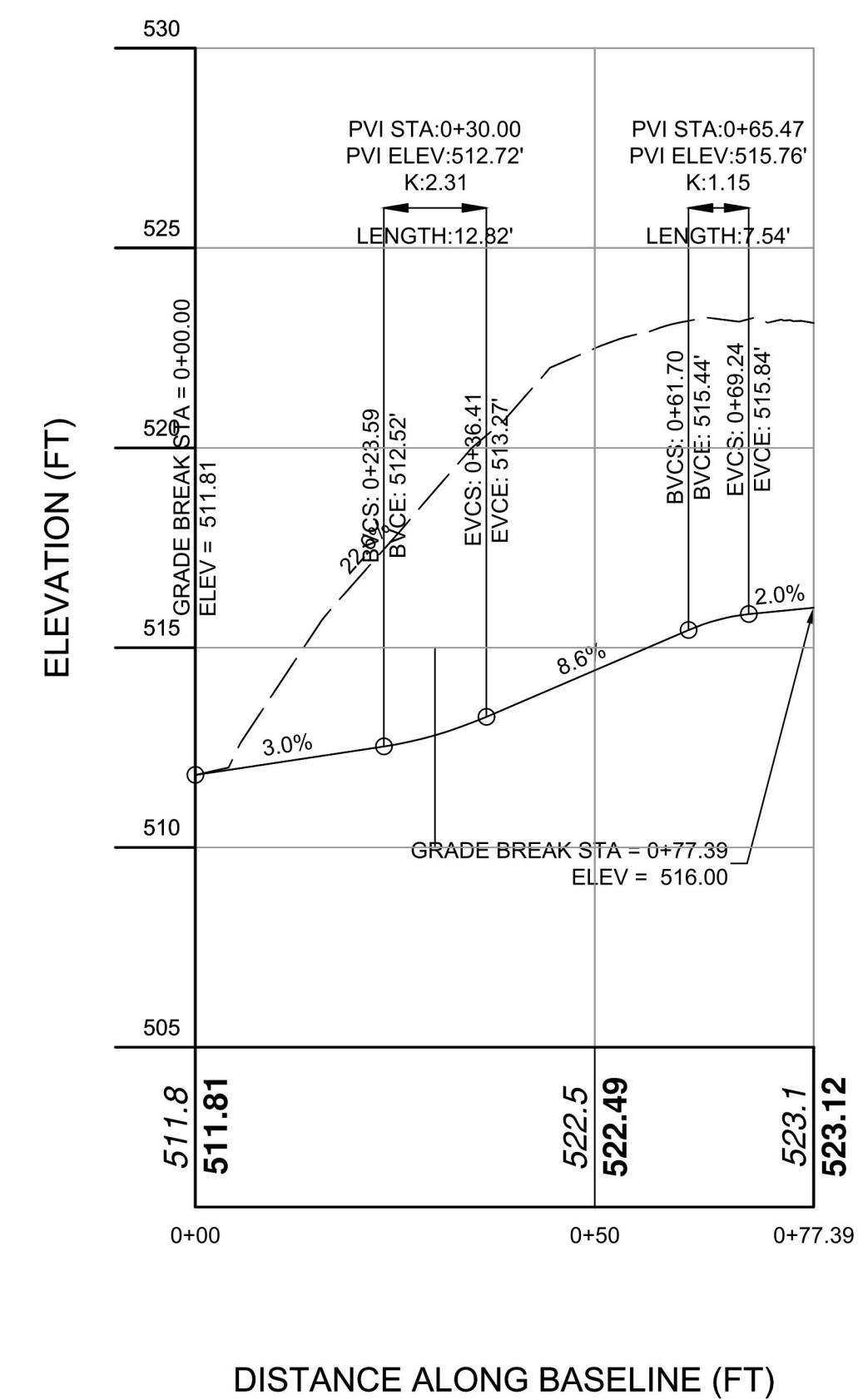
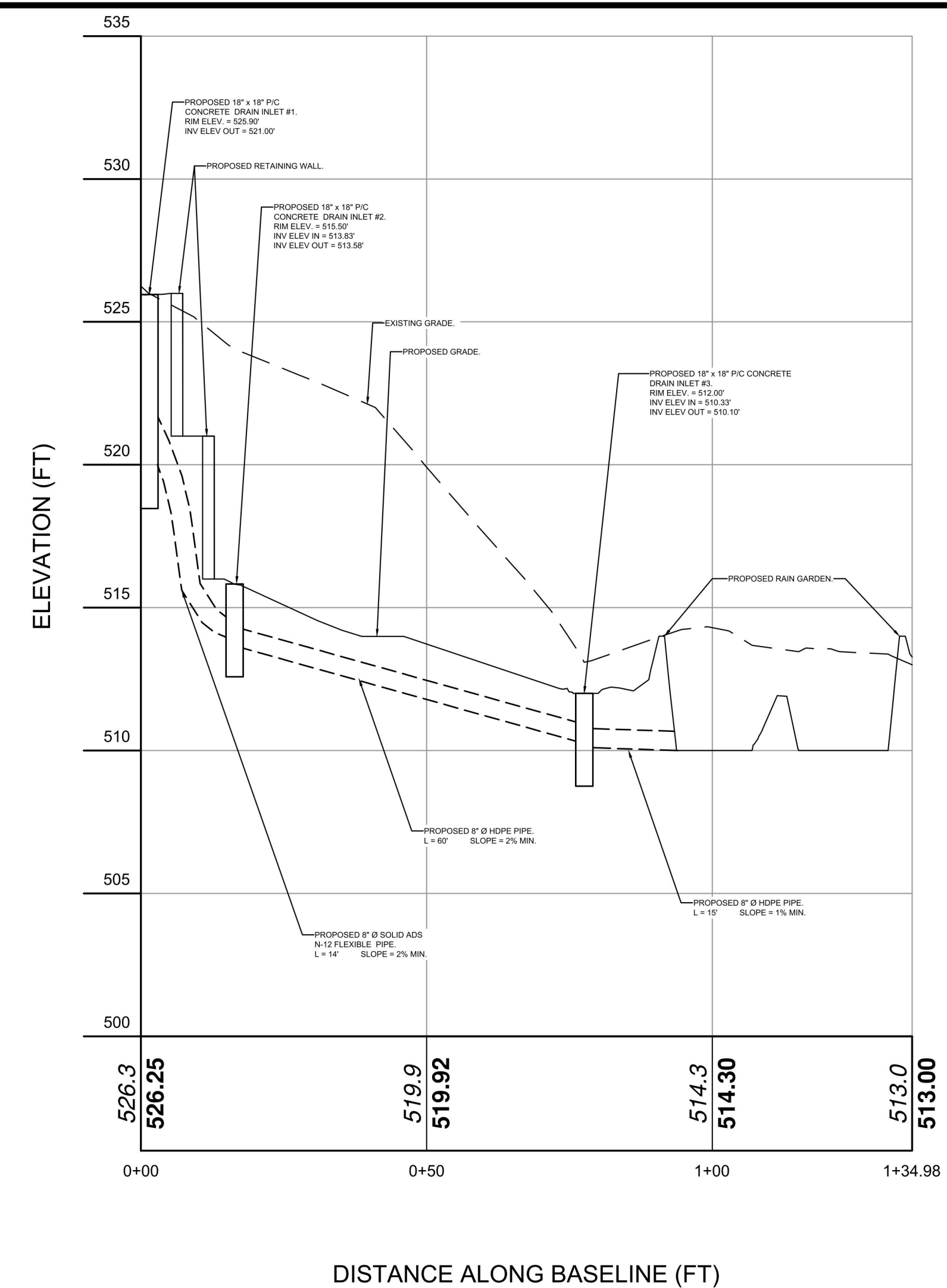
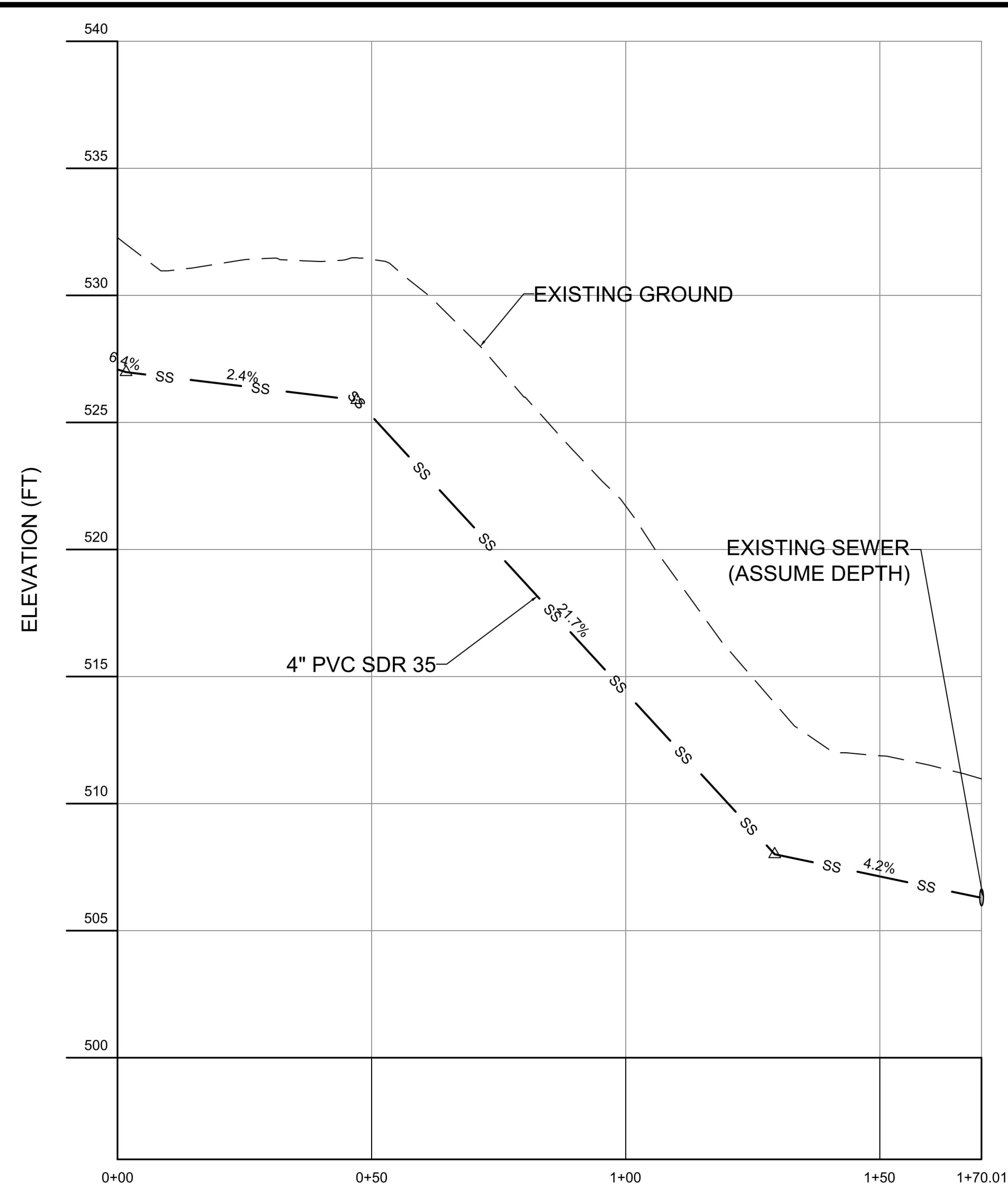
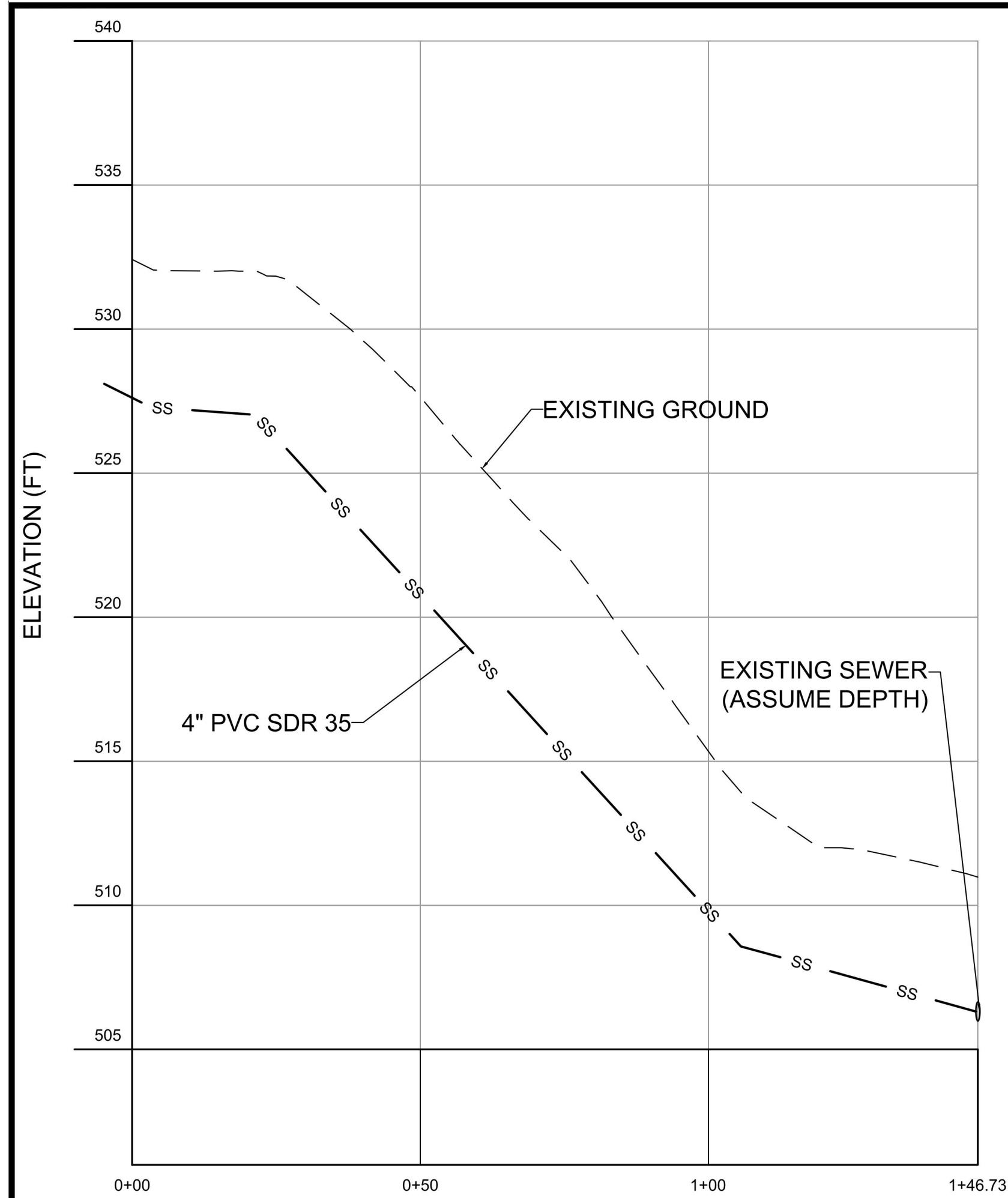


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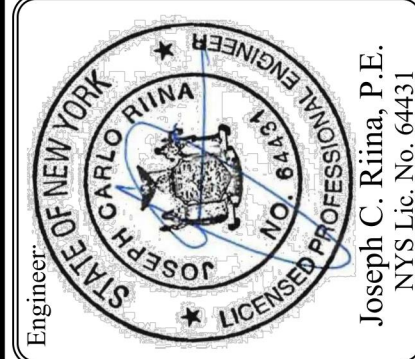


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SCALE:

DRAWN BY:
MA

DATE:
9-10-2025

PROFILES

SEWER CONNECTION PLAN
PREPARED FOR
PANBAR REALTY, LLC.

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GENERAL NOTES:

1. THE ENGINEER WHOSE SEAL APPEARS HEREON IF NOT RETAINED FOR SUPERVISION OF CONSTRUCTION, IS NOT RESPONSIBLE FOR CONSTRUCTION AND THEREFORE ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION PRACTICES, PROCEDURES, AND RESULTS THEREFROM.
2. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE OR HELD ACCOUNTABLE FOR THE INTEGRITY OF ANY STRUCTURES CONSTRUCTED OR UNDER CONSTRUCTION PRIOR TO THE APPROVAL OF THE PLANS.
3. ALL WORK IS TO BE IN ACCORDANCE WITH THE TOWN OF YORKTOWN CODE AND NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
4. ALL CONDITIONS, LOCATIONS, AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
5. ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER WHOSE SEAL APPEARS ON THESE DRAWINGS. ANY SUCH CHANGES SHALL BE FILED AS AMENDMENTS TO THE STORMWATER POLLUTION PREVENTION PLAN.
6. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL IN A "CODE 753" PRIOR TO CONSTRUCTION FOR UNDERGROUND UTILITY LOCATIONS.
8. SUBSTRUCTURES AND THEIR ENCROACHMENTS BELOW GRADE, IF ANY, ARE NOT SHOWN.
9. ANY PROPOSED ELECTRIC AND/OR TELEPHONE SERVICE LINES ARE TO BE PLACED UNDERGROUND.
10. THE DESIGN ENGINEER DISCLAIMS ANY LIABILITY FOR DAMAGE OR LOSS INCURRED DURING OR AFTER CONSTRUCTION.
11. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE OWNER/ENGINEER NOTIFIED IN WRITING OF ANY DISCREPANCIES PRIOR TO THE START OF WORK. THE OWNER/ENGINEER WILL EVALUATE THE SITUATION AND MODIFY THE PLAN AS NECESSARY.

CONTRACTOR RESPONSIBILITIES:

1. ALL WORK ON THE PROJECT SHALL BE PERFORMED IN A WORKMAN LIKE MANNER AND SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INDUSTRY. THE OWNER WILL BE THE SOLE JUDGE OF THE ACCEPTABILITY OF THE WORK. MATERIALS AND WORK DEEMED UNACCEPTABLE WILL BE REMOVED AND REDONE AT THE SOLE COST AND RESPONSIBILITY OF THE CONTRACTOR.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT HIS WORK AND WILL BE HELD RESPONSIBLE FOR CONSEQUENTIAL DAMAGES DUE TO HIS ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEE, AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A SEPARATE CONTRACT WITH THE CONTRACTOR.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY SHORE EXISTING UTILITIES IF REQUIRED BY CONSTRUCTION.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE TOWN ENGINEER IN ADVANCE OF HIS WORK OR AS THE INSPECTOR DEEMS APPROPRIATE.
5. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE OWNER/ENGINEER NOTIFIED IN WRITING OF ANY DISCREPANCIES PRIOR TO THE START OF WORK. THE OWNER/ENGINEER WILL EVALUATE THE SITUATION AND MODIFY THE PLAN AS NECESSARY.
6. ALL CHANGES MADE TO THIS PLAN SHALL BE APPROVED BY THE ENGINEER WHOSE SEAL APPEARS ON THESE DRAWINGS, ANY UNAUTHORIZED ALTERATION OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.
7. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THIS CONTRACT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS, AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
9. THE CONTRACTOR SHALL VERIFY ALL SUBSTRUCTURES ENCOUNTERED DURING CONSTRUCTION.
10. THE CONTRACTOR SHALL SECURE & PAY FOR A BUILDERS RISK POLICY TO COVER THE PERIOD OF CONSTRUCTION. THE ENGINEER & OWNER SHALL BE NAMED AS ADDITIONAL INSURED. ALL CONTRACTORS EMPLOYED AT THE SITE SHALL BE COVERED BY WORKMAN'S COMPENSATION.

GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL REQUEST A BENCH MARK FROM THE SURVEYOR IN THE SAME DATUM AS THE DESIGN PLANS.
2. FINISHED GRADES SHALL BE OF SUCH ELEVATION THAT THE GROUND WILL SLOPE AWAY FROM IT IN ALL DIRECTIONS.
3. CONSTRUCTION ACTIVITY SHALL BE LIMITED FROM 8:00 A.M. TO 6 P.M., AND NO CONSTRUCTION ACTIVITY SHALL OCCUR ON SUNDAYS OR LEGAL NEW YORK STATE HOLIDAYS. WHERE BLASTING IS NECESSARY, IT SHALL OCCUR FROM MONDAY THROUGH FRIDAY BETWEEN THE HOURS OF 8:00 A.M. AND 5:00 P.M. NO BLASTING SHALL OCCUR ON HOLIDAYS, SATURDAY OR SUNDAY. ALL BLASTING SHALL ALSO BE COMPLETED IN ACCORDANCE WITH THE TOWN OF NORTH SALEM AND NEW YORK STATE BLASTING ORDINANCES.
4. ANY SOIL THAT IS UNSUITABLE FOR DEVELOPMENT OF BUILDINGS OR ROADWAYS SHALL BE REMOVED FROM AREAS TO BE DEVELOPED AND SHALL BE DISPOSED OF WITHIN THE SITE IN NEW EMBANKMENTS WHERE STRUCTURAL LOADING, I.E. A BUILDING OR ROADWAY, WILL NOT TAKE PLACE. WHEN CONSTRUCTION IS PROPOSED TO OCCUR IN SPECIFIC AREAS WHERE SOILS ARE OF QUESTIONABLE SUITABILITY, THE OWNER SHALL RETAIN A SOILS ENGINEER TO EVALUATE AND PREPARE A DESIGN FOR THE CONDITION.
5. ROCK CUT STABILITY IS TO BE FIELD VERIFIED BY A GEOTECHNICAL ENGINEER AND SHALL BE MODIFIED IF REQUIRED.
6. NO CRUSHING/PROCESSING IS PERMITTED ON THE SITE WITHOUT PRIOR APPROVAL BY THE TOWN OF NORTH SALEM BOARD.
7. ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, OR LOCAL STANDARDS. IF NECESSARY THE REMOVAL SHALL BE DONE BY A CONTRACTOR LICENSED TO REMOVE AND DISPOSE OF VARIOUS MATERIALS.

CONTRACTOR CERTIFICATION STATEMENT:

Contractor Certification Statement - All contractors and subcontractors identified in a SWPPP in accordance with Part III.A.6 (SPDES General Permit for Stormwater Runoff from Construction Activity, GP-0-25-001, January 2025) of this permit shall sign a copy of the following certification statement before undertaking any construction activity at the site identified in the SWPPP:

"I hereby certify under penalty of law that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the qualified inspector during a site inspection. I also understand that the owner or operator must comply with the terms and conditions of the most current version of the New York State Pollutant Discharge Elimination System ("SPDES") general permit for stormwater discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I am aware that there are significant penalties for submitting false information, that I do not believe to be true, including the possibility of fine and imprisonment for knowing violations"

Individual Contractor:

Name and Title (please print) _____
Signature of Contractor _____
Name of Trained Individual _____
Company / Contracting Firm:
Name of Company _____
Address of Company _____
Telephone Number / Cell Number _____
Site Information:
Address of Site _____
Today's Date: _____

OWNER / OPERATOR CERTIFICATION:

"I hereby certify under penalty of law that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the qualified inspector during a site inspection. I also understand that the owner or operator must comply with the terms and conditions of the most current version of the New York State Pollutant Discharge Elimination System ("SPDES") general permit for stormwater discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I am aware that there are significant penalties for submitting false information, that I do not believe to be true, including the possibility of fine and imprisonment for knowing violations"

Name (please print) _____
Title _____
Date _____
Address _____
Phone _____
E-mail _____
Signature _____
Name of Trained Individual _____

SANITARY SEWER NOTES:

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE CODE OF THE TOWN OF YORKTOWN AND THE REGULATIONS OF THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH.
2. SANITARY MANHOLES/CLEANOUT MANHOLES SHALL BE PRECAST CONCRETE.
3. ALL WORK SHALL BE MANUFACTURED IN ACCORDANCE WITH APPROVED STANDARDS AND SHALL BE SPACED A MAXIMUM DISTANCE OF 300' ON STRAIGHT RUNS AND INSTALLED AT EVERY CHANGE IN ALIGNMENT. MANHOLE POSITIONING SHALL BE AS TO PREVENT THE ENTRANCE OF SURFACE WATER DURING STORMS. MANHOLE RIMS ARE TO BE WATER TIGHT IN AREAS SUBJECT TO POSSIBLE FLOODING CONDITIONS.
4. ALL BUILDING LATERALS TO BE INSTALLED BY PLUMBERS, LICENSED IN THE TOWN OF YORKTOWN ACCORDING TO THE REQUIREMENTS OF THE TOWN OF YORKTOWN.
5. SANITARY SEWER CONSTRUCTION SHALL MEET ALL SEWER CONSTRUCTION SPECIFICATIONS FOR THE TOWN OF YORKTOWN.
6. THE TOWN ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO THE START OF ANY WORK.
7. A CODE 53 SHALL BE CALLED BEFORE THE START OF ANY EXCAVATION WORK.
8. A STREET OPENING PERMIT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO ANY WORK BEING STARTED IN PUBLIC ROADS.
9. ALL SEWERS SHALL BE LAID AT LEAST 10 FT HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. IN CASES WHERE IT IS IMPRACTICAL TO MAINTAIN A 10 FOOT SEPARATION, THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH MAY ALLOW DEVIATION ON A CASE-BY-CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER.
10. MANHOLE STEPS SHALL BE CAST IRON NEENAH NO. R-1981-0 OR CAMPBELL FOUNDRY NO. 2588-1 OR POLYPROPYLENE COATED STEEL (SEE SPECIFICATIONS) OR APPROVED EQUAL.
11. UNLESS OTHERWISE SPECIFIED, SANITARY SEWER MANHOLES SHALL HAVE THE LETTERS "SEWER" CAST ON THE COVER.
12. MANHOLE COVERS AND STRUCTURES SHALL MEET OR EXCEED A.S.T.M. AND O.S.H.A. REQUIREMENTS AND MUST BE RATED FOR H-20 LOADING. MANHOLES MUST BE MIN. 48" DIAMETER.
13. ALL SANITARY STRUCTURES SHALL RECEIVE 2 MIL COATS OF BITUMINOUS MATERIAL "INERTOL NO. 49" KOPPERS SUPPER SERVICE BLACK OR APPROVED EQUAL, APPLIED IN ACCORDANCE WITH MANUFACTURE'S SPECIFICATIONS.
14. O-RING JOINTS TO CONFORM TO A.S.T.M. DESIGNATION C-443 LATEST REVISION. JOINTS TO BE MORTARED INSIDE AND OUT USING NON-SHRINKING MORTAR.
15. PRE-CAST MANHOLE SECTIONS TO BE IN ACCORDANCE WITH "PRE-CAST REINFORCED CONCRETE MANHOLE SECTIONS" A.S.T.M. DESIGNATION C-478, LATEST REVISION, MINIMUM COMPRESSIVE STRENGTH TO BE 4000 P.S.I. 22. WHERE SEWER MAIN IS TO BE INSTALLED 10' DEEP OR GREATER, PVC SDR-26 SHALL BE USED.
16. WHEN SEWER IS TO BE INSTALLED IN FILL MATERIAL, THE SUPPORTING FILL IS TO BE COMPACTED TO MINIMUM STANDARD PROCTOR DENSITY OF 95%, AND SHALL BE CERTIFIED TO THE TOWN.
17. WATER MAINS CROSSING HOUSE SEWERS, STORM SEWERS OR SANITARY SEWERS SHALL BE LAID TO PROVIDE A VERTICAL SEPARATION OF A MINIMUM OF 18" BETWEEN THE BOTTOM OF WATER MAIN AND TOP OF SEWER. IN ADDITION, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTION OF THE JOINTS AND THE SEWER SETTLING AND BREAKING THE WATER MAIN. IN ADDITION THE LENGTH OF WATER PIPE IS TO BE CENTERED AT THE POINT OF CROSSING SO THAT THE JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE SEWER. NO WATER MAIN SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SEWER OR SEWER MANHOLE.
18. MANHOLES AND SANITARY SEWER LINES SHALL BE TESTED TO CONFORM WITH WESTCHESTER COUNTY DEPARTMENT OF HEALTH RULES AND REGULATIONS AND AS PER SANITARY SEWER TESTING NOTES BELOW.
19. THE WESTCHESTER COUNTY DEPARTMENT OF HEALTH SHALL BE PROVIDED A 48 HOUR NOTICE PRIOR TO THE TESTING OF THE INSTALLED UTILITIES TO ALLOW WITNESSING OF TESTING BY THE DEPARTMENT.
20. ALL INSTALLATIONS AND TESTING SHALL BE IN ACCORDANCE WITH ASTM STANDARDS F-1417, C-1244 AND THE TEN STATES STANDARDS, LATEST VERSION.

Construction Sequence

Refer to the plan set for all plans and details which relate to construction sequence.

1. Prior to the beginning of any sitework the major features of the construction must be field staked by a licensed surveyor. These include the building, limits of disturbance, utility lines, and stormwater practices.
2. Prior to the start of the project, an on-site pre-construction meeting will be held. This will be attended by the project owner, the operator responsible for complying with the approved construction drawings including the erosion and sediment control (E&SC) plan and details, the design engineer, the engineer responsible for E&SC monitoring during construction, town representatives from the engineering department and code enforcement.
3. A licensed surveyor must define infrastructure locations, limits of disturbance, stormwater basin limits, and grades in the field prior to start of any construction. Limits of disturbance shall be marked with the installation of construction fence or approved equal. The extents of the stormwater management system shall be cordoned off to minimize the disturbance on this area.
4. Install all perimeter erosion control measures, construction entrance as shown on the erosion and sediment control plan and the associated details. Install silt fencing at the bottom of slopes. The standards established in part 1.1.b of the GP-020-001 included in appendix b of this SWPPP must be adhered to.
5. Strip site, clear vegetation, and place topsoil in stockpile locations shown on the plan.
6. Begin demolition of existing building and improvements to be removed. All demolition material shall be removed from the site and properly disposed of.
7. Rough grade building, driveway, and parking area.
8. Begin the excavation and installation of the stormwater management system. Protect trenches and open excavations from erosion. Entry into the system shall be blocked off until site has reached final stabilization. Once system has been installed, backfill, seed where necessary, and reinstall measures to cordon off the system from disturbance.
9. During site construction maintain and re-establish as required erosion control and stabilization measures as required by the site plan and details.
10. Install gravel surface. Once installed, inlet to infiltrator system may be unblocked.
11. Install and backfill curbs, grade, place final soil topping and put in place permanent vegetative cover over all disturbed areas, landscape beds, slopes, etc.

Winter Stabilization Notes:

If construction activities are expected to extend into or occur during the winter season the contractor shall anticipate proper stabilization and sequencing. construction shall be sequenced such that wherever possible areas of disturbance that can be completed and permanently stabilized shall be done by applying and establishing permanent vegetative cover before the first frost. areas subject to temporary disturbance that will not be worked for an extended period of time shall be treated with temporary seed, mulch, and/or erosion blankets.

GENERAL EROSION CONTROL NOTES:

1. Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established. Road surface flows from the site should be dissipated with tracking pad or appropriate measures during adjacent road shoulder regrading. Contractor is responsible for the installation and maintenance of all soil erosion and sedimentation control devices throughout the course of construction.
2. Catch basin inlet protection must be installed and operating at all times until tributary areas have been stabilized. When possible flows should be stabilized before reaching inlet protection structure. Timely maintenance of sediment control structures is the responsibility of the Contractor.
3. All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction.
4. The locations and the installation times of the sediment capturing standards shall be as specified in these plans, as ordered by the Engineer, and in accordance with the latest edition of the "New York Standards and Specifications for Erosion and Sediment Control" (NYSSESC).
5. All topsoil shall be placed in a stabilized stockpile for reuse on the site. All stockpile material required for final grading and stored on site shall be temporarily seeded and mulched within 7 days. Refer to soil stockpile details.
6. Any disturbed areas that will be left exposed more than 7 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall not be limed and fertilized prior to temporary seeding.
7. All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.
8. The contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
9. Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.
10. All sediment and erosion control measures shall be installed in accordance with current edition of NYSSESC.
11. All graded areas must be stabilized appropriately prior to any rock blasting, cutting, and/or filling of soils. Special care should be taken during construction to insure stability during maintenance and integrity of control structures.
12. Any slopes graded at 3:1 or greater shall be stabilized with erosion blankets to be staked into place in accordance with the manufactures requirements. Erosion blankets may also be required at the discretion of Town officials or Project Engineer. When stabilized blanket is utilized for channel stabilization, place all of the volume of seed seed mix prior to laying net, or as recommended by the manufacturer.
13. To prevent heavy construction equipment and trucks from tracking soil off-site, construct a pervious crushed stone pad. Locate and construct pads as detailed in these plans.
14. Contractor is responsible for controlling dust by sprinkling exposed soil areas periodically with water as required. Contractor to supply all equipment and water.
15. Contractor shall be responsible for construction inspections as per NYSDEC GP-0-25-001 and Town of North Salem Code.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

- N.Y.S.D.E.C. GP-0-25-001 EXPOSURE RESTRICTIONS - States that any exposed earthwork shall be stabilized in accordance with the guidelines of this plan.
1. Trees and vegetation shall be protected at all times as shown on the detail drawing and as directed by the Engineer.
 2. Care should be taken so as not to channel concentrated runoff through the areas of construction activity on the site.
 3. Fill and site disturbances should not be created which causes water to pond off site or on adjacent properties.
 4. Runoff from land disturbances shall not be discharged or have the potential to discharge off site without first being intercepted by a control structure, such as a silt fence. Sediment shall be removed before exceeding 50% of the retention structure's capacity.
 5. For finished grading, adequate grade shall be provided so that water will not pond on lawns for more than 24 hours after rainfall, except in swale flow areas which may drain for as long as 48 hours after rainfall.
 6. All swales and other areas of concentrated flow shall be properly stabilized with temporary control measures to prevent erosion and sediment travel. Surface flows over cut and fill areas shall be stabilized at all times.
 7. All sites shall be stabilized with erosion control materials within 7 days of final grading.

MAINTENANCE SCHEDULE:

	DAILY	WEEKLY	MONTHLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER APPROVAL OF INSPECTOR
SILT FENCE	----	INSP.	-----	INSP.	CLEAN/ REPLACE	REMOVE
WHEEL CLEANER	CLEAN	-----	-----	-----	REPLACE	REMOVE
EROSION BLANKET	----	INSP.	-----	INSP.	CLEAN/ REPLACE	REMOVE
INLET PROTECTION	----	INSP.	-----	INSP.	CLEAN/ REPLACE	REMOVE
SOIL STOCKPILE	----	INSP.	-----	INSP.	-----	REMOVE
SILT SACK	----	INSP.	-----	INSP.	CLEAN/ REPLACE	REMOVE
CONSTRUC. ENTRANCE	----	INSP.	-----	INSP.	CLEAN/ REPLACE	REMOVE
CEMENT WASHOUT	----	INSP.	-----	INSP.	CLEAN/ REPLACE	REMOVE

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the inlet protection regularly to insure detention capacity and proper drainage. Outlet structure shall be free of obstructions. All piping and drain inlets shall be free of obstruction. Any sediment build up shall be removed.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

Controls (including respective outlet structures) should be inspected periodically for the first few months after construction and on an annual basis thereafter. They should also be inspected after major storm events.

DEBRIS AND LITTER REMOVAL:

Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation.

STRUCTURAL REPAIR/REPLACEMENT:

Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

EROSION CONTROL:

Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

SEDIMENT REMOVAL:

Sediment should be removed after it has reached a maximum depth of five inches above the storm water management system floor.

TOPSOIL:

Existing topsoil will be removed and stored in piles sufficiently as to avoid mixing with other excavation. Stockpiles shall be surrounded by erosion control as outlined on these plans. The furnishing of new topsoil shall be of a better or equal to the following criteria (SS713.01 NYSDOT):

1. The pH of the material shall be 5.5 to 7.6.
2. The organic content shall not be less than 2% or more than 70%.
3. Gradation
SIEVE SIZE % PASSING BY WGT.
2 INCH 100
1 INCH 85 TO 100
1/4 INCH 65 TO 100
NO. 200 MESH 20 TO 80

PERMANENT VEGETATIVE COVER:

1. SITE PREPARATION.
- 1.1. INSTALL EROSION CONTROL MEASURES.
- 1.2. SCARIFY COMPACTED SOIL AREAS.
- 1.3. LIME AS REQUIRED TO PH 6.5.
- 1.4. FERTILIZE WITH 10-6-4 LBS/ 1,000 S.F
- 1.5. INCORPORATE AMENDMENTS INTO SOIL WITH DISC HARROW.
2. SEED MIXTURES FOR USE ON SWALES AND CUT AND FILL AREAS.

MIXTURE	
LBS/ACRE	
ALT. A	KENTUCKY BLUE GRASS
20	CREeping RED FESCUE
28	RYE GRASS OR REDTOP
5	
ALT. B	CREeping RED FESCUE
20	REDTOP
2	
20	TALL FESCUE/SMOOTH BLOOM GRASS
3.	SEEDING
3.1.	PREPARE SEED BED BY RAKING TO REMOVE STONES, TWIGS,ROOTS AND OTHER FOREIGN MATERIAL.
3.2.	APPLY SOIL AMENDMENTS AND INTEGRATE INTO SOIL.
3.3.	APPLY SEED UNIFORMLY BY CYCLONE SEEDER CULTI-PACKER OR HYDRO-SEEDER AT RATE INDICATED.
3.4.	STABILIZE SEEDED AREAS IN DRAINAGE SWALES.
3.5.	IRRIGATE TO FULLY SATURATE SOIL LAYERS, BUT NOT TO DISLODGE PLANTING SOIL.
3.6.	SEED BETWEEN APRIL 1ST AND MAY 15TH OR AUGUST 15TH AND OCTOBER 15TH.
3.7.	SEEDING MAY OCCUR MAY 15TH AND AUGUST 15TH IF ADEQUATE IRRIGATION IS PROVIDED.

TEMPORARY VEGETATIVE COVER:

SITE PREPARATION:


1. INSTALL EROSION CONTROL MEASURES.
2. SCARIFY AREAS OF COMPACTED SOIL.
3. FERTILIZE WITH 10-10-10 AT 400/ACRE.
4. LIME AS REQUIRED TO PH 6.5

SEED SPECIES:

MIXTURE:	LBS./ACRE:
RAPIDLY GERMINATING ANNUAL RYEGRASS (OR APPROVED EQUAL)	20
PERENNIAL RYEGRASS	20
CEREAL OATS	36

SEEDING:

SAME AS PERMANENT VEGETATIVE COVER.



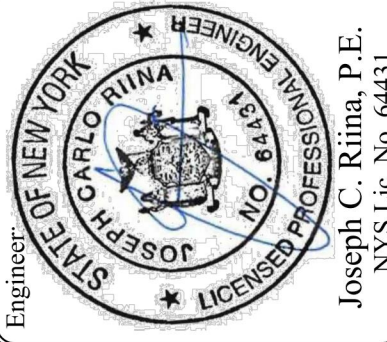
PROJECT # 23-19

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Engineer



Professional Engineer

Joseph C. Rina, P.E.
NYS Lic. No. 64431

Revisions:		No.	Date	Comments:	Site Plan
1			9-10-25		

SCALE:

DRAWN BY: MA

DATE: 9-10-2025

NOTES

SEWER CONNECTION PLAN
PREPARED FOR

PANBAR REALTY, LLC.

HOLLYWOOD STREET

Westchester County, NY

Sheet 6 of 9

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S-1

SEWER MAIN / SEWER SERVICE TRENCH DETAIL
NOT TO SCALE

NOTES:

- Sewer pipe shall be PVC SDR-35 in all cases except where depth of cover exceeds 10 ft. In cases where cover exceeds 10 ft, sewer pipe shall be a min. PVC SDR-26. When a sewer main is installed in a fill section, the fill shall be compacted to a min. 95% standard proctor and certified to the Town of Cortlandt.
- No rock is to project into within the edges of the trench. In rock excavation pipe shall be a min. of 6" over and away from rock.
- Backfill shall be placed so as to not disturb the pipe alignment.
- In areas where adequate cover can not be maintained for sewer main, proper protection shall be provided against freezing and superimposed loading.

S-2

GRAVITY SEWER LATERAL CLEAN-OUT DETAIL
NOT TO SCALE

NOTES:

- Clean-outs shall be spaced at minimum 50 ft intervals and/or at all changes in vertical and horizontal alignment.
- All fittings to be white H.D. as manufactured by GPK Products Inc. or approved equal.

S-3

SEWER CONNECTION TO PROPOSED MAIN-LINE DETAIL
NOT TO SCALE

NOTES:

- Provide cleanouts as required (see detail).
- Contractor to follow manufacturer's installation guide.
- The contractor shall be responsible for protecting all persons during construction from harm in accordance with all applicable codes, rules & regulations, standards and good practices.
- Contractor to notify town of Cortlandt 48 hours in advance for trench inspection.
- All fittings to be white H.D. as manufactured by GPK Products Inc. or approved equal.
- For backfilling requirements of sewer service see "Sewer Main/Sewer Service Trench Detail".

S-4

HOUSE DRIVEWAY DETAIL
NOT TO SCALE

NOTES:

- Heavy construction equipment shall not be used within 5'-0" of rear of wall.
- Boulder wall shall be "chinked" to prevent erosion of the backfill.
- On site fill shall be free of deleterious material (organic, roots, building debris, etc.).

S-5

TIERED DRY STONE WALL DETAIL
NOT TO SCALE

NOTES:

- Heavy construction equipment shall not be used within 5'-0" of rear of wall.
- Boulder wall shall be "chinked" to prevent erosion of the backfill.
- On site fill shall be free of deleterious material (organic, roots, building debris, etc.).

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SEWER CONNECTION PLAN

PREPARED FOR

PANBAR REALTY, LLC.

HOLLYWOOD STREET

Town of Yorktown

Westchester County, NY

Sheet

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of

9

Revisions:

No.

Date

Comments

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9-10-25

Site Plan

SCALE:

DRAWN BY:

DATE:

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STATE OF NEW YORK

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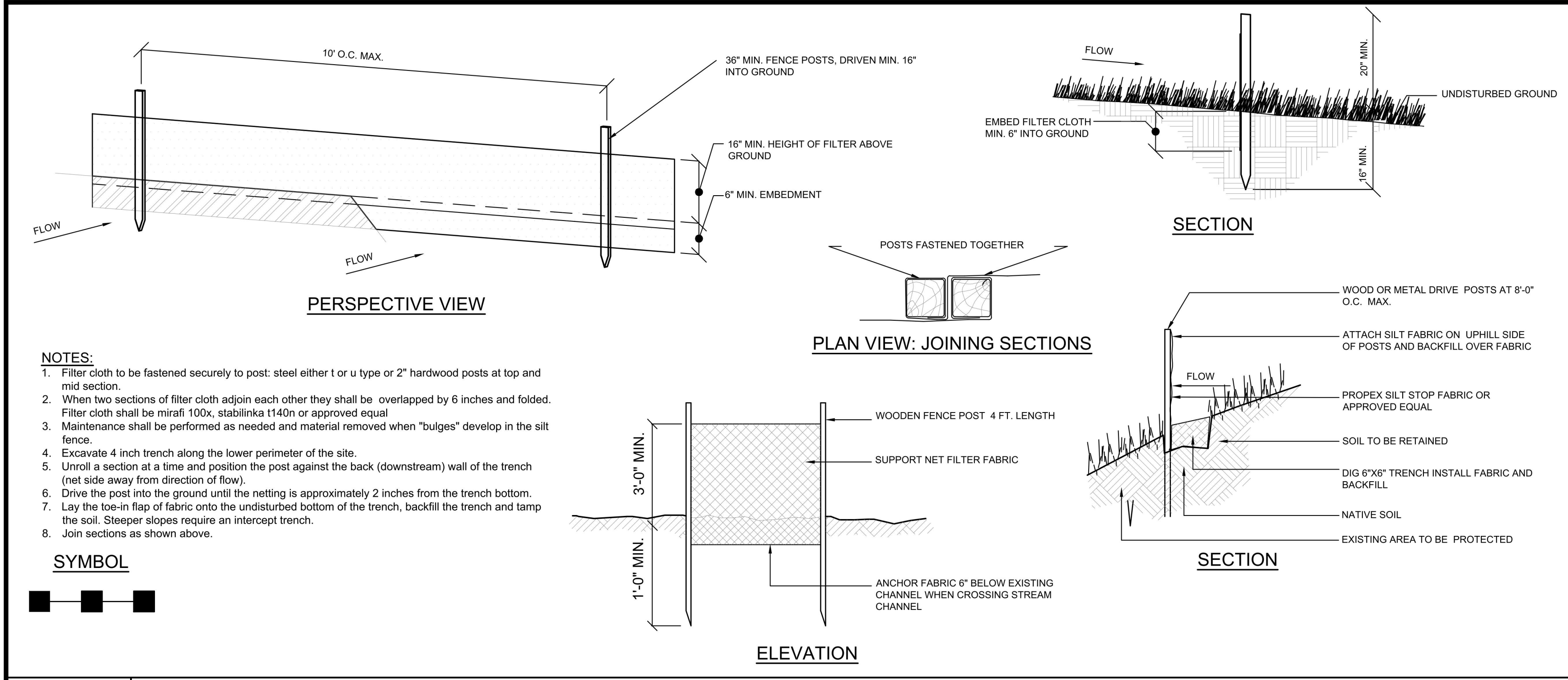
JOSEPH C. RINNA, P.E.

Professional Engineer

NYS Lic. No. 64431

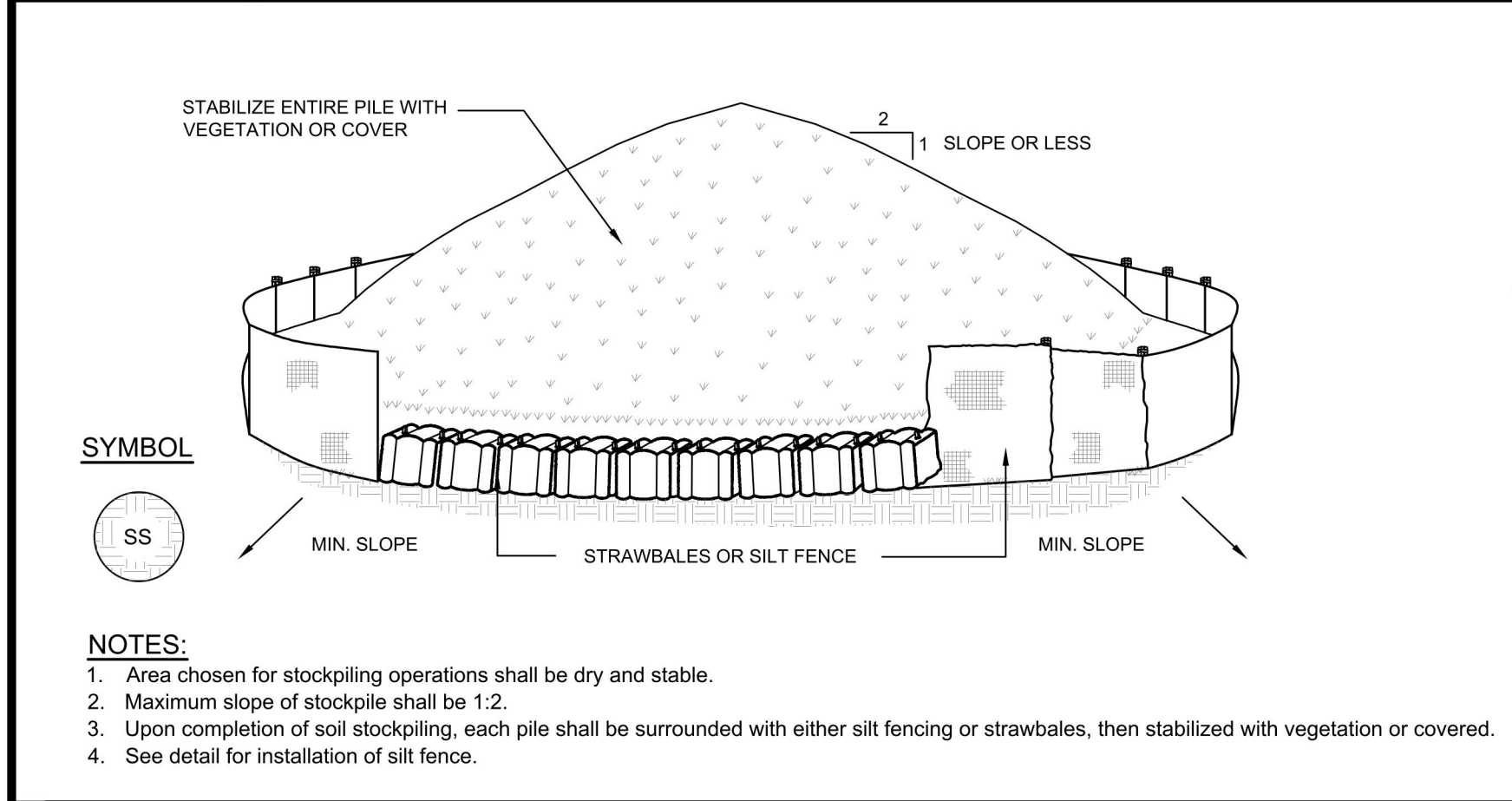
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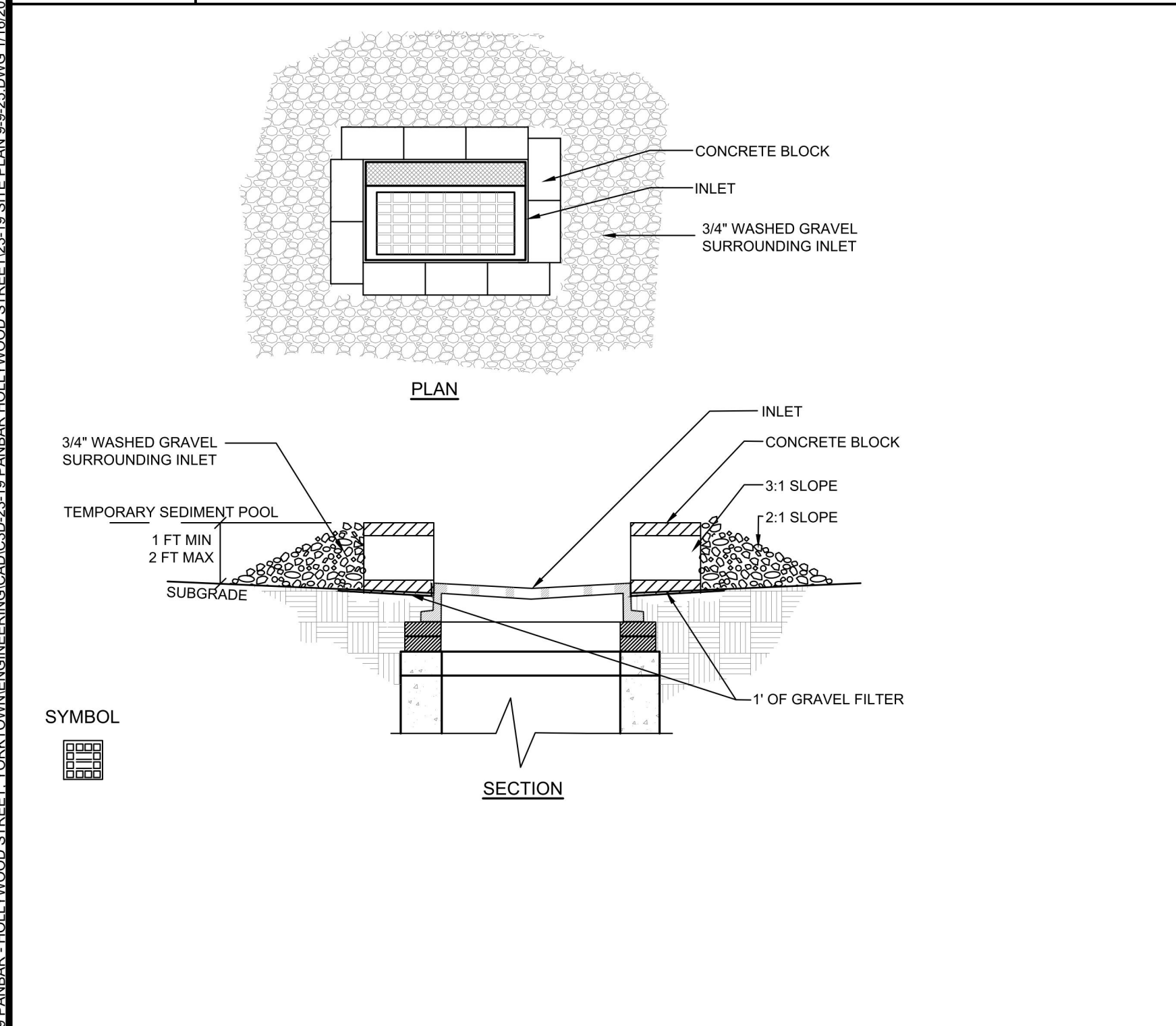
E-1

SILT FENCE DETAIL
NOT TO SCALE



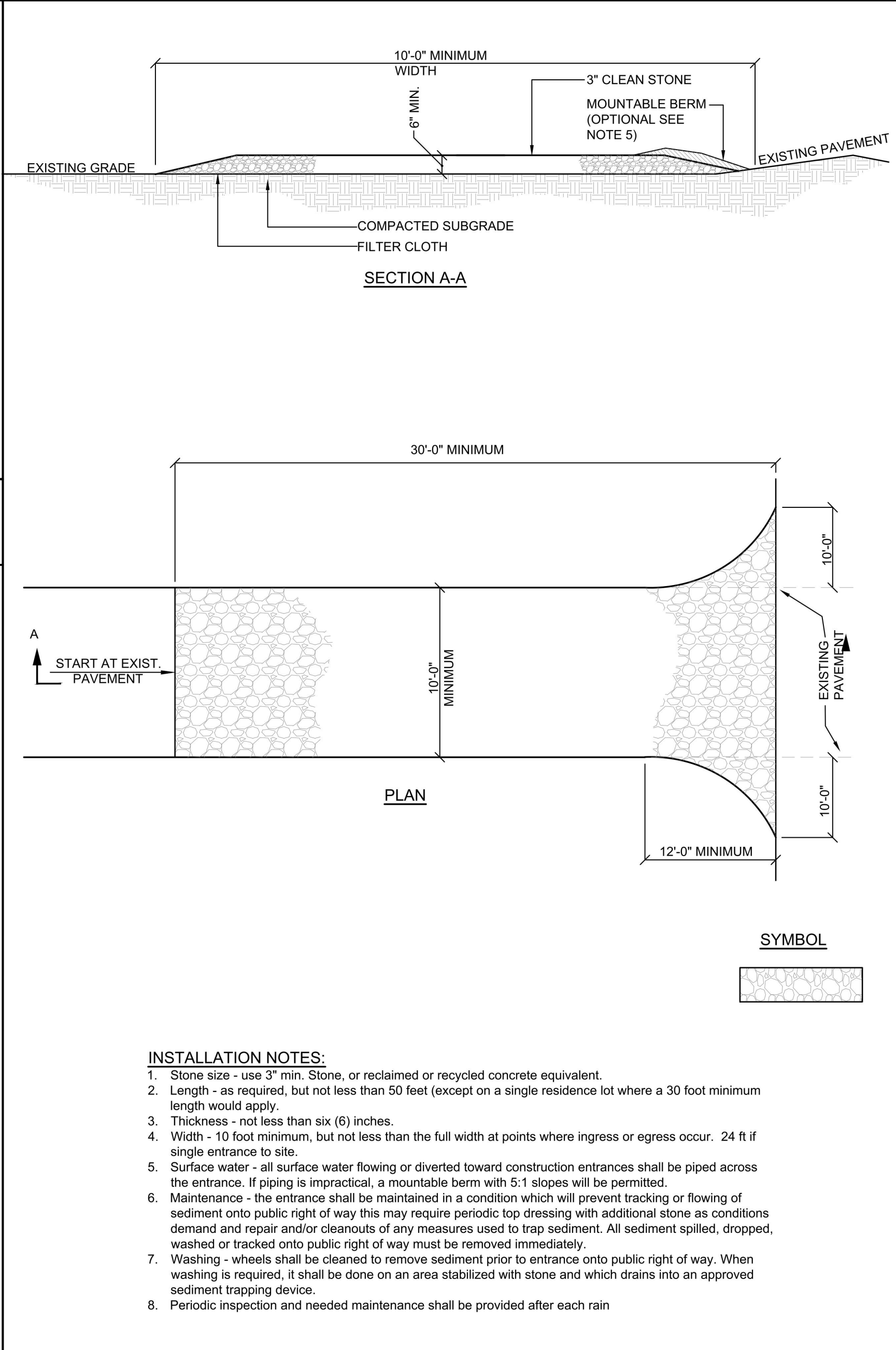
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SOIL STOCKPILE DETAIL
NOT TO SCALE



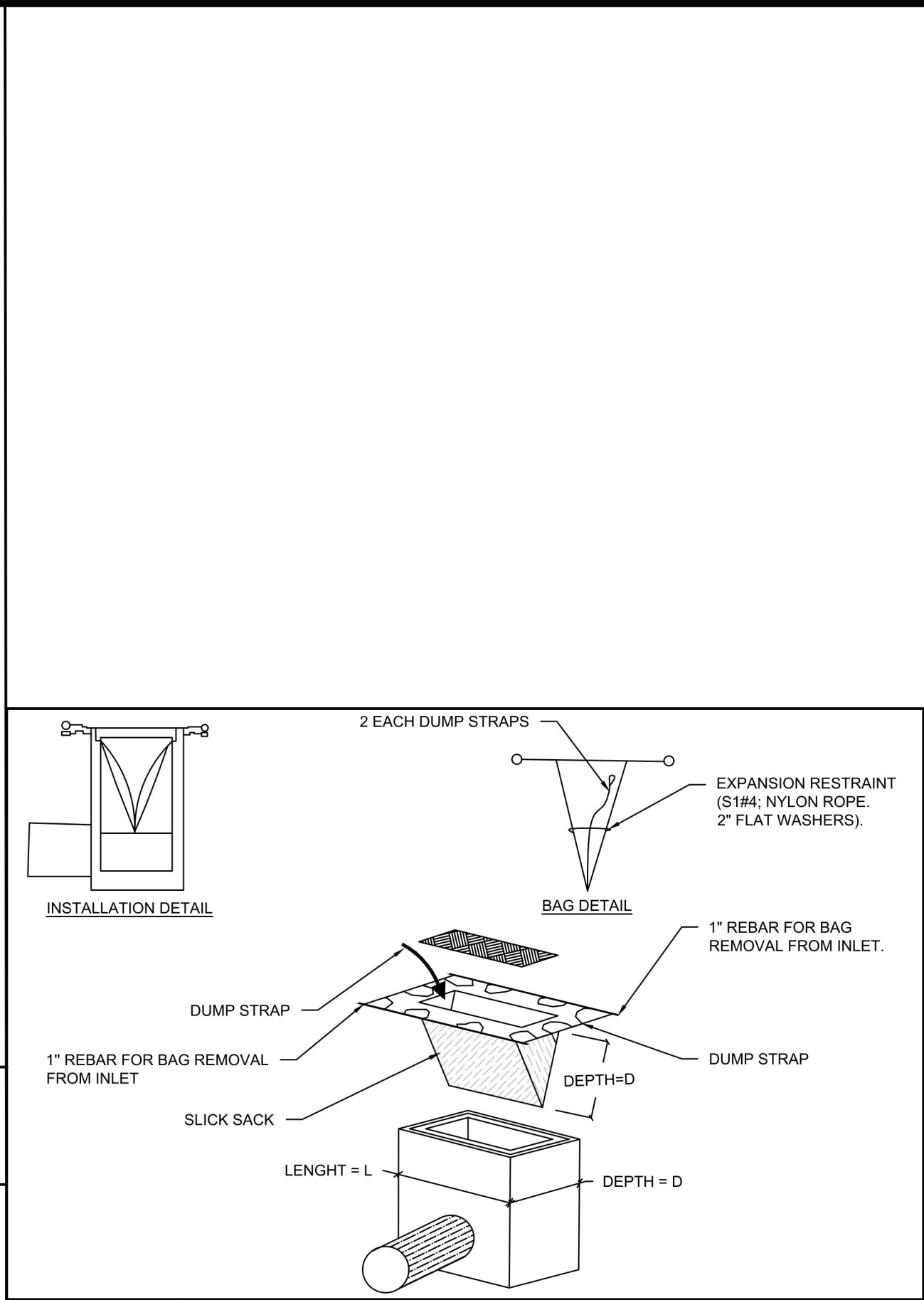
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INLET PROTECTION DETAIL
NOT TO SCALE



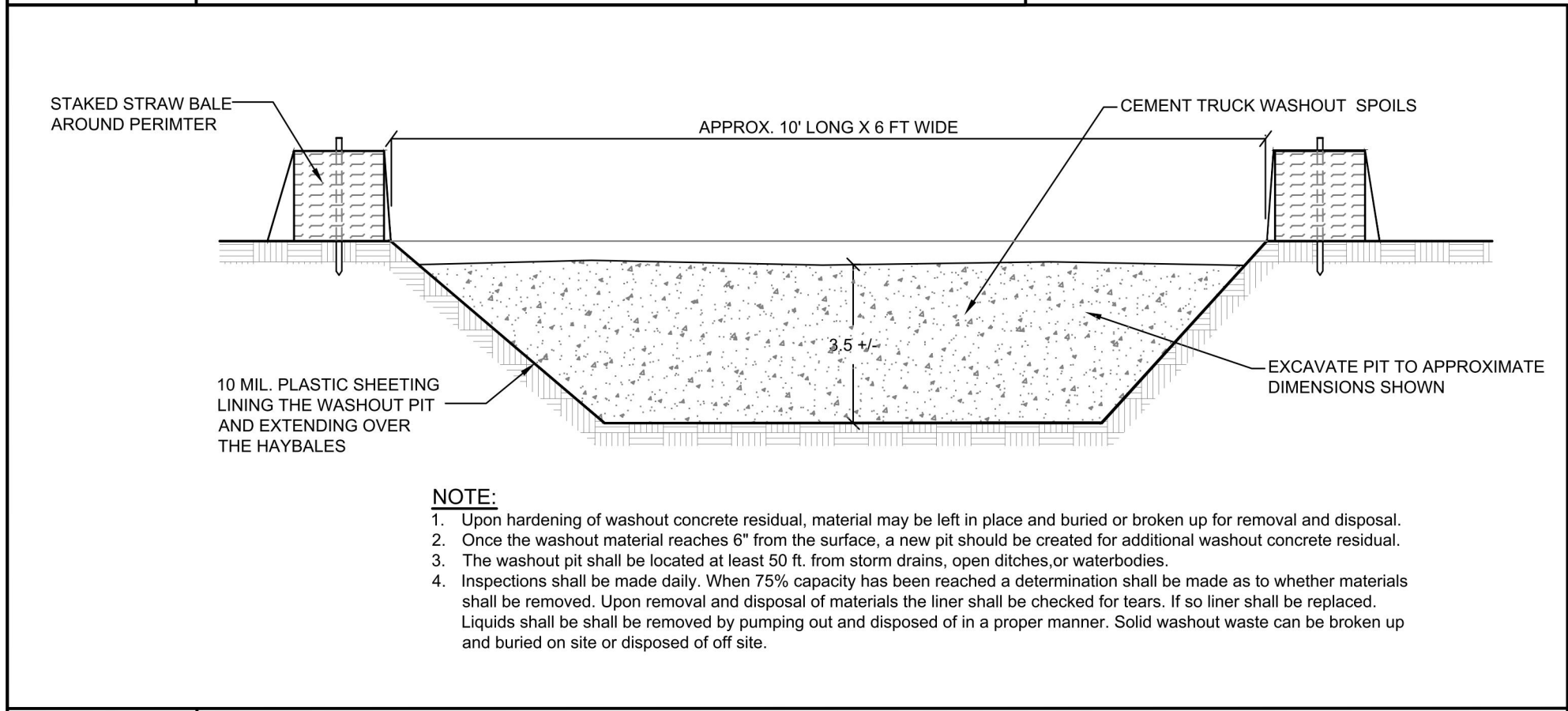
E-4

STABILIZED CONSTRUCTION ACCESS DETAIL
NOT TO SCALE



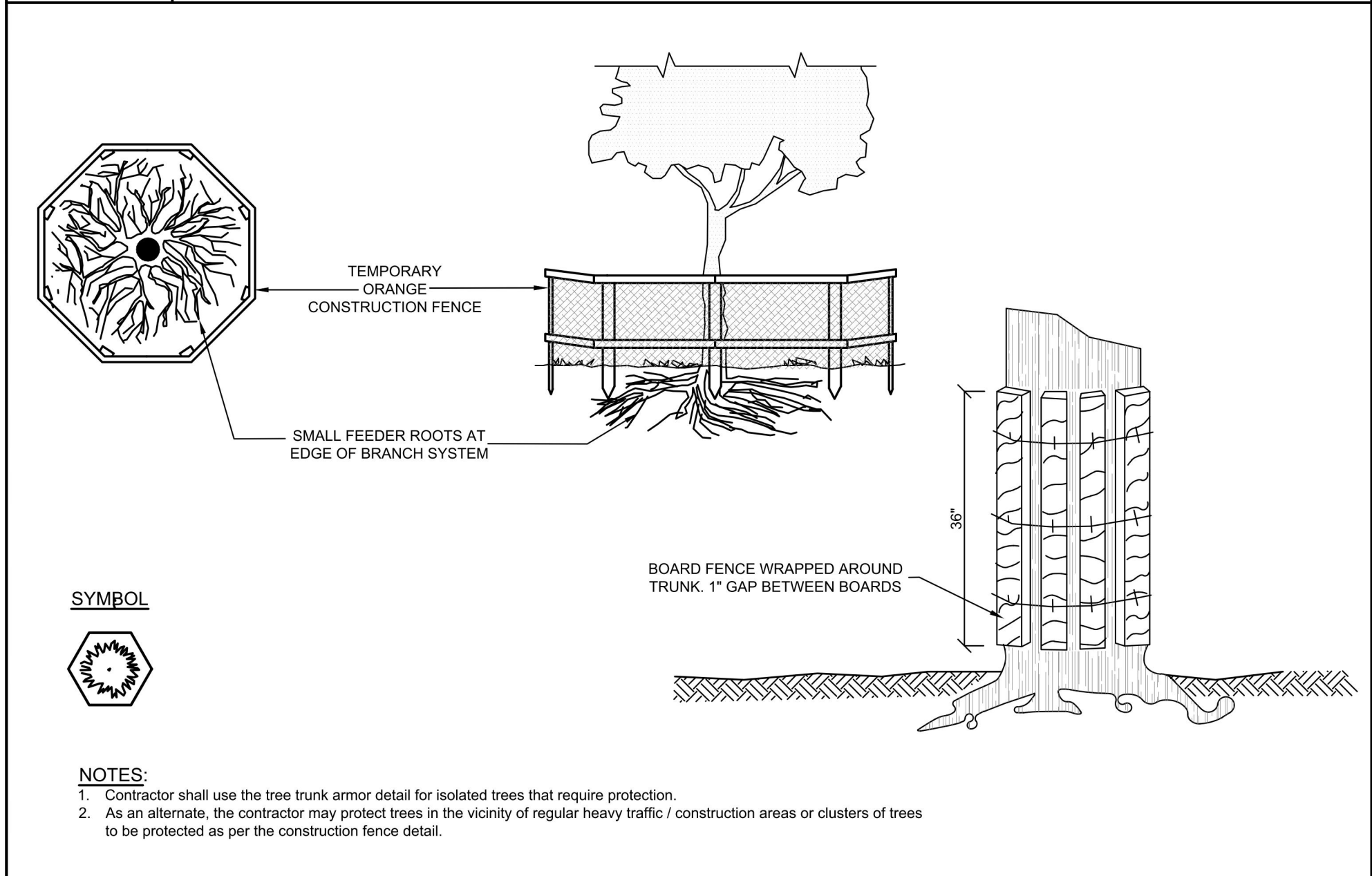
E-5

SILT SACK DETAIL
NOT TO SCALE



E-6

CEMENT TRUCK WASHOUT PIT DETAIL
NOT TO SCALE




E-7

TREE TRUNK ARMOR / TREE PROTECTION DETAIL
NOT TO SCALE

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PROJECT # 25-19

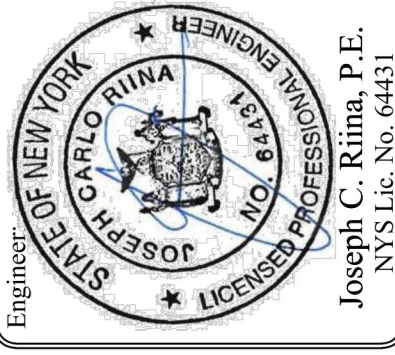
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Engineer
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Professional Engineer
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SEWER CONNECTION PLAN
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HOLLYWOOD STREET
Town of Yorktown
Westchester County, NY

Sheet

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